

For Staff Use Only

City of Riviera Beach Community Development Department 600 W. Blue Heron Boulevard Riviera Beach, Florida 33404 Phone: (561) 845-4060 Fax : (561) 845-4038	Date: _____	Case Number: _____
	Project Title: _____	
	Fee Paid: _____	Notices Mailed: _____
	1st Hearing: _____	2nd Hearing: _____
	Publication Dates (if required) _____	

UNIFORM LAND USE APPLICATION

(Please attach separate sheet of paper for required additional information)
Complete appropriate sections of Application and sign.

RECEIVED

MAR 24 2017

APPLICANT	Name of Property Owner(s): Restoration Property Holdings, Inc	PLANNING / ZONING DIVISION
	Mailing Address: PO BOX 14052 North Palm Beach, Fl. 33408	
	Property Address: 7210 Haverhill Business Pkwy, Riviera Beach. Fl. 33407	
	Name of Applicant (if other than owner): _____	
	Home: () _____ Work: (561) 801-9110 Fax: () _____	
	E-mail Address: scunningham225@aol.com	

PLEASE ATTACH LEGAL DESCRIPTION

PROPERTY	Future Land Use Map Designation: Industrial Current Zoning Classification: General Industrial
	Square footage of site: 112,815 Property Control Number (PCN): 56-42-42-26-02-000-0120 & 56-42-42-26-02-000-0090
	Type and gross area of any existing non residential uses on site: NA
	Gross area of any proposed structure: 44,000 sf
	Is there a current or recent use of the property that is/was in violation of City Ordinance? [] Yes [<input checked="" type="checkbox"/>] No
	If yes, please describe: _____
	Have there been any land use applications concerning all or part of this property in the last 18 months? [] Yes [<input checked="" type="checkbox"/>] No
	If yes, indicate date, nature and applicant's name: _____
	Briefly describe use of adjoining property: North: Vacant
	South: Industrial/Office
East: Industrial	
West: NA	

REZONE	Requested Zoning Classification: General Industrial
	Is the requested zoning classification contiguous with existing? Yes
	Is a Special Exception necessary for your intended use? [<input checked="" type="checkbox"/>] Yes [] No
	Is a Variance necessary for your intended use? [] Yes [<input checked="" type="checkbox"/>] No

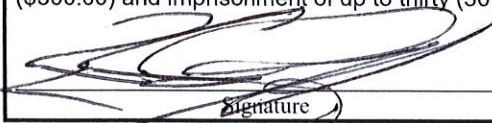
FUTURE LAND USE	Existing Use: Vacant	Proposed Use: Private Storage Facility
	Land Use Designation: Industrial	Requested Land Use: NA
	Adjacent Land Uses: North: Industrial	South: Industrial
	East: Industrial	West: NA
	Size of Property Requesting Land Use Change: NA	

SPECIAL EXCEPTION	Describe the intended use requiring a Special Exception: Private Storage Facility
	Provide specific LDR ordinance section number and page number: Sec.31-382-b.2
	How does intended use meet the standards in the Land Development Code? YES
	Demonstrate that proposed location and site is appropriate for requested use: It is compatible with many other current facilities/businesses in Haverhill Business Park
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and neighborhoods: <i>Architectural design elements and building characteristics are very compatible and will further enhance its surrounding environment</i>
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: <small>The subject properties landscape appearance is currently enhanced by existing grown vegetation and corner "monument type" feature walls which serve as visual screening, see Landscape Design for proposed plant species which will enhance the visual and privacy from adjacent uses.</small>
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: The facility will be strictly limited to "Private Storage" and owners will need to adhere to Condominium rules and regulations.
	Demonstrate how utilities and other service requirements of the use can be met:
	Demonstrate how the impact of traffic generated will be handled: On-site: See attached Traffic Report
	Off-Site:
Other:	

VARIANCE	Describe the Variance sought: NA
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site:
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space:
	Other:

SITE PLAN	Describe proposed development: Private Ownership storage facility
	Demonstrate that proposed use is appropriate to site: The proposed use is currently compatible with numerous other existing businesses on Haverhill Business park
	Demonstrate how drainage and paving requirement will be met: See attached Civil Drawings
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: See attached Landscape Drawings
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: Private Storage Facility, no business enterprises shall be permitted to operate from any of the units.
	Demonstrate how utilities and other service requirements of the use can be met: See attached drawings
Demonstrate how the impact of traffic generated will be handled: On-site: See attached traffic report Off-site:	

OTHER	<u>COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:</u>
	<ul style="list-style-type: none"> • Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit. • Antenna manufacture cut sheets including antenna size and shape. • Zoning map of area with site clearly marked. • Photos of existing building or tower and surrounding uses. • Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional. • Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop. • Letter of structural capacity and building code compliance. • Notes on plan or letter demonstrating floor area coverage not in excess of restrictions • Provide Photo Enhancements of proposal. • Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

Confirmation of Information Accuracy	
I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.	
 _____ Signature	March 24, 2017 _____ Date

AGENT AUTHORIZATION FORM

Owner(s) of Record: Restoration Property Holdings, Inc.

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Scott Cunningham

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

Lot 9 & 12, of Haverhill Business park, according to the plat thereof, recorded in plat book 101, page 139, of the public records of Palm Beach County; with respective PCN# 56-42-42-26-02-000-0120 & 56-42-42-26-02-000-0090

the street address of which is: 7210 Haverhill Business Park, Riviera Beach, Fl. 33407

and that we hereby appoint:

Name: Scott Cunningham

Address: PO BOX 14052 North Palm Beach, Fl. 33407

Telephone: 561-801-9110

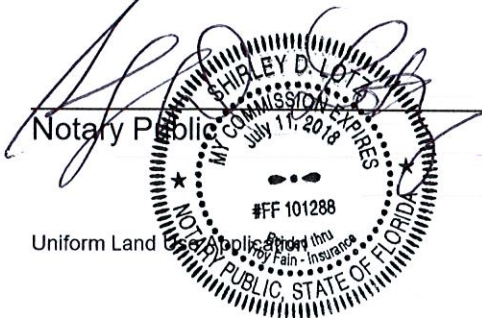
as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest,

[Signature] _____ (Seal)

_____ (Seal)

_____ (Seal)

Sworn to and subscribed before me this 24 day of March, 2017.



PROJECT NARRATIVE



THE HANGAR™

— Store · Play · Hang —





Contents

- Tax Revenues & Economic Impact
- Points of Pride for Riviera Beach
- Proposed Site Plan
- Overview: Prestigious motorsports storage facility
- Haverhill Business Park (Motorsports Center)
- Regional “Motorsports” Center
- Seeking Site Plan approval



Tax Revenue & Economic Impact

- **CURRENT R.E. TAX REV** @668K

\$15,051 - PBC

\$5,653 - R.B. OPERATING

- **PROJECTED R.E. TAX REV** @\$9M

\$201,600 - PBC

\$75,600 - R.B. OPERATING

- Project cost is estimated at \$4.5M including land costs.
- This project will strengthen and reinforce Haverhill Business Parks' growing reputation as the premier Motorsports complex in Palm Beach County. Automotive related support businesses will grow and expand to serve to multitude of needs of the affluent automotive enthusiasts that will own these units.
- Riviera Beach in addition to beautiful beaches and World class fishing, is poised to be known as the premier automobile and motorsports location anywhere in South Florida.
- Automotive and service businesses, hotels, gas stations, restaurants as well as many local trade and construction businesses will feel a direct positive economic impact from this project.

