For Staff Use Only

City of Riviera Beach	Date:	Case Number:
Community Development Department	Project Title:	
600 W. Blue Heron Boulevard Riviera Beach, Florida 33404	Fee Paid:	Notices Mailed:
Phone: (561) 845-4060	1 st Hearing:	2 nd Hearing:
Fax : (561) 845-4038	Publication Dates (if required)

UNIFORM LAND USE APPLICATION

(Please attach separate sheet of paper for required additional information ECEIVED Complete appropriate sections of Application and sign.

MAR 2 4 2017

-				
	Name of Property Owner(s): Restoration Property Holdings, Inc PLANNING / ZONIN			
APPLICANT	Mailing Address: PO BOX 14052 North Palm Beach, Fl. 33408 DIVISION			
	Property Address: 7210 Haverhill Business Pkwy, Riviera Beach. Fl. 33407			
JPPL	Name of Applicant (if other than owner):			
	Home: () Work: (⁵⁶¹) ⁸⁰¹⁻⁹¹¹⁰ Fax: ()			
	_{E-mail Address:} scunningham225@aol.com			
PLI	EASE ATTACH LEGAL DESCRIPTION			
	Future Land Use Map Designation: Industrial Current Zoning Classification: General Industrial			
	Square footage of site: 112,815 Property Control Number (PCN): 56-42-42-26-02-000-0120 & 56-42-42-26-02-000-009			
	Type and gross area of any existing non residential uses on site: NA			
	Gross area of any proposed structure: 44,000 sf			
≥	Is there a current or recent use of the property that is/was in violation of City Ordinance? [] Yes [/] No			
PER'	If yes, please describe:			
PROPERTY	Have there been any land use applications concerning all or part of this property in the last 18 months? [] Yes [/] No			
1	If yes, indicate date, nature and applicant's name:			
	Briefly describe use of adjoining property: North: Vacant			
	_{South:} Industrial/Office			
	_{East:} Industrial			
	_{West:} NA			

	Requested Zoning Classification: General Industrial
NE	Is the requested zoning classification contiguous with existing? Yes
REZONE	ls a Special Exception necessary for your intended use? [✓] Yes [] No
	Is a Variance necessary for your intended use? [] Yes [/] No

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ISE	Existing Use: Vacant Proposed Use: Private Storage Facility			
FUTURE LAND USE	Land Use Designation: Industrial Requested Land Use: NA			
ELA	Adjacent Land Uses: North: Industrial South: Industrial			
TUR	_{East:} Industrial _{West:} NA			
	Size of Property Requesting Land Use Change: NA			
	Describe the intended use requiring a Special Exception: Private Storage Facility			
	Provide specific LDR ordinance section number and page number: Sec.31-382-b.2			
	How does intended use meet the standards in the Land Development Code? YES			
	Demonstrate that proposed location and site is appropriate for requested use: It is compatible with many other current facilities/businesses in Haverhill Business Park			
TION	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and			
E E	neighborhoods: Architectural design elements and building characteristics are very compatible and will further enhance its surrounding environment			
SPECIAL EXCEPTION	Demonstrate any landscaping techniques to visually screen use from adjacent uses: The subject properties landscape appearance is currently enhanced by existing grown vegetation and corner "monument type" feature walls which serve as visual screening, see Landscape Design for proposed plant species which will enhance the visual and privacy from adjacent uses.			
SPECI	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: The facility will be strictly limited to "Private Storage" and owners will need to adhere to Condominium rules and regulations.			
	Demonstrate how utilities and other service requirements of the use can be met:			
	Demonstrate how the impact of traffic generated will be handled:			
	On-site: See attached Traffic Report			
	Off-Site:			
	Other:			
	Describe the Variance sought: NA			
NCE	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site:			
Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer of				

Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space:

Other:

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Describe proposed development:

Private Ownership storage facility

Demonstrate that proposed use is appropriate to site:

The proposed use is currently compatible with numerous other existing businesses on Haverhill Business park

Demonstrate how drainage and paving requirement will be met:

See attached Civil Drawings

Demonstrate any landscaping techniques to visually screen use from adjacent uses:

See attached Landscape Drawings

Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: Private Storage Facility, no business enterprises shall be permitted to operate from any of the units.

Demonstrate how utilities and other service requirements of the use can be met:

See attached drawings

Demonstrate how the impact of traffic generated will be handled:

On-site: See attached traffic report

Off-site:

SITE PLAN

OTHER

COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:

- Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit.
- Antenna manufacture cut sheets including antenna size and shape.
- · Zoning map of area with site clearly marked.
- Photos of existing building or tower and surrounding uses.
- Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional.
- Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop.
- Letter of structural capacity and building code compliance.
- Notes on plan or letter demonstrating floor area coverage not in excess of restrictions
- Provide Photo Enhancements of proposal.
- Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

Confirmation of Information Accuracy

I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.

March 24, 2017

Date

AGENT AUTHORIZATION FORM

Owner(s) of Record: Restoration Property Holdings, Inc.

STATE OF FLORIDA COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Scott Cunningham

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

Lot 9 & 12, of	f Haverhill Business park, according to the plat thereof, recorded in plat book	101, page 139	9,
2- 10000 Million			

of the public records of Palm Beach County; with respective PCN# 56-42-42-26-02-000-0120 & 56-42-42-26-02-000-0090

the street address of which is: 7210 Haverhill Business Park, Riviera Beach, Fl. 33407 and that we hereby appoint:

Name:	Scott Cunningham
Address:	PO BOX 14052 North Palm Beach, Fl. 33407

Telephone: 561-801-9110

as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest,

DIRECTUR (Seal)

(Seal)

2017

(Seal)

Sworn to and subscribed before me this <u>AH</u> day of March .



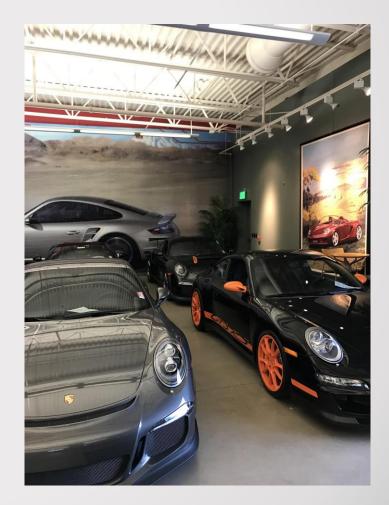
PROJECT NARRATIVE





Contents

- Tax Revenues & Economic Impact
- Points of Pride for Riviera Beach
- Proposed Site Plan
- Overview: Prestigious motorsports storage facility
- Haverhill Business Park (Motorsports Center)
- Regional "Motorsports" Center
- Seeking Site Plan approval



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Tax Revenue & Economic Impact

CURRENT R.E. TAX REV @668K
 \$15,051 - PBC
 \$5,653 - R.B. OPERATING

PROJECTED R.E. TAX REV @\$9M \$201,600 - PBC \$75,600 - R.B. OPERATING

- Project cost is estimated at \$4.5M including land costs.
- This project will strengthen and reinforce Haverhill Business Parks' growing reputation as the premier Motorsports complex in Palm Beach County. Automotive related support businesses will grow and expand to serve to multitude of needs of the affluent automotive enthusiasts that will own these units.
- Riviera Beach in addition to beautiful beaches and World class fishing, is poised to be known as the premier automobile and motorsports location anywhere in South Florida.
- Automotive and service businesses, hotels, gas stations, restaurants as well as many local trade and construction businesses will feel a direct positive economic impact from this project.