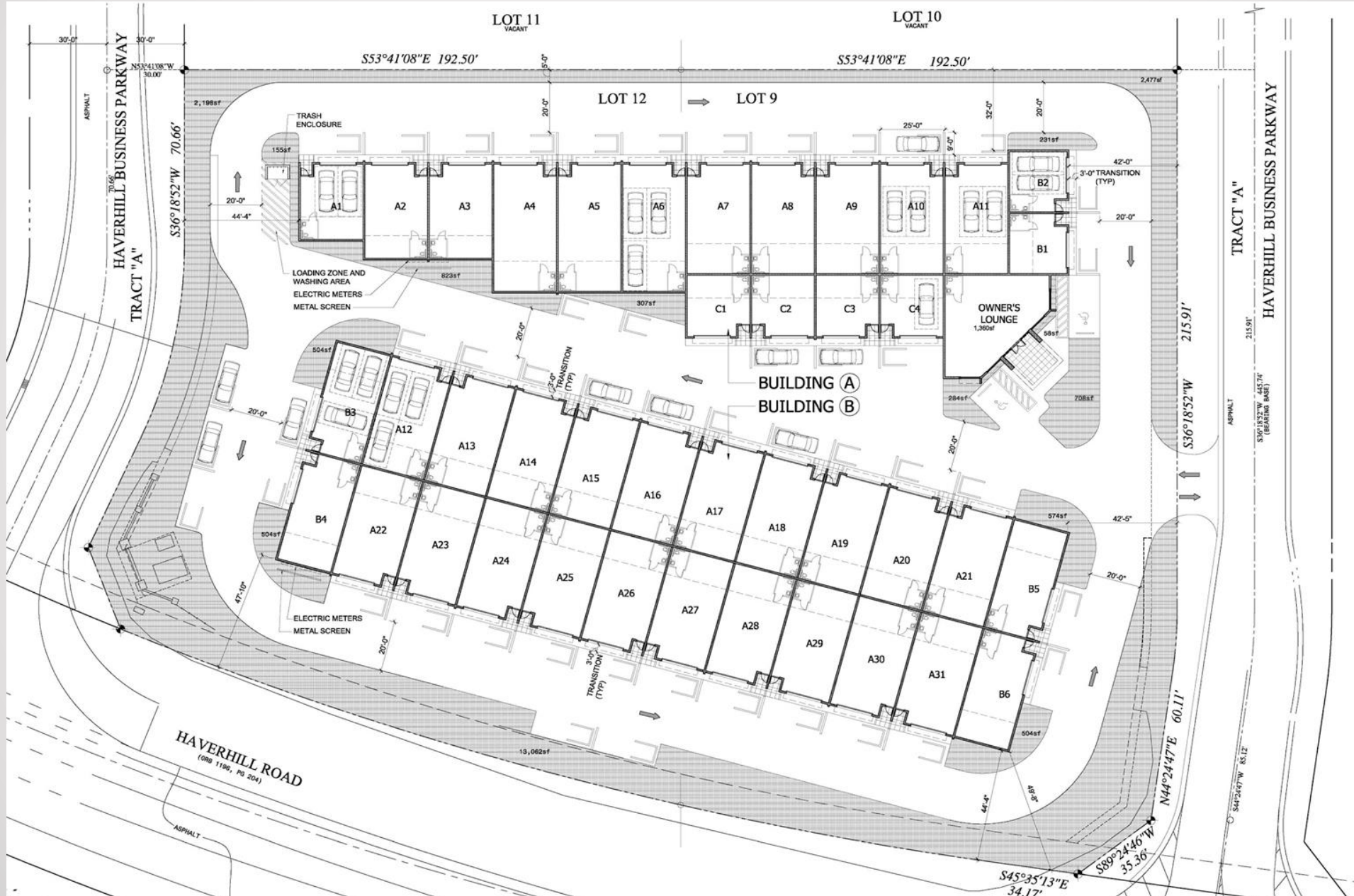
Points of Pride for Riviera Beach

- Regionally Ideal location -PBIR, Sebring, Homestead, Daytona
- Highest and best use of this property
- Desirable, prestigious project with very limited availability
- Enhances existing Motorsports Businesses
- Strong Positive Economic Impact
- No downside - Similar type projects have sold out virtually as fast as they are built
- Fills a need from an affluent and under - served market
- This is a project that Riviera Beach can and will be proud of
- Built by highly regarded Sabatello Companies

- *Seek Approval of Site Plan



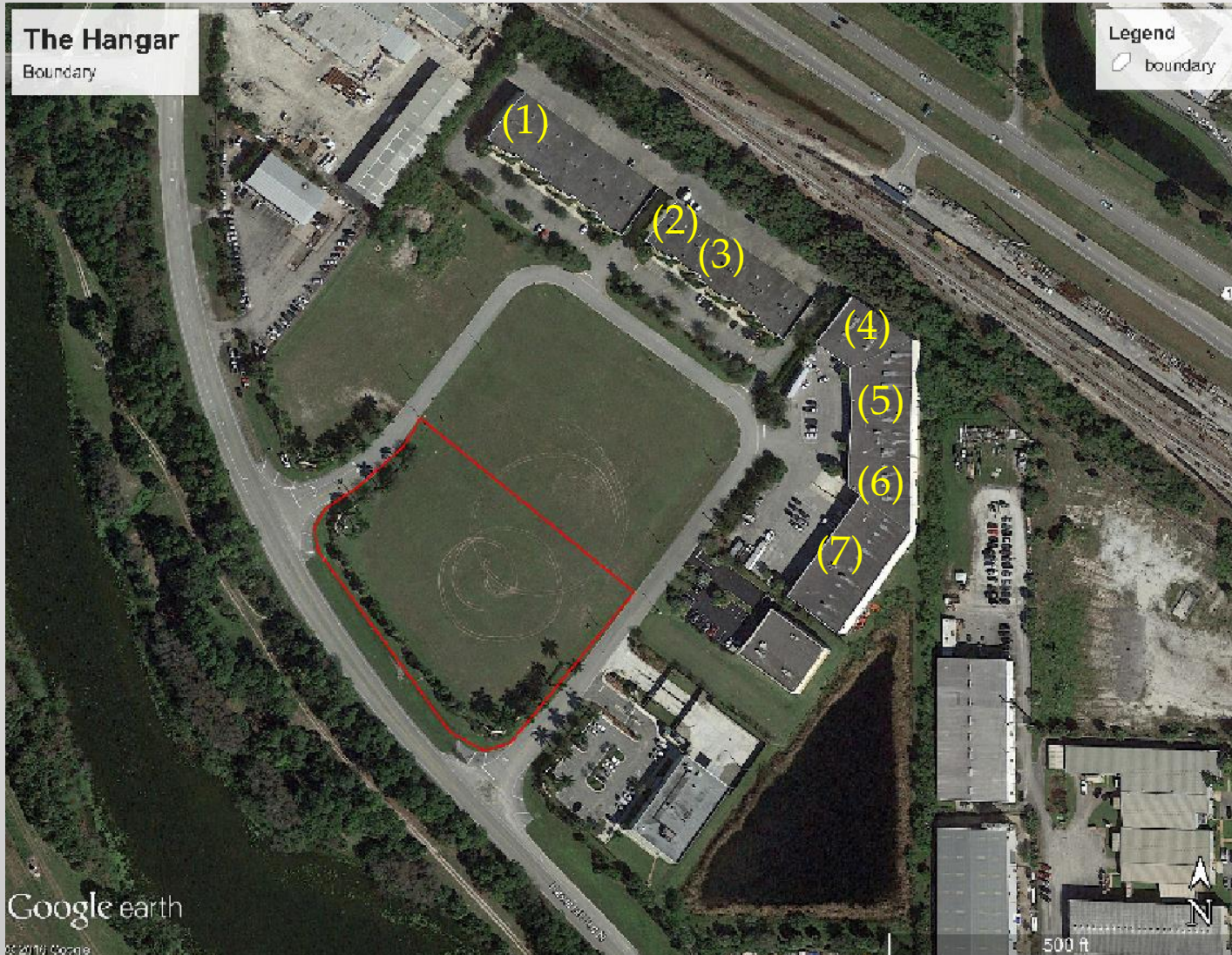
Proposed Site Plan





Private Garage Condominium Complex
A unique property that offers individually owned, private garage condominiums for your personal collection. Very limited availability, ideally located in a secure upscale environment. Ownership of a "Hangar" also includes exclusive use of the private owner's lounge.

Regional “Motorsports” Center



Motorsports Businesses currently located and operating at-
Haverhill Business Park

- (1) Lusso Motorsports
- (2) Denmark Auto Brokers
- (3) Florida Performance Cars
- (4) Turtle Motorsports
- (5) Orbit Racing
- (6) IPTS, Inc.
- (7) Atlantis Motor Group

Florida's' Motorsports “diamond”:

- Palm Beach International Raceway
- Sebring International Raceway
- Homestead-Miami Speedway
- Daytona International Speedway

Prestigious “destination” with Strong Economic Impact

- Private Garage Condo Complex for Motorsport & Collector Cars
- 2.6 Acres: currently vacant lot
- Location on Western edge/boundary of city
- Regionally ideal location for this type of facility
- 40+/- Individual Units located within 2 Buildings
- Similar projects around the country generally “sell out” as fast as they are built.
- Attractive/ Secure/ Prestigious
- Positive Economic Impact
 - Tax Revenue Increase
 - Job creation through Unit Owners (magnet to area)
 - Secondary positive employment impact to local businesses
 - Will help reinvigorate and accelerate redevelopment and growth of western edge of city



REVISIONS

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THE HANGAR

Lots 9 & 12 Haverhill Business Park
Riviera Beach, Florida

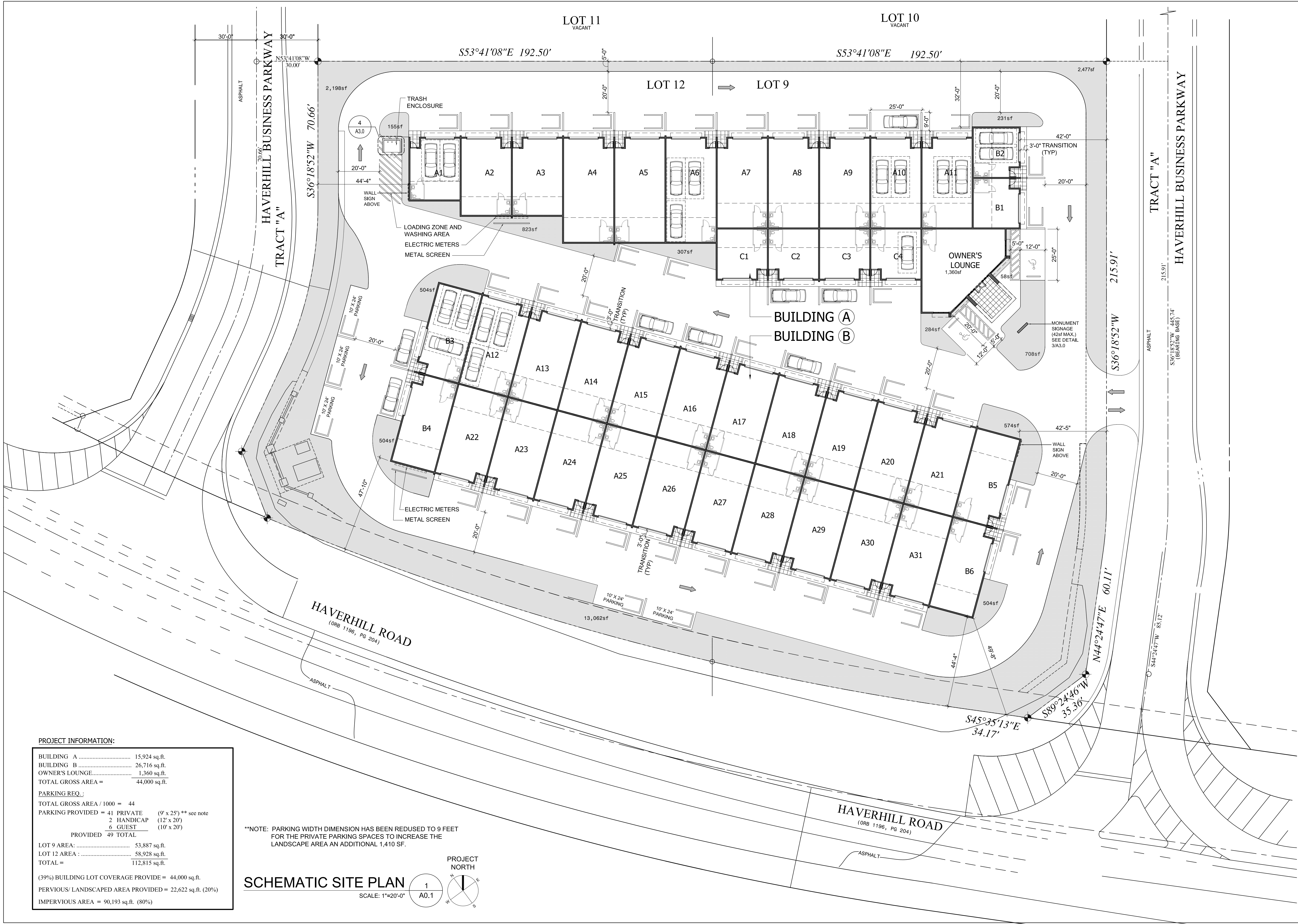
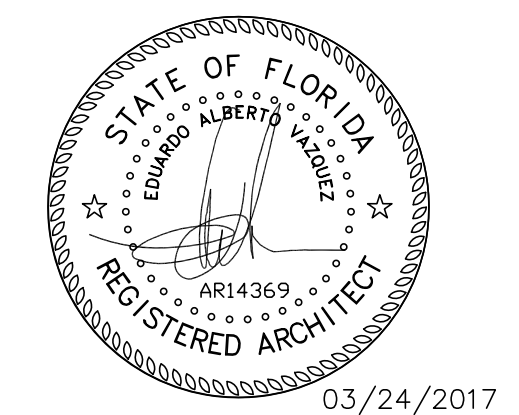


P & Z Submittal

March 24, 2017

Illustration is for presentation reference
purposes only and subject to change.