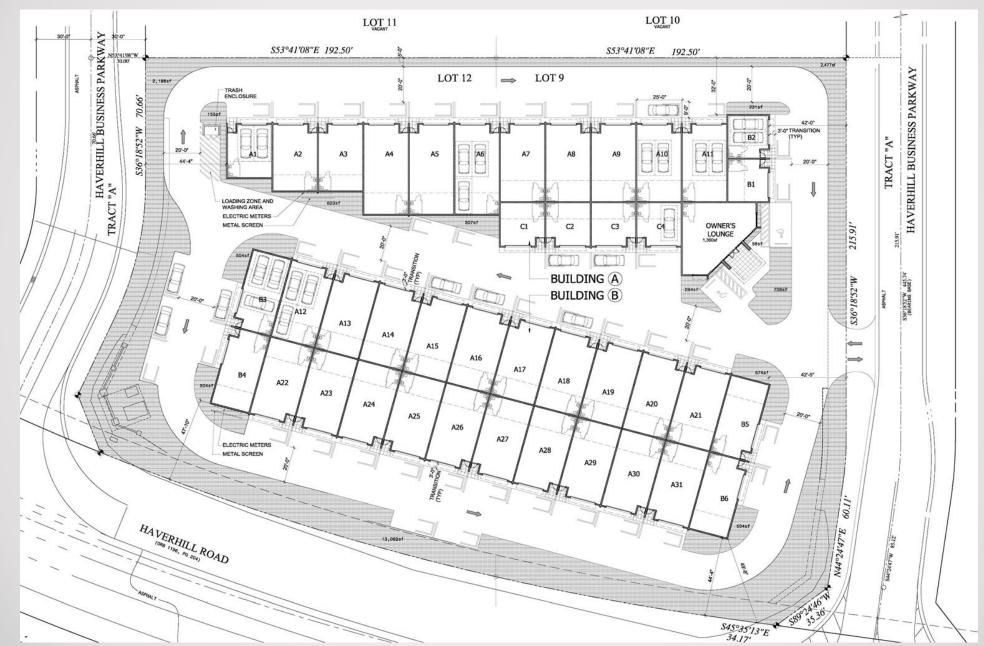
Points of Pride for Riviera Beach

- Regionally Ideal location -PBIR, Sebring, Homestead, Daytona
- Highest and best use of this property
- Desirable, prestigious project with very limited availability
- Enhances existing Motorsports Businesses
- Strong Positive Economic Impact
- No downside Similar type projects have sold out virtually as fast as they are built
- Fills a need from an affluent and under served market
- This is a project that Riviera Beach can and will be proud of
- Built by highly regarded Sabatello Companies
- *Seek Approval of Site Plan



Proposed Site Plan

THE HANGAR









Private Garage Condominium Complex

A unique property that offers individually owned, private garage condominiums for your personal collection. Very limited availability, ideally located in a secure upscale environment. Ownership of a "Hangar" also includes exclusive use of the private owner's lounge.

Regional "Motorsports" Center



Motorsports Businesses currently located and operating at-Haverhill Business Park

(1) Lusso Motorsports
 (2) Denmark Auto Brokers
 (3) Florida Performance Cars
 (4) Turtle Motorsports
 (5) Orbit Racing
 (6) IPTS, Inc.
 (7) Atlantis Motor Group

Florida's' Motorsports "diamond":

- Palm Beach International Raceway
- Sebring International Raceway
- Homestead-Miami Speedway
- Daytona International Speedway

Prestigious "destination" with Strong Economic Impact

- Private Garage Condo Complex for Motorsport & Collector Cars
- <u>2.6</u> Acres: currently vacant lot
- Location on Western edge/boundary of city
- Regionally ideal location for this type of facility
- 40+/- Individual Units located within 2 Buildings
- Similar projects around the country generally "sell out" as fast as they are built.
- Attractive/Secure/Prestigious
- Positive Economic Impact
 - o Tax Revenue Increase
 - o Job creation through Unit Owners (magnet to area)
 - o Secondary positive employment impact to local businesses
 - o Will help reinvigorate and accelerate redevelopment and growth of western edge of city