REVISIONS



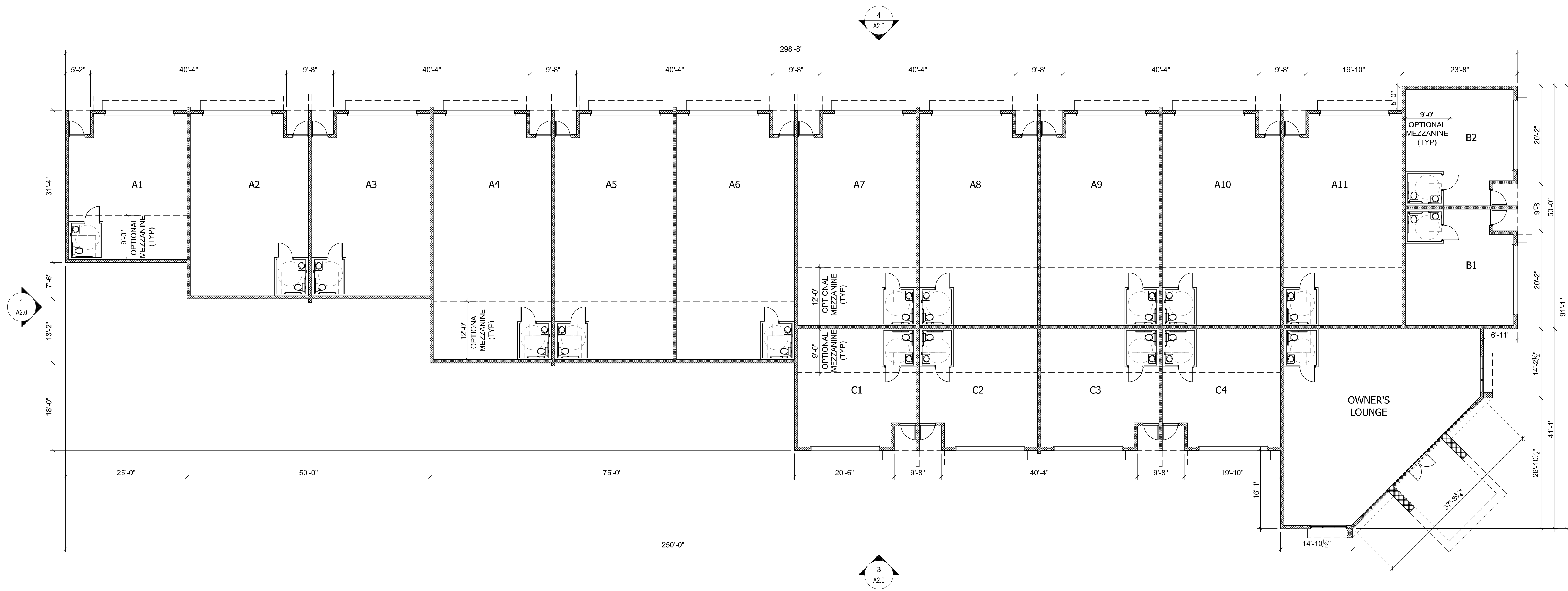
PROJECT INFORMATION:

BUILDING A	15,924 sq.ft.
BUILDING B	26,716 sq.ft.
OWNER'S LOUNGE	1,360 sq.ft.
TOTAL GROSS AREA =	44,000 sq.ft.
PARKING REQ.:	
TOTAL GROSS AREA / 1000 =	44
PARKING PROVIDED = 41 PRIVATE (9' x 25') ** see note	
2 HANDICAP (12' x 20')	
6 GUEST (10' x 20')	
PROVIDED 49 TOTAL	
LOT 9 AREA:	53,887 sq.ft.
LOT 12 AREA:	58,928 sq.ft.
TOTAL =	112,815 sq.ft.
(39%) BUILDING LOT COVERAGE PROVIDED =	44,000 sq.ft.
PERVIOUS/ LANDSCAPED AREA PROVIDED =	22,622 sq.ft. (20%)
IMPERVIOUS AREA =	90,193 sq.ft. (80%)

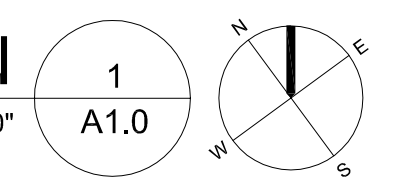
**NOTE: PARKING WIDTH DIMENSION HAS BEEN REDUCED TO 9 FEET FOR THE PRIVATE PARKING SPACES TO INCREASE THE LANDSCAPE AREA AN ADDITIONAL 1,410 SF.

SCHEMATIC SITE PLAN
SCALE: 1"=20'-0"

REVISIONS



BUILDING 'A' FLOOR PLAN
SCALE: 3/32"=1'-0"
PROJECT NORTH



REVISIONS

P & Z SUBMITTAL



03/24/2017
Eduardo A. Vazquez, R.A.

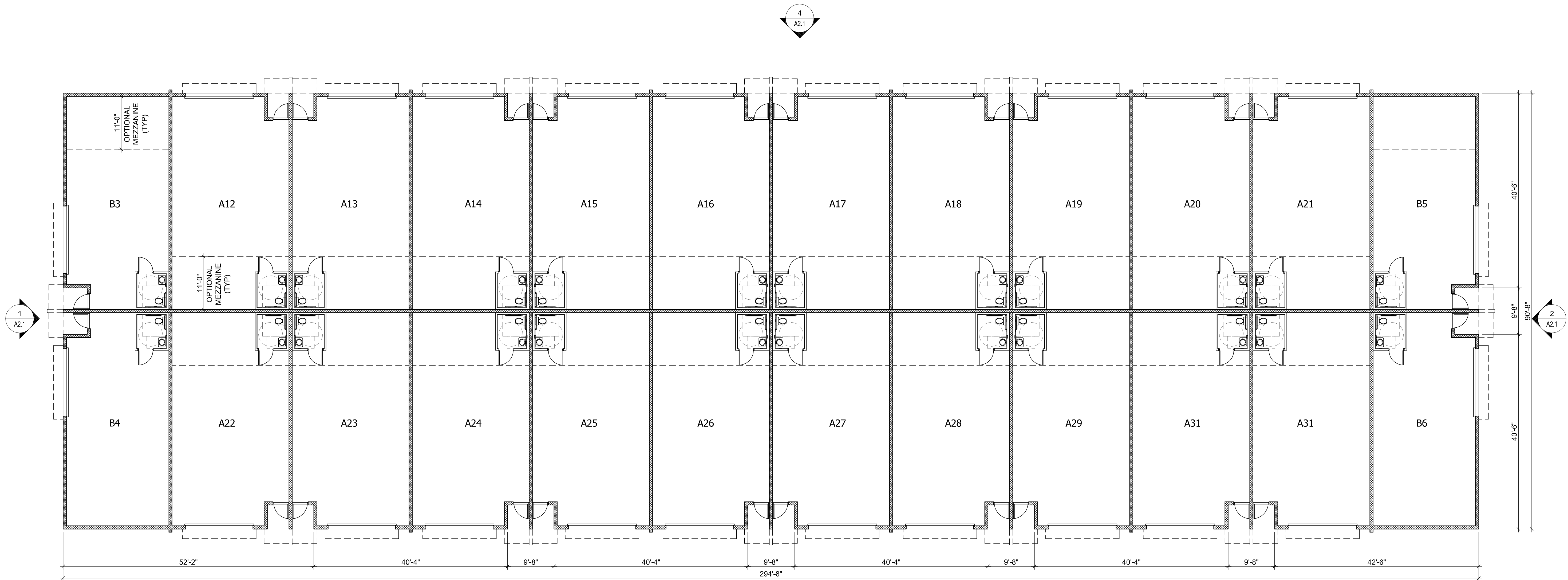
DATE: MARCH 24, 2017

AR 14369

SCHEMATIC BUILDING 'B' FLOOR PLAN

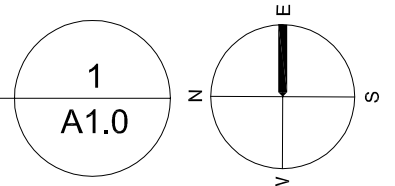
A11

OF SHEETS



BUILDING 'B' FOOR PLAN

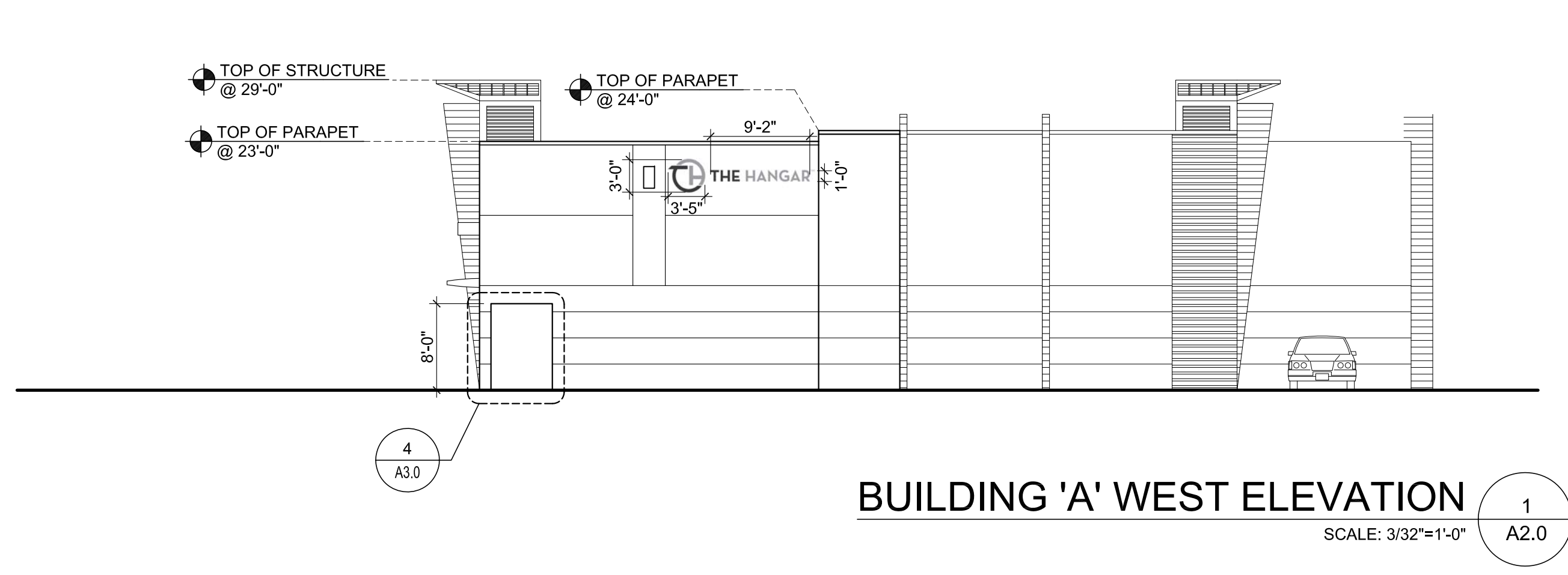
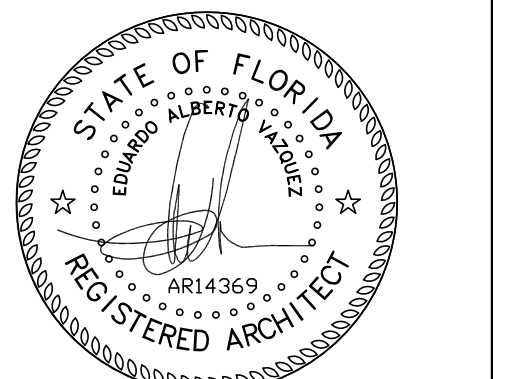
SCALE: 3/32"=1'-0"