THE HANGAR Lots 9 & 12 Haverhill Business Park Riviera Beach, Florida

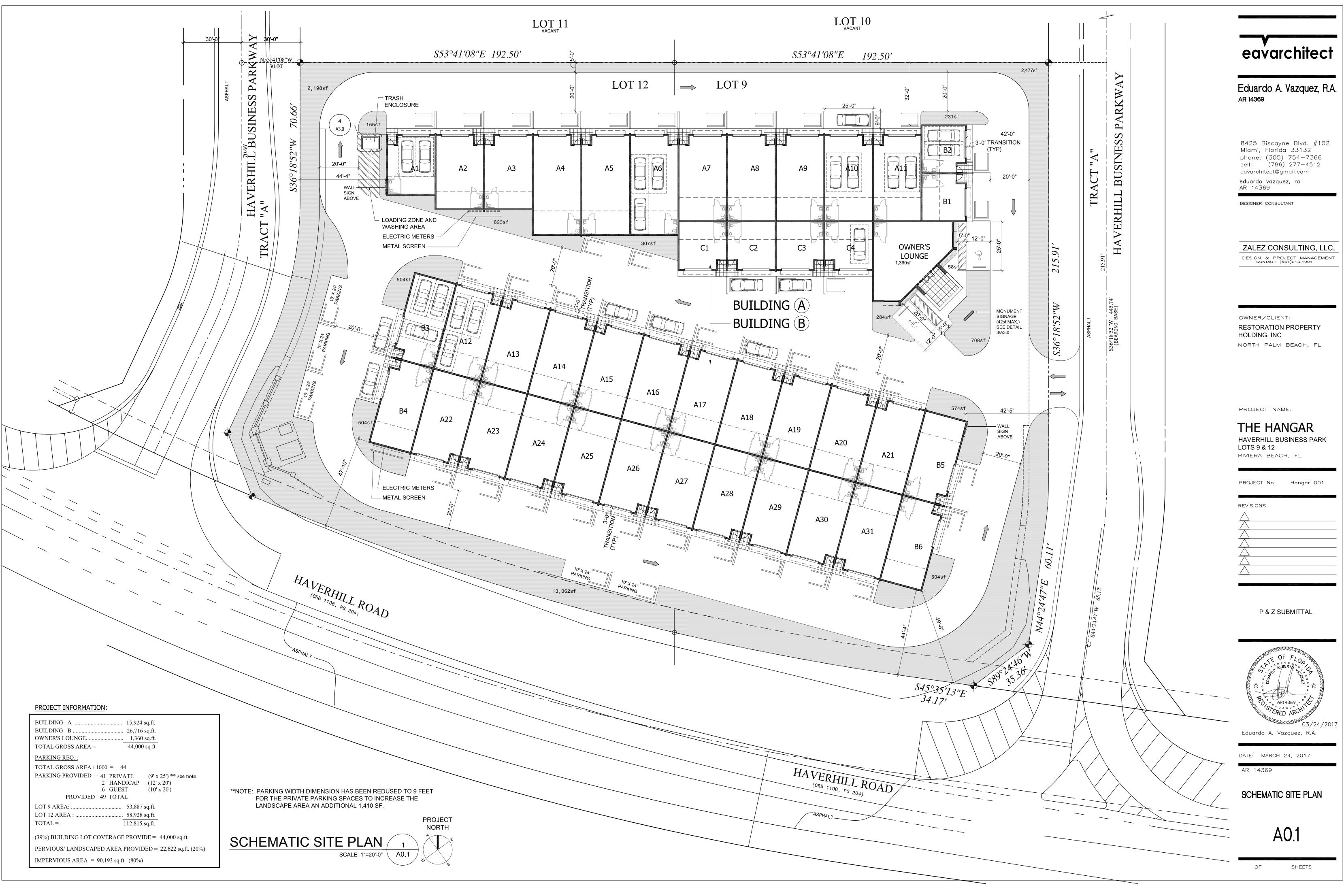
P & Z Submittal March 24, 2017



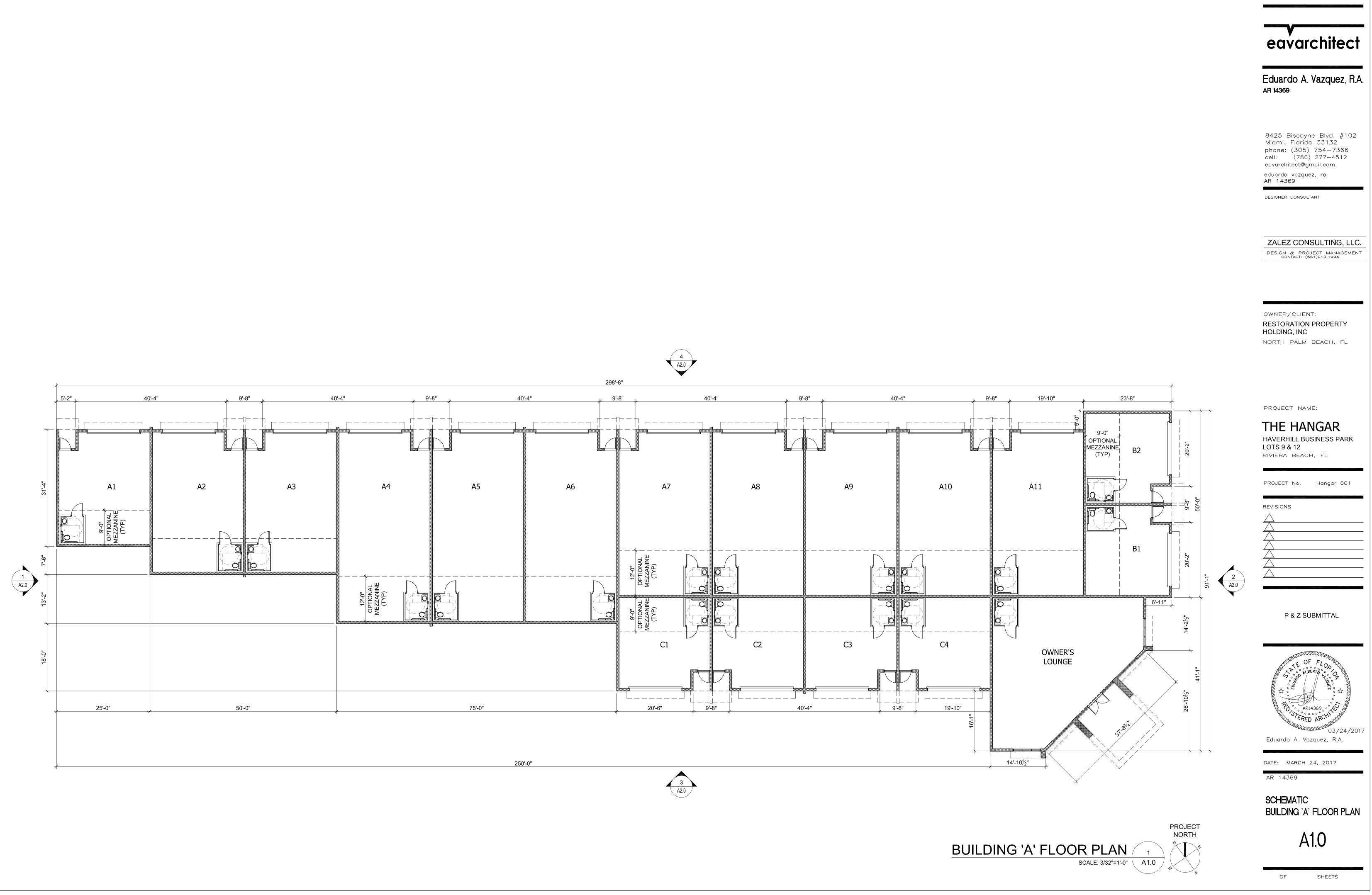
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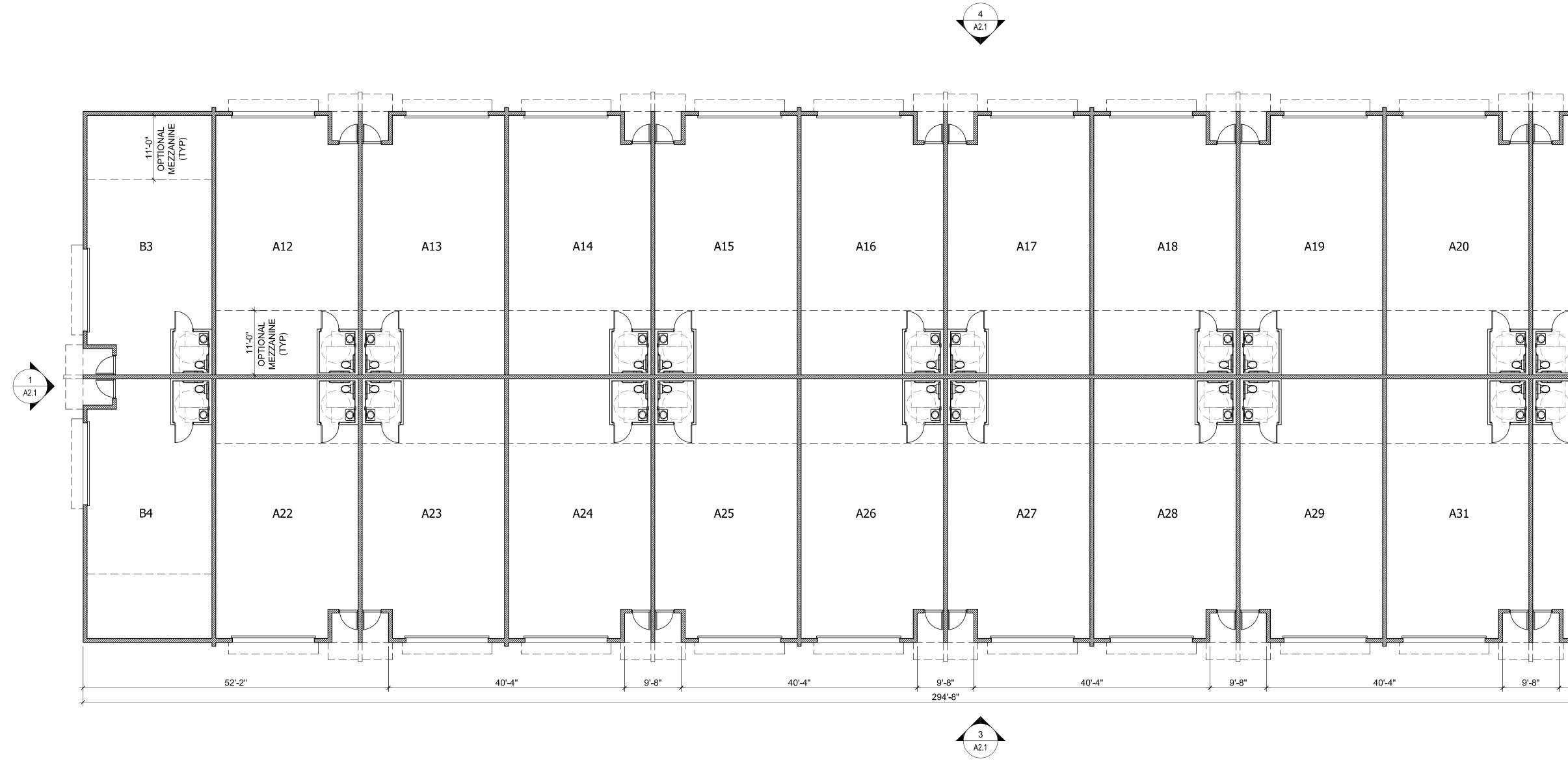
eavarchitect

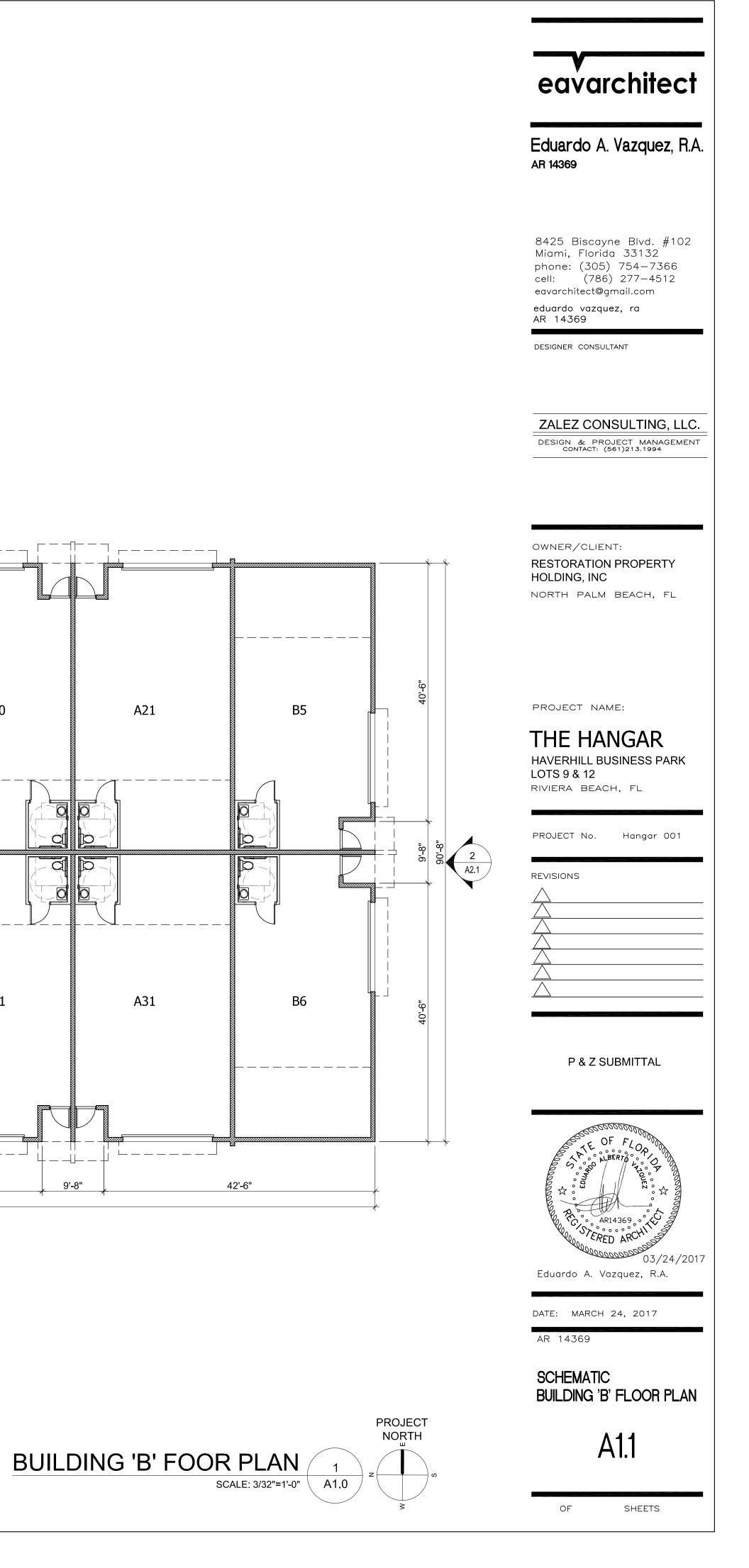
Illustration is for presentation reference purposes only and subject to change.