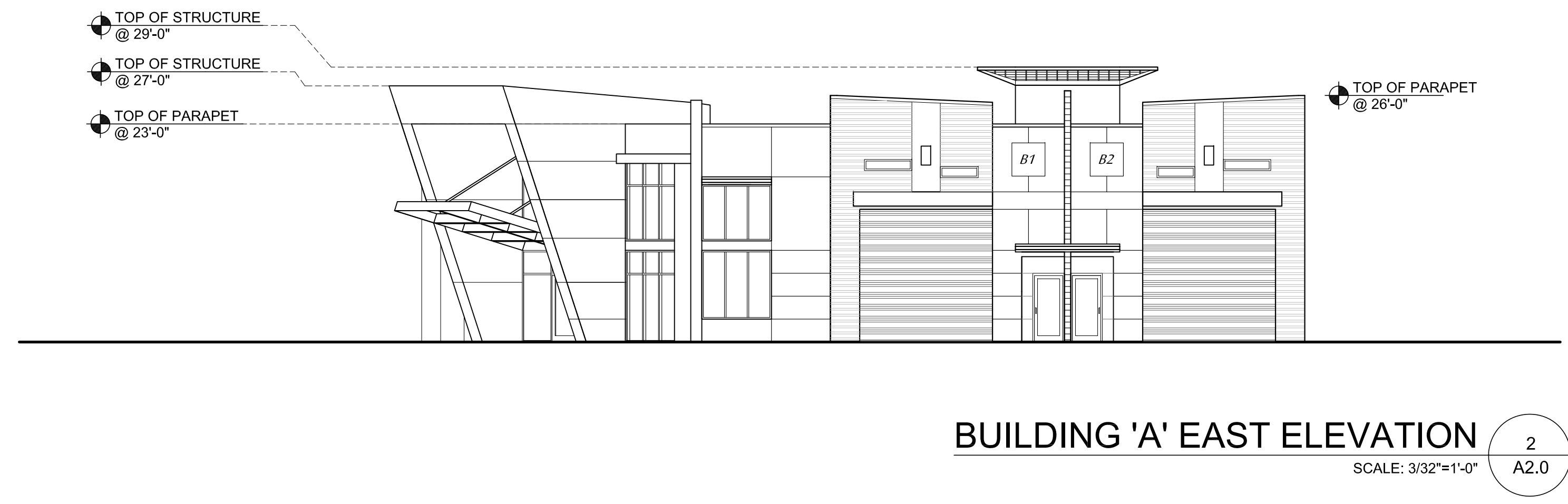
PROJECT NORTH

REVISIONS

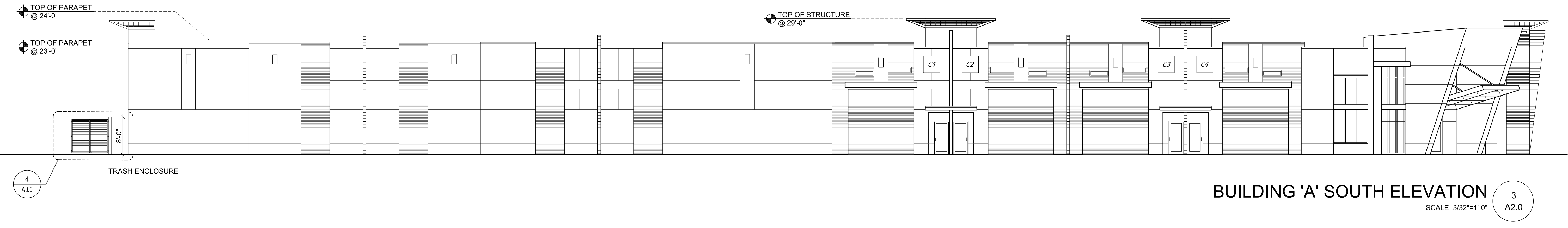
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BUILDING 'A' WEST ELEVATION 1
SCALE: 3/32"=1'-0" A2.0



BUILDING 'A' EAST ELEVATION 2
SCALE: 3/32"=1'-0" A2.0

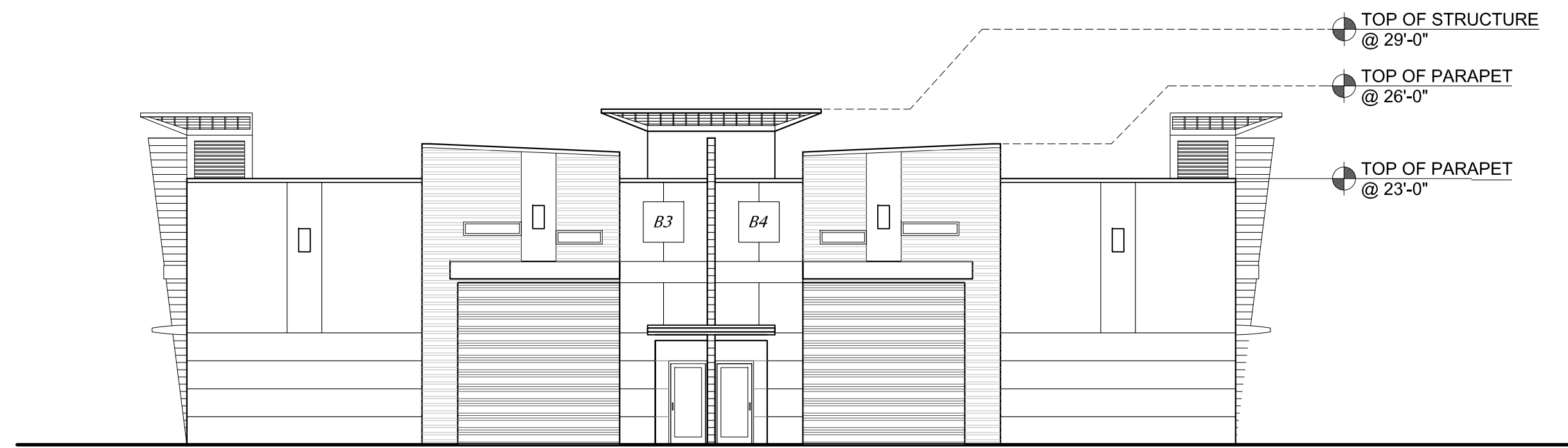
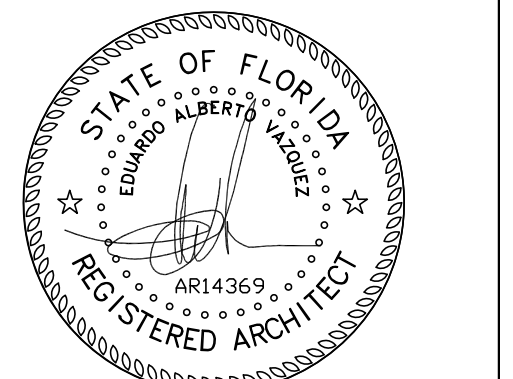