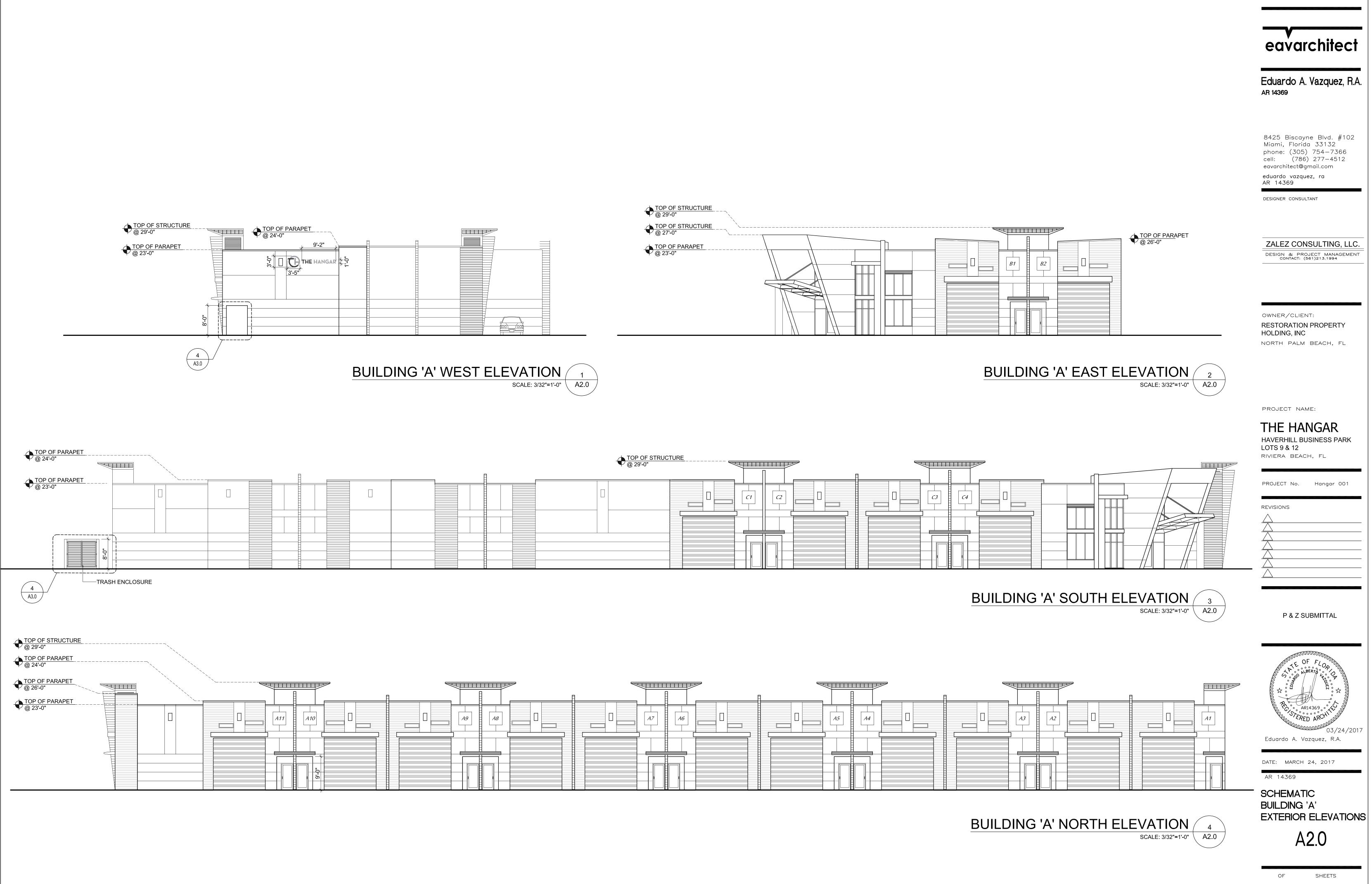




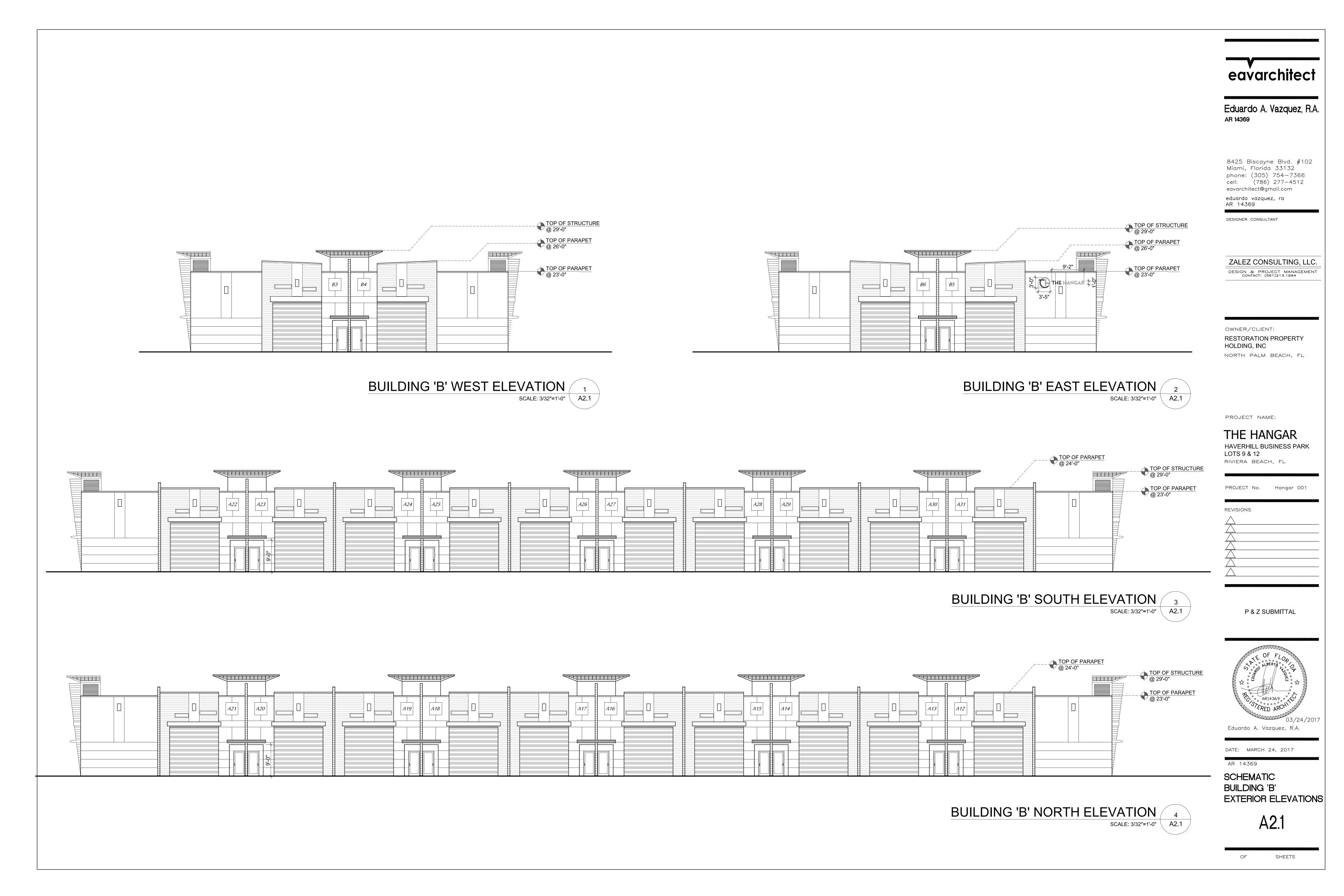






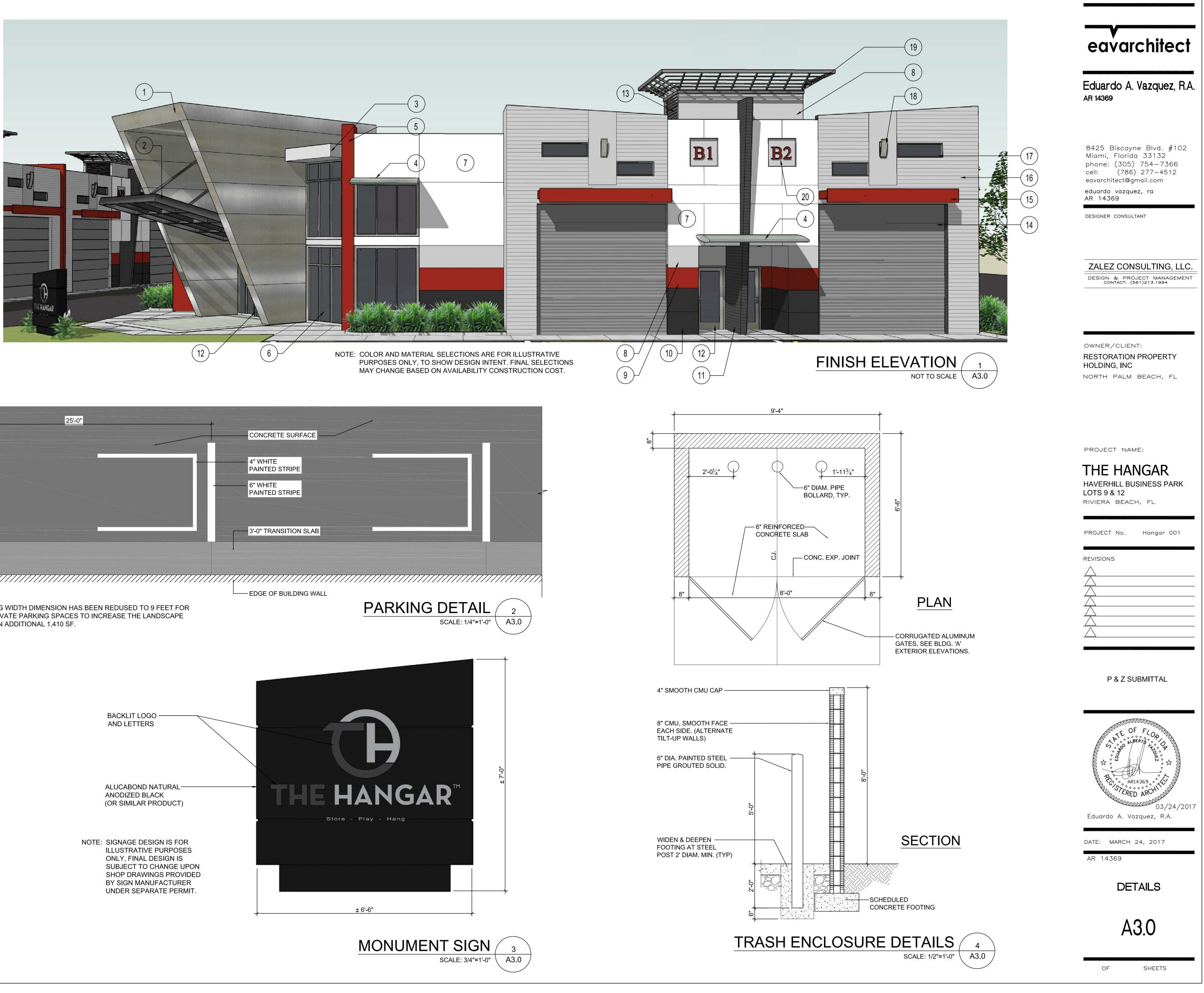