BUILDING 'A' SOUTH ELEVATION 3
SCALE: 3/32"=1'-0" A2.0

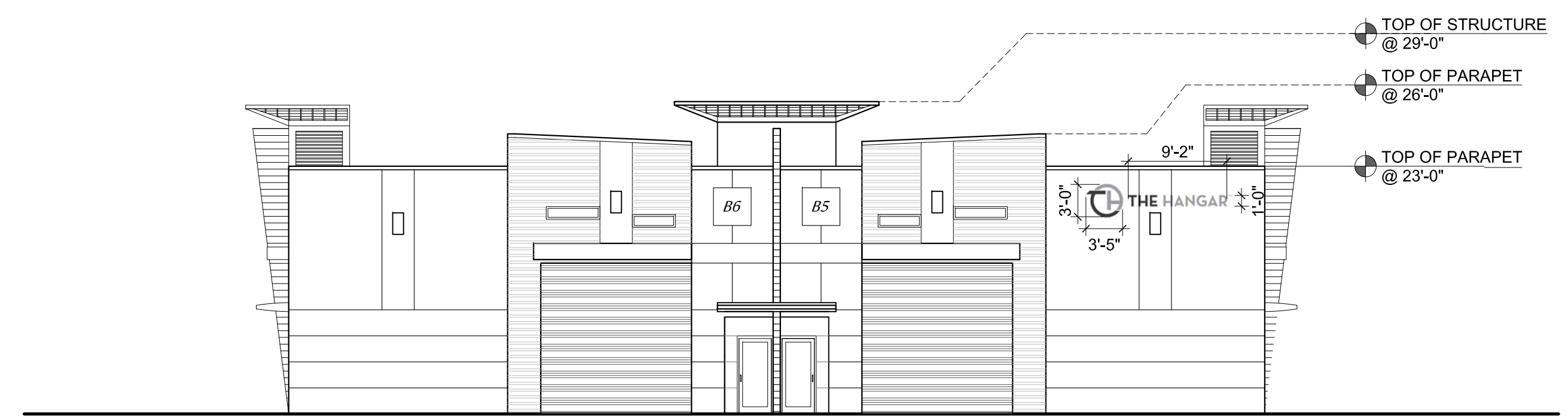


BUILDING 'A' NORTH ELEVATION 4
SCALE: 3/32"=1'-0" A2.0

REVISIONS



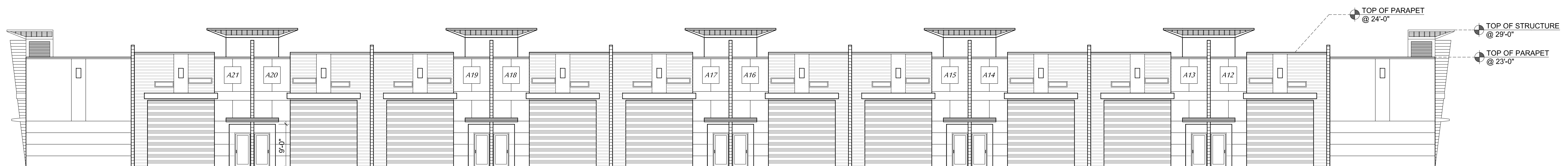
BUILDING 'B' WEST ELEVATION 1
SCALE: 3/32"=1'-0" A2.1



BUILDING 'B' EAST ELEVATION 2
SCALE: 3/32"=1'-0" A2.1



BUILDING 'B' SOUTH ELEVATION 3
SCALE: 3/32"=1'-0" A2.1



BUILDING 'B' NORTH ELEVATION 4
SCALE: 3/32"=1'-0" A2.1

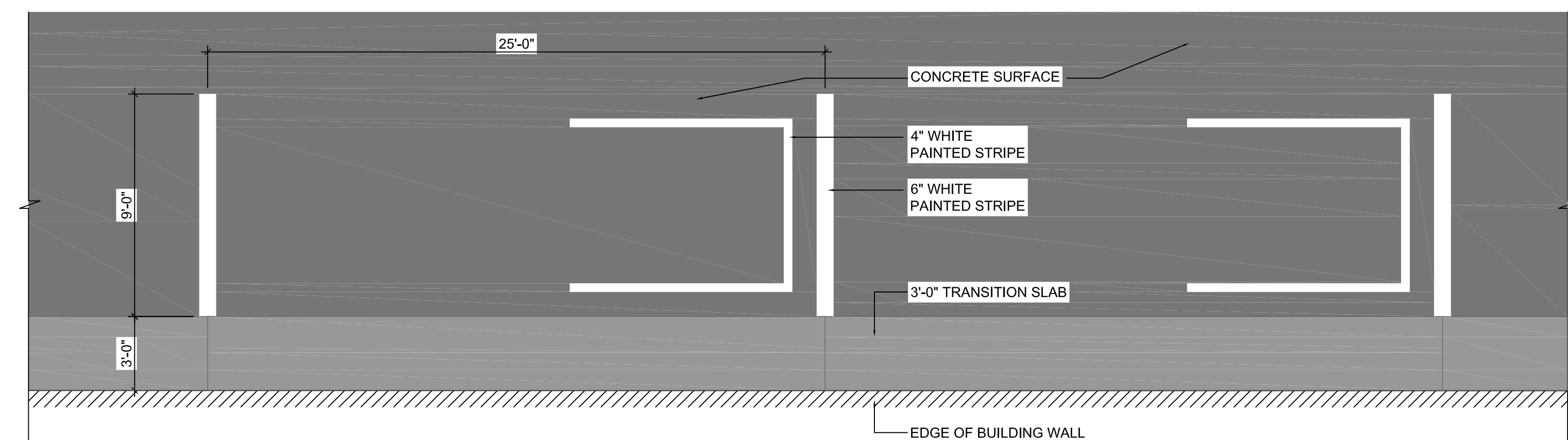
LEGEND

1. ALUCOBOND PANELS- Natural Brushed 50 Feve (or similar)
2. ALUCOBOND FINISH - Natural Brushed Graphite Feve (or similar)
Finish over open framed entry canopy structure.
3. Roof Eyebrow overhang - Color # xxx
4. BRUSHED ALUMINUM - Wedge/Fin shaped canopy (or similar)
5. TILT-UP FIN Wall - Color to match Item #15
6. STOREFRONT SYSTEM - Brushed Aluminum
7. WALL COLOR - # PPG1043-1 Snowbank
8. WALL COLOR - #PPG103-5 Victorian Pewter
9. WALL COLOR - To match item #1
10. WALL COLOR - # PPG1013-6 - Gray Flannel (or similar)
11. TILT-UP SCORED FIN WALL - COLOR: PPG1013-6 - Gray Flannel
12. STOREFRONT DOORS - Brushed Aluminum
13. MECHANICAL LOUVER SCREEN - Aluminum Mill Finish
14. IMPACT TYPE GARAGE DOOR - COLOR: To match PPG1013-4 - silver charm
15. GARAGE DOOR CANOPY - ALUCOBOND FINISH - Red Fire PVDF-3
16. SCORED TILT-UP WALL - COLOR: PPG1013-5 - Victorian Pewter (or similar)
17. CLEARSTOREY GLASS - Brushed Aluminum
18. EXTERIOR WALL LIGHTING - TBD
19. DECORATIVE ARCHITECTURAL SCREEN CANOPY - COLOR: Aluminum Mill Finish
20. ILLUMINATED PRIVATE STORAGE UNIT NUMBER