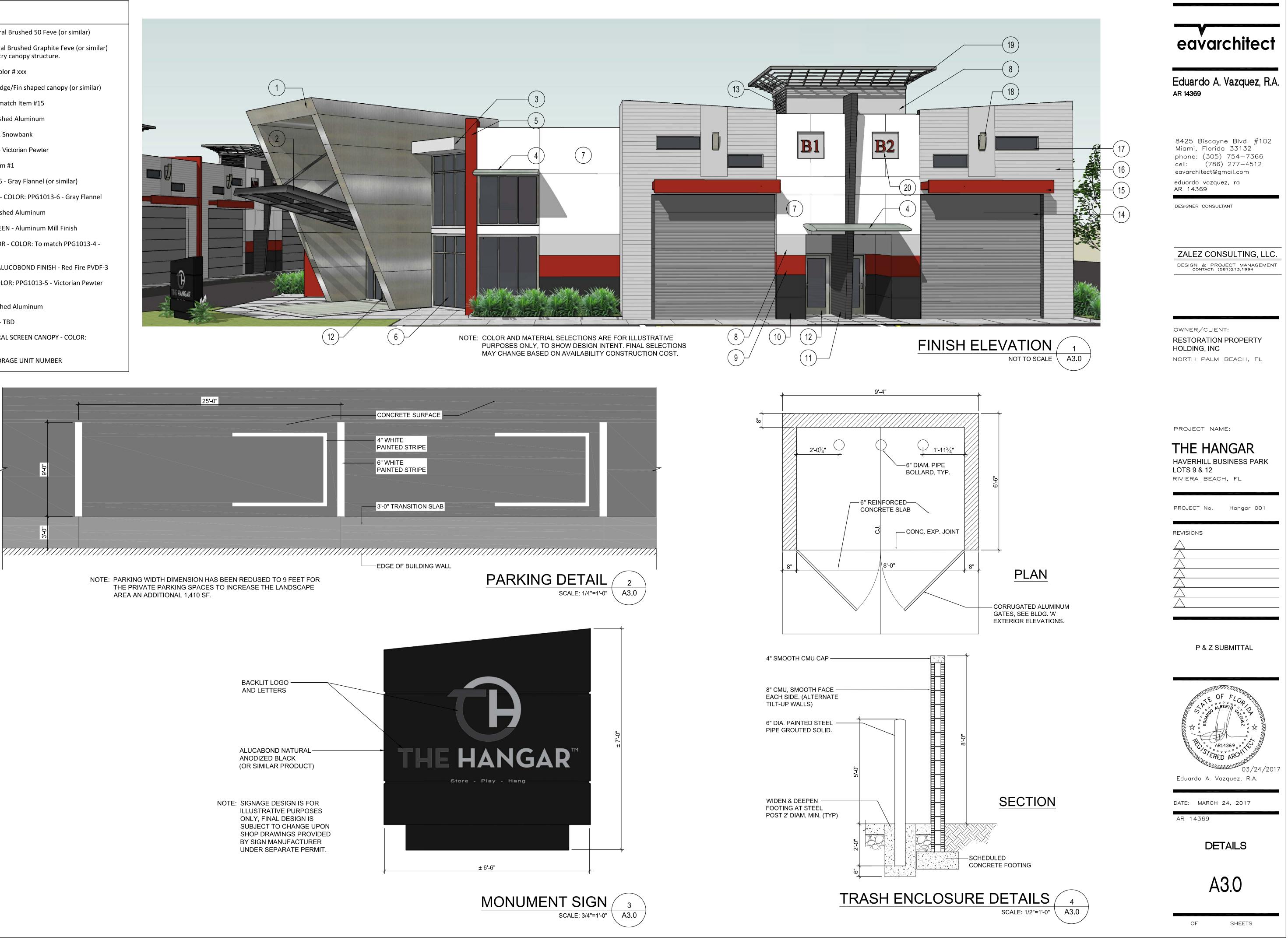
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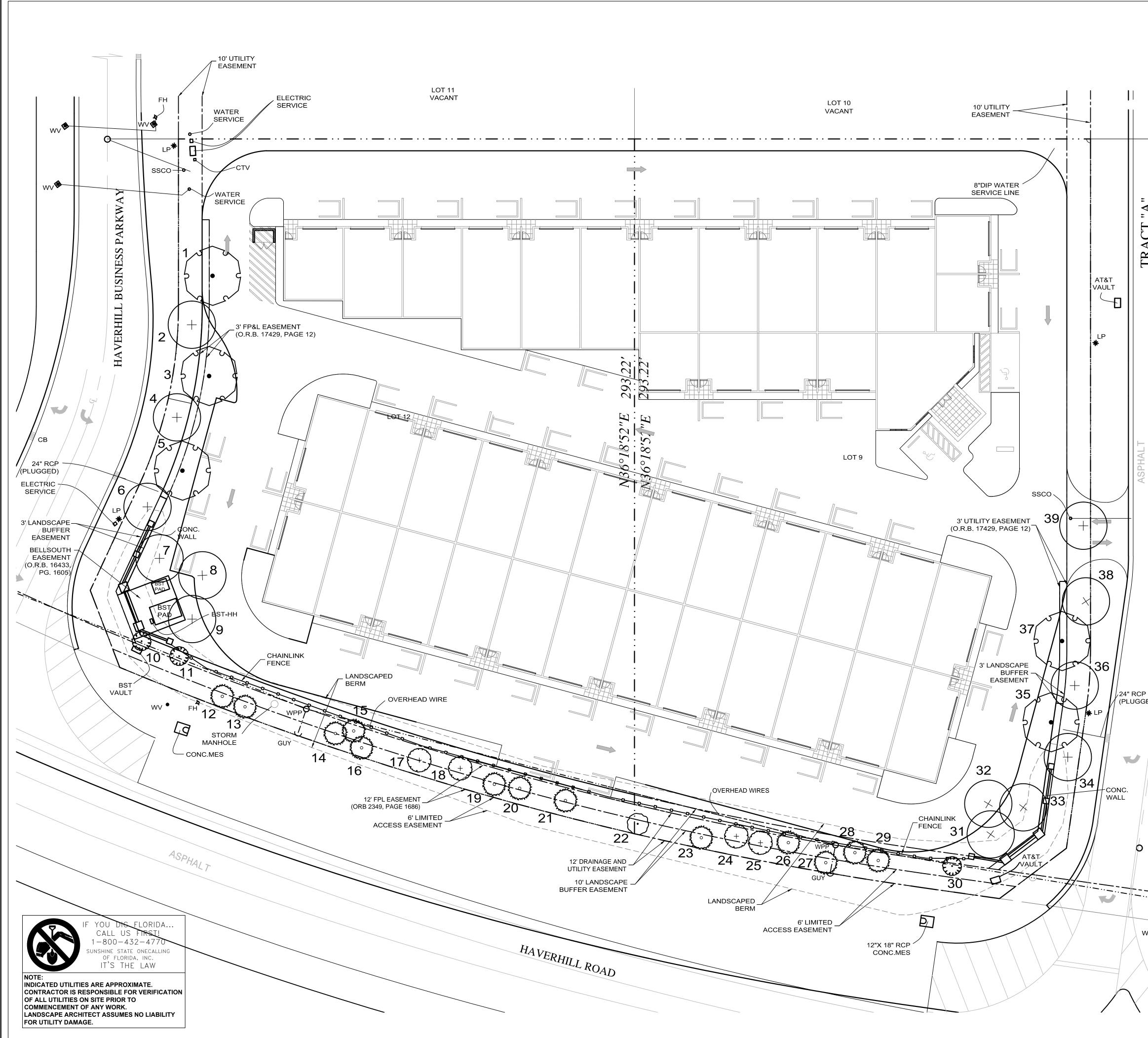


LEGEND

- 1. ALUCOBOND PANELS- Natural Brushed 50 Feve (or similar)
- 2. ALUCOBOND FINISH Natural Brushed Graphite Feve (or similar) Finish over open framed entry canopy structure.
- 3. Roof Eyebrow overhang Color # xxx
- 4. BRUSHED ALUMINUM Wedge/Fin shaped canopy (or similar)
- 5. TILT-UP FIN Wall Color to match Item #15
- 6. STOREFRONT SYSTEM Brushed Aluminum
- 7. WALL COLOR # PPG1043-1 Snowbank
- 8. WALL COLOR #PPG103-5 Victorian Pewter
- 9. WALL COLOR To match item #1
- 10. WALL COLOR # PPG1013-6 Gray Flannel (or similar)
- 11. TILT-UP SCORED FIN WALL COLOR: PPG1013-6 Gray Flannel
- 12. STOREFRONT DOORS Brushed Aluminum
- 13. MECHANICAL LOUVER SCREEN Aluminum Mill Finish
- 14. IMPACT TYPE GARAGE DOOR COLOR: To match PPG1013-4 silver charm
- 15. GARAGE DOOR CANOPY ALUCOBOND FINISH Red Fire PVDF-3
- 16. SCORED TILT-UP WALL COLOR: PPG1013-5 Victorian Pewter (or similar)
- 17. CLEARSTOREY GLASS Brushed Aluminum
- 18. EXTERIOR WALL LIGHTING TBD
- 19. DECORATIVE ARCHITECTURAL SCREEN CANOPY COLOR: Aluminum Mil Finish
- 20. ILLUMINATED PRIVATE STORAGE UNIT NUMBER



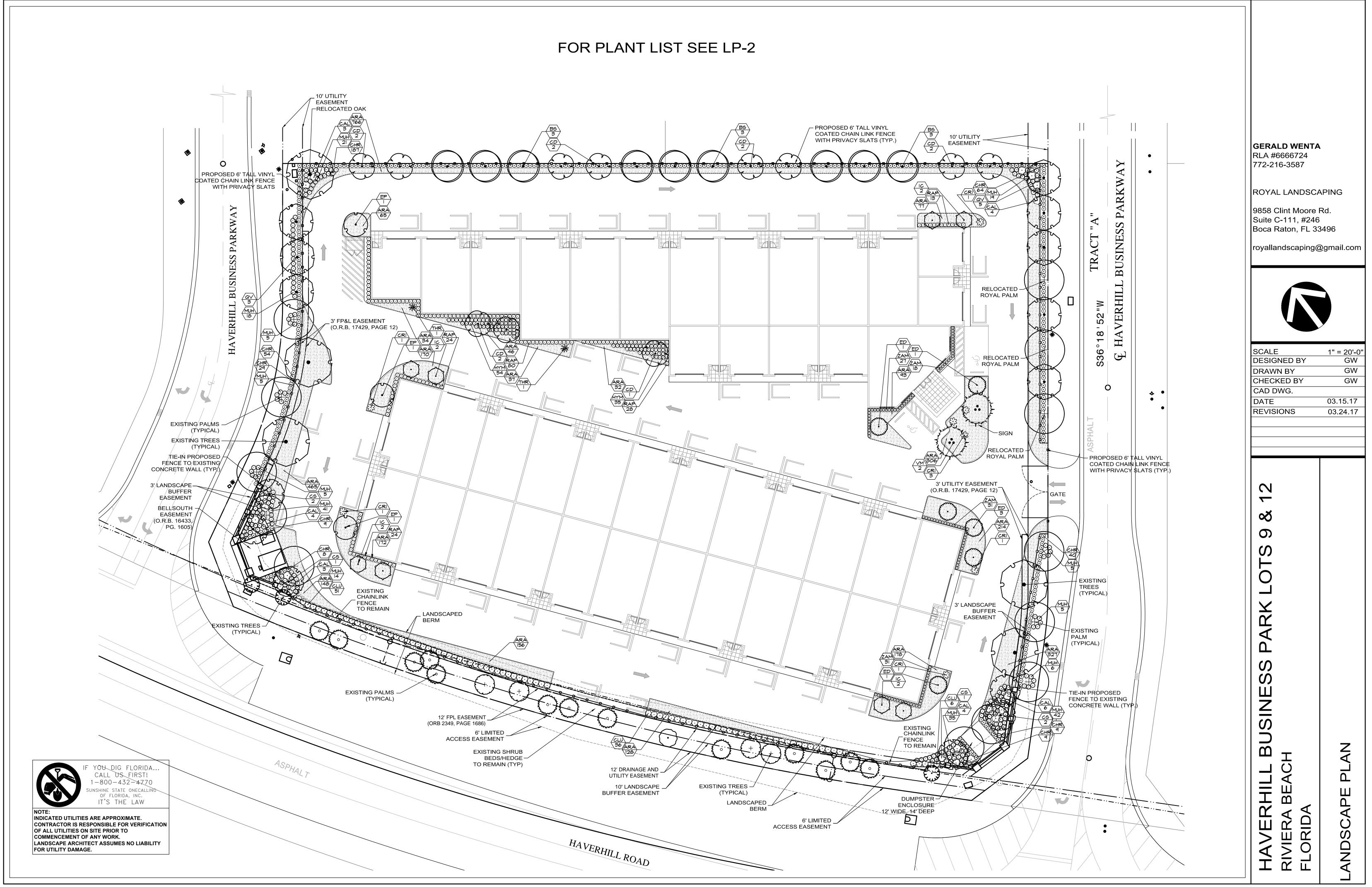




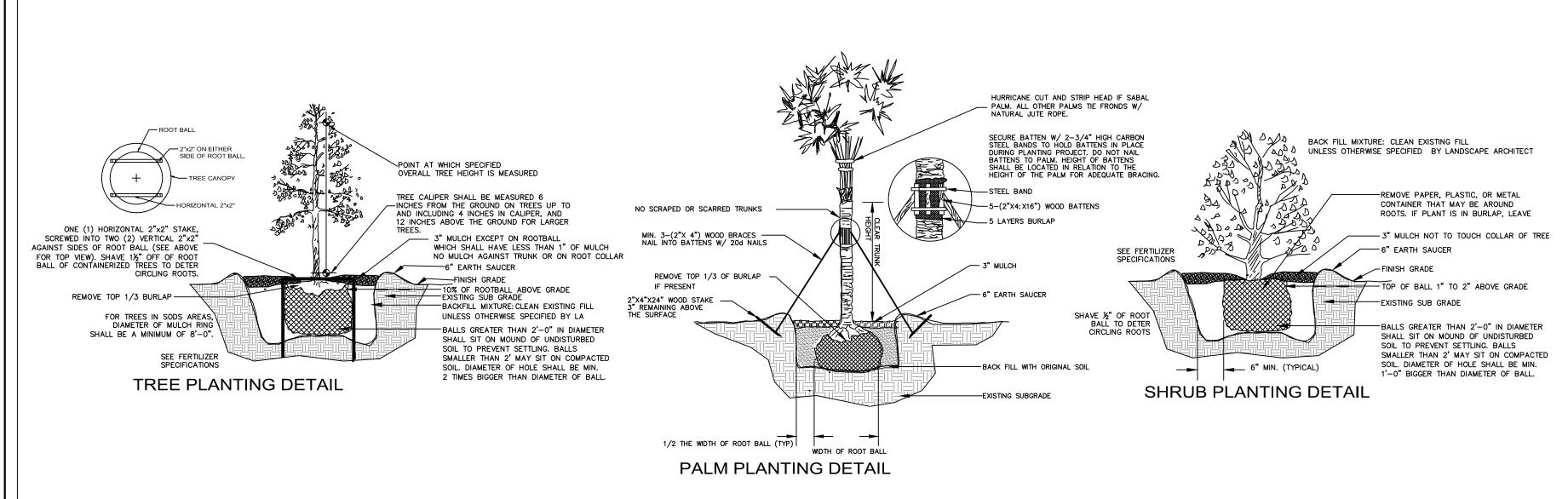
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36°18'52"W 11000 A				GERALD WENTA RLA #6666724 772-216-3587 ROYAL LANDSCA 9858 Clint Moore Suite C-111, #246 Boca Raton, FL 33 royallandscaping@	APING Rd. 3496
0	EXISTING TREE LIST AND DISPOSITIONNO.COMMON/BOTANICAL NAME1LIVE OAK/Quercus virginiana*2ROYAL PALM/Roystonea elata*3LIVE OAK/Quercus virginiana*4ROYAL PALM/Roystonea elata*5LIVE OAK/Quercus virginiana*6ROYAL PALM/Roystonea elata*7ROYAL PALM/Roystonea elata*8ROYAL PALM/Roystonea elata*9ROYAL PALM/Roystonea elata*	SIZE & CONDITION 12" CALIPER, GOOD (75%) 21'GW, FAIR (65%) 12" CALIPER, GOOD (85%) 19'GW, GOOD (80%) 12" CALIPER, GOOD (75%) 22'GW, POOR (45%) 21'GW, FAIR (70%) 20'GW, GOOD (80%) 18'GW, GOOD (75%)	ACTION RELOCATE (IN DRIVE) REMAIN REMAIN REMAIN REMAIN REMAIN REMAIN RELOCATE (IN DRIVE) REMAIN	SCALE DESIGNED BY DRAWN BY CHECKED BY CAD DWG. DATE REVISIONS	1" = 20'-0" GW GW 03.15.17 03.24.17
)	 10 BOTTLEBRUSH/Callistemon spp. 11 BOTTLEBRUSH/Callistemon spp. 12 SABAL PALM/Sabal palmetto* 13 SABAL PALM/Sabal palmetto* 14 SABAL PALM/Sabal palmetto* 15 SABAL PALM/Sabal palmetto* 16 SABAL PALM/Sabal palmetto* 17 PIGEON PLUM/Coccoloba diversifolia* 18 PIGEON PLUM/Coccoloba diversifolia* 19 SABAL PALM/Sabal palmetto* 20 SABAL PALM/Sabal palmetto* 21 SABAL PALM/Sabal palmetto* 22 LIGUSTRUM/Ligustrum japonicum 23 SABAL PALM/Sabal palmetto* 24 PIGEON PLUM/Coccoloba diversifolia* 25 PIGEON PLUM/Coccoloba diversifolia* 26 SABAL PALM/Sabal palmetto* 27 SABAL PALM/Sabal palmetto* 28 SABAL PALM/Sabal palmetto* 29 SABAL PALM/Sabal palmetto* 20 BOTTLEBRUSH/Callistemon spp. 31 ROYAL PALM/Roystonea elata* 32 ROYAL PALM/Roystonea elata* 34 ROYAL PALM/Roystonea elata* 35 LIVE OAK/Quercus virginiana* 36 ROYAL PALM/Roystonea elata* 37 LIVE OAK/Quercus virginiana* 38 ROYAL PALM/Roystonea elata* 39 ROYAL PALM/Roystonea elata* 31 ROYAL PALM/Roystonea elata* 33 ROYAL PALM/Roystonea elata* 34 ROYAL PALM/Roystonea elata* 35 LIVE OAK/Quercus virginiana* 36 ROYAL PALM/Roystonea elata* 37 LIVE OAK/Quercus virginiana* 38 ROYAL PALM/Roystonea elata* 39 ROYAL PALM/Roystonea elata* 39 ROYAL PALM/Roystonea elata* 30 ROYAL PALM/Roystonea elata* 31 ROYAL PALM/Roystonea elata* 33 ROYAL PALM/Roystonea elata* 34 ROYAL PALM/Roystonea elata* 35 LIVE OAK/Quercus virginiana* 36 ROYAL PALM/Roystonea elata* 37 LIVE OAK/Quercus virginiana* 38 ROYAL PALM/Roystonea elata* 39 ROYAL PALM/Roystonea elata* 	5" CALIPER, FAIR (65%) 18'CT, GOOD (75%) 17'CT, GOOD (75%) 16'CT, GOOD (75%) 5" CALIPER, GOOD (75%) 18'CT, GOOD (75%) 8" CALIPER, FAIR/POOR (60%) 8" CALIPER, FAIR/POOR (60%) 11'CT, GOOD (75%) 16'CT, GOOD (75%) 13'CT, GOOD (75%) 12'CT, GOOD (75%) 3" CALIPER, GOOD (85%) 20'GW, GOOD (75%) 19'GW, GOOD (80%) 20'GW, GOOD (80%) 21'GW, GOOD (80%) 12" CALIPER, GOOD (80%) 12" CALIPER, GOOD (80%) 13" CALIPER, GOOD (80%) 13" CALIPER, GOOD (80%) 13" CALIPER, GOOD (80%) 13" CALIPER, GOOD (80%)		S PARK LOTS 9 & 12	
•	Tree locations provided by Legacy Surveying a	Ind Mapping Inc, Tree survey date	d 2/1/17	HAVERHILL BUSINES RIVIERA BEACH FLORIDA	TREE DISPOSITION PLAN

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JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees will be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect.

No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood, V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable.

Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2" in height.

Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud. IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.



YOU DIG FLORIDA... CALL US FIRST! 1-800-432-4770 JNSHINE STATE ONECALLING OF FLORIDA, INC. IT'S THE LAW

INDICATED UTILITIES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.

n <u>GUARANTEE:</u>

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil. <u>STAKING:</u>

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

<u>over</u>	OVERALL PLANT LIST				
<u>sym</u>	QTY	COMMON/BOTANICAL			
EXISTI	EXISTING TREES AND PALMS:				
_	3	BOTTLEBRUSH/Callistemon spp.			
_	4	PIGEON PLVM/Coccoloba diversifolia*			
_	5	LIVE OAK/Quercus virginiana*			
_	13	ROYAL PALM/Roystonea elata*			
_	13	SABAL PALM/Sabal palmetto*			
TREES	AND P	ALMS:			
BS	9	GVMBO LIMBO/Bursera simarouba*			
CD	11	PIGEON PLVM/Coccoloba diversifolia*			
CS	6	GEIGER/Cordia sebestena*			
ED	6	JAPANESE BLUEBERRY/Elaeocarpus decipiens			
EP	3	EAST PALATKA HOLLY/Ilex attenuata 'EP'*			
IC	8	DAHOON HOLLY/Ilex cassine *			
QV	8	LIVE OAK/Quercus virginiana*			
VM	2	MONTGOMERY PALM/Veitchia montgomeriana			
ACCENTS, SHRUBS, AND GROUNDCOVERS:					
ARA	3,414				
CAL	24	BEAUTYBERRY/Callicarpa americana*			
CHR	410	COCOPLVM/Chrysobalanus icacao*			
CLU	98	SMALL LEAF CLVSIA/Clusia guttifera			
CRI	8	QVEEN EMMA CRINVM/Crinum augusta			
HYM	89	SPIDER LILY/Hymenocallis latifolia*			
MUH	221	MUHLY GRASS/Muhlenbergia cappilaris*			
RAP	169	MYRSINE/Rapanea punctata*			
THR	2	THATCH PALM/Thrinax radiata*			
ZAM	107	COONTIE/Zamia pumila*			
SOD	-	see 'Ara' for Alternative sod solution			
		MELALEVCA MULCH			

*denotes Florida native plant material

RIVIERA BEACH, FLORIDA – LANDSCAPE REQUIREMENTS REQUIREMENT

TOTAL LOT AREA -MINIMUM 20% OF SITE AREA RESERVED AS LA -1 TREE REQUIRED PER 1500 SF LOT AREA (112, -EXISTING TREES TO COUNT TOWARDS REQUI -EXISITNG PALMS TO COUNT TOWARDS REQU -REQUIRED TREES LESS EXISTING TREES (12) AN -SPECIES DIVERSITY REQUIRED FOR 75+ TREES -70% OF REQUIRED LANDSCAPE TO BE NATIVE -60% OF REQUIRED TREES TO BE NATIVE SHAD -ALL SHADE TREES TO BE MIN. 12'OAH X 5' SPR -10% OF REQUIRED TREES TO BE NATIVE ACCE -ALL ACCENT TREES TO BE MIN 10'OAH X 5'SPR -NO MORE THAN 20% OF REQUIRED TREES TO -ALL PALMS TO HAVE 8' CLEAR TRUNK -25% OF REQ. LANDSCAPE SHALL BE ECOLOGIC -NO MORE THAN 20% OF LS SHALL BE HIGH W -10' LS BUFFER REQUIRED ADJACENT TO PUBLI -5' LS BUFFER REQUIRED ADJACENT TO ABUTT -1 TREE PER 20LF (OR CLUSTERS 50'OC) OF BUI -A CONTINUOUS 2'OAH HEDGE TO BE PROVID -MINIMUM 25% OF BUFFER STRIP TO BE SHRUB -ALL OFF-STREET PARKING TO BE SCREENED F -A 10' CLEAR SITE TRIANGLE BETWEEN ACCESS -A 30'CLEAR SITE TRIANGLE BETWEEN INTERS -ADJACENT SWALES TO BE LANDSCAPED/SODI -ALL AC CONDENSERS, FPL BOXES, AND UTILIT -REQUIRED SHRUBS TO BE 24" OAH AT TIME O -VINES SAHLL BE 30" OAH MIN IF USED TO FUI -GROUNDCOVERS TO PROVIDE 100% COVERAG -REMAINDER OF PROPERTY TO HAVE FLORAT -AUTOMATED IRRIGATION SYSTEM TO PROVID

OTHER NOTES:

-ALL LANDSCAPE TO BE INSTALLED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS -ALL PLANT MATERIAL TO BE FLORIDA #1 OR BETTER, PER GRADES & STANDARDS, LATEST ED. -ALL TREE LOCATIONS TO COMPLY WITH FPL'S "RIGHT TREE, RIGHT PLACE" GUIDELINES -AMMEND NATIVE SOILS AS NEEDED TO PROMOTE VIGOUROUS HEALTH AND GROWTH -PROVIDE 3" MELALEUCA MULCH IN ALL PLANT BEDS, KEEP FROM TOUCHING PLANT STEMS -ONGOING MAINTENANCE TO FOLLOW BMP'S AND "FERTILIZER-FRIENDLY USE ORDINANCE" -TREE STAKING TO BE REMOVED NO SOONER THAN 12 MONTHS AFTER INITIAL INSTALLATION

MINIMUM SIZE/SPEC	NATIVE	DRT. TOL.	TYPE	ECO
SEE TD-1	NO	VERY	shade	NO
SEE TD-1	YES	VERY	shade	YES
SEE TD-1	YES	VERY	shade	YES
SEE TD-1	YES	VERY	PALM	NO
SEE TD-1	YES	VERY	PALM	YES
12'X5', 5'CT, 2" DBH MIN	YES	VERY	shade	NO
12'X5', 5'CT, 2" DBH MIN	YES	VERY	shade	YES
12'X5', 5'CT, 2" DBH MIN	YES	VERY	Shade	YES
12'X5', 5'CT, 2" DBH MIN	NO	VERY	ACCENT	NO
12'X5', 5'CT, 2" DBH FTB	YES	MOD	shade	YES
10'X5', 5'CT, 1.5" DBH FTB	YES	VERY	ACCENT	YES
12'X5', 5'CT, 2" DBH MIN	YES	VERY	shade	YES
16' TRIPLE STEM, MATCHED	NO	VERY	PALM	NO
SOD ALTERNATIVE, 4" POTS	NO	VERY	SOD	YES
24" #3 FULL, 48"OC	YES	VERY	shrub	YES
24" #3 FULL, 24"OC	YES	VERY	shrub	YES
24" #3 FULL, 36"OC	NO	VERY	shrub	NO
30″ #7 FULL	NO	VERY	ACCENT	NO
15″ #1 FULL, 24″OC	YES	VERY	G.COVER	NO
15" #1 FULL, 30"OC	YES	VERY	ACCENT	YES
24" #3 FULL, 24"OC	YES	VERY	Shrub	YES
4' OAH #15,	YES	VERY	PALM	YES
15" #3 FULL, 18"OC	YES	VERY	shrub	YES

3" DEPTH

	REQVIRED	PROVIDED
		112,815SF
ANDSCAPE SPACE	22,563SF	22,813SF
,813/1500)	76 TREES	63 TREES/28PALMS
IREMENTS		12 TREES
JIREMENTS	16 MAX	13 ROYALS, 13 SABALS
ND PALMS (16 MAX)	48 TREES	51 TREES/2 PALMS
	6 SPECIES	11 SPECIES
'E (EXCL TURF AREAS)	70%	92%+
DE TREES	46 TREES	46 TREES
r, 6'ct, And 2" dbh	YES	YES
ENT TREES	8 TREES	8 TREES
PR, 5'CT, AND 1.5" DBH	YES	YES
o be palms	16 MAX	16 MAX (+12 ADD'L)
	YES	YES
CALLY SIGNIFICANT	YES	YES
NATER USE AREAS	YES	YES (0%)
LIC RIGHT-OF-WAY	YES	YES
TING PROPERTIES	YES	YES
FFER IS REQUIRED	YES	YES
ded within buffers	YES	YES
BS/GROUNDCOVERS	YES	YES
FROM VIEWS	YES	YES
SSWAY AND ROW	YES	YES
secting row's	YES	YES
Ded/Maintained	YES	YES
tes to be screend	YES	YES
OF INSTALLATION	YES	YES
ILFILL REQUIREMENTS	YES	YES
GE W/IN 12 MONTHS	YES	YES
TAM SOD OR MULCH	YES	YES
DE 100%+ COVERAGE	YES	YES

GERALD WENTA RLA #6666724 772-216-3587 ROYAL LANDSCA 9858 Clint Moore I Suite C-111, #246 Boca Raton, FL 33 royallandscaping@ SCALE DESIGNED BY DRAWN BY CHECKED BY CAD DWG. DATE REVISIONS	APING Rd. 3496
HAVERHILL BUSINESS PARK LOTS 9 & 12 RIVIERA BEACH FLORIDA	LANT LIST, CODE REQUIREMENTS, DETAILS, NOTES

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