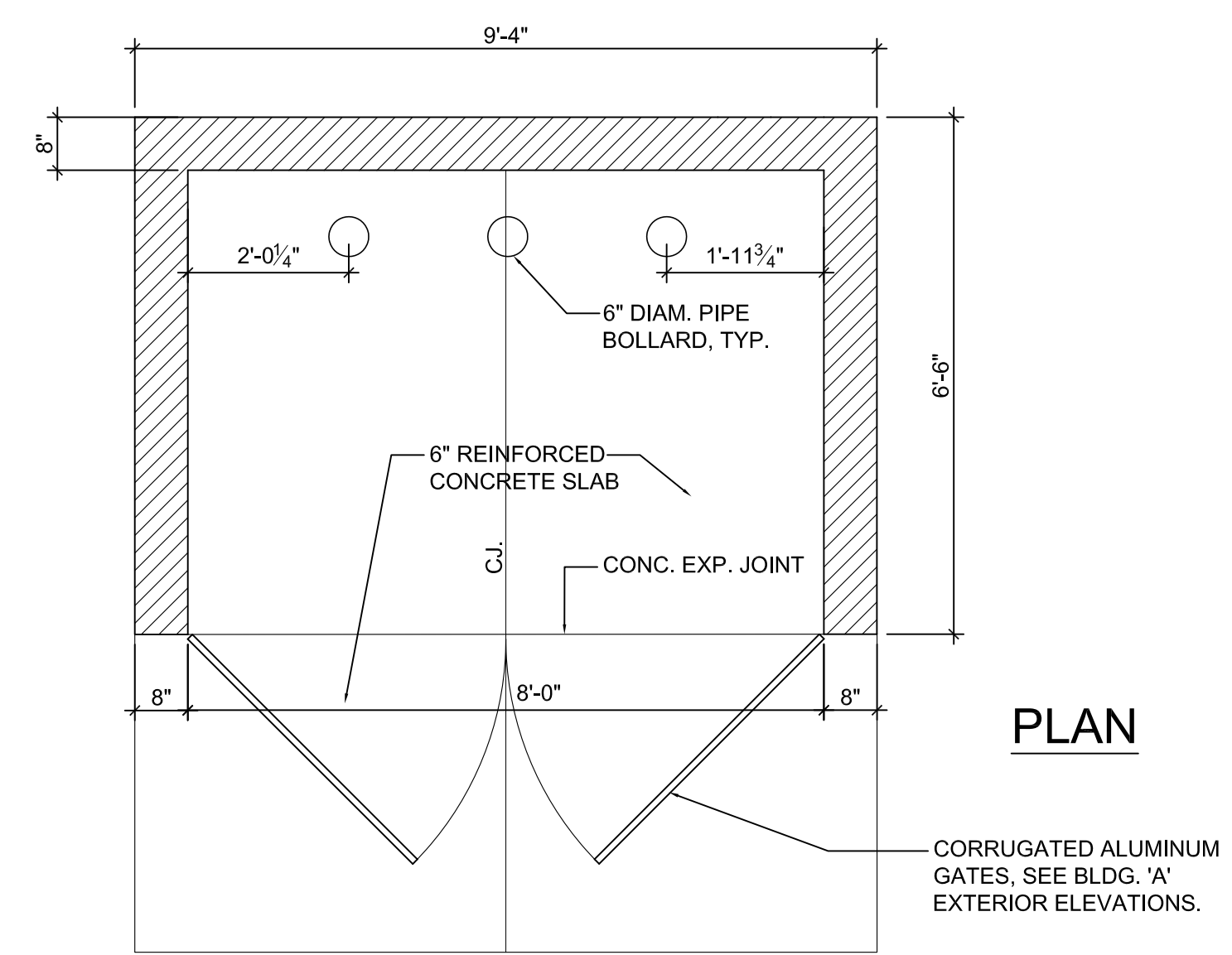
NOTE: COLOR AND MATERIAL SELECTIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY, TO SHOW DESIGN INTENT. FINAL SELECTIONS MAY CHANGE BASED ON AVAILABILITY CONSTRUCTION COST.

FINISH ELEVATION 1
NOT TO SCALE A3.0



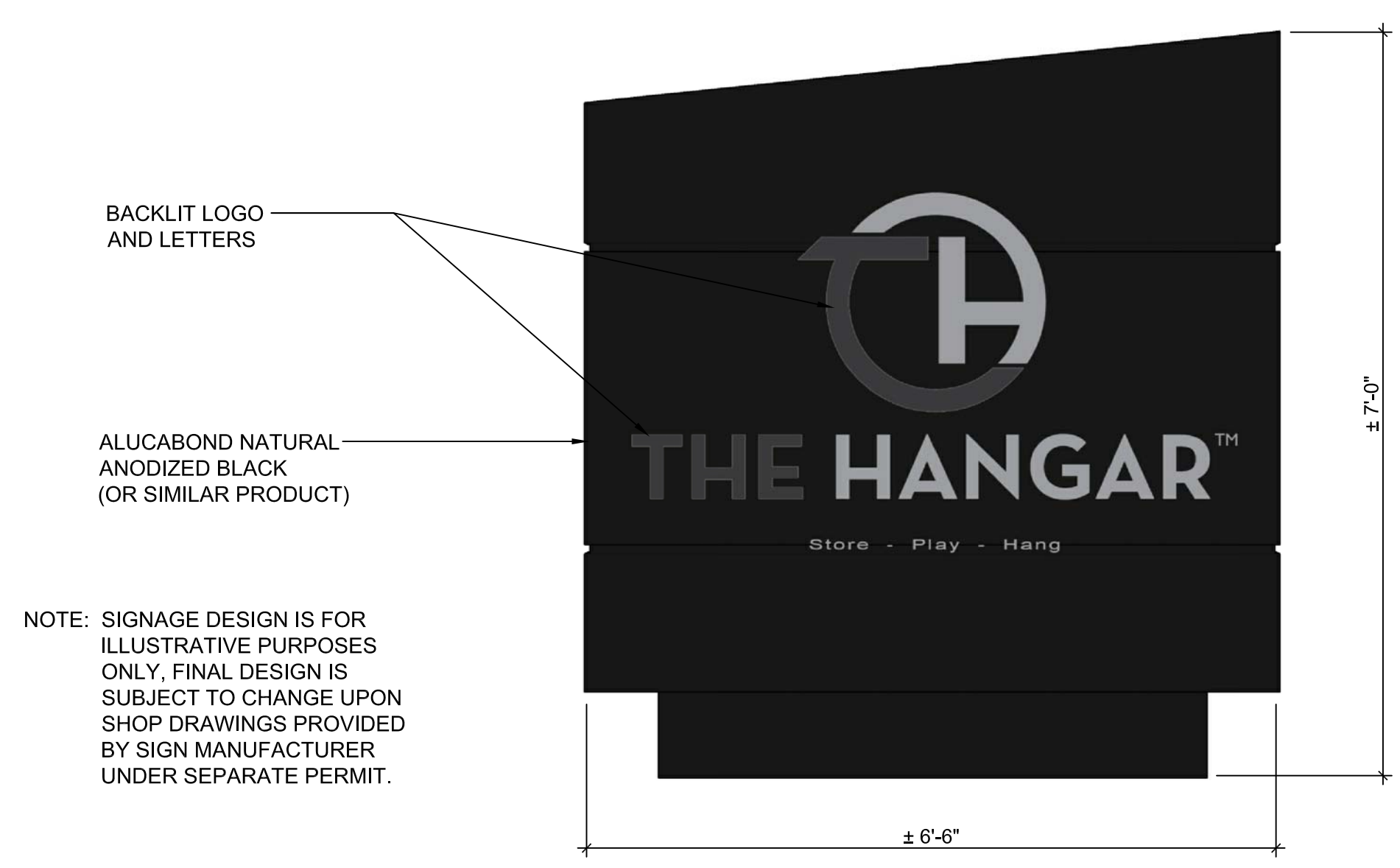
NOTE: PARKING WIDTH DIMENSION HAS BEEN REDUCED TO 9 FEET FOR THE PRIVATE PARKING SPACES TO INCREASE THE LANDSCAPE AREA AN ADDITIONAL 1,410 SF.

PARKING DETAIL 2
SCALE: 1/4"=1'-0" A3.0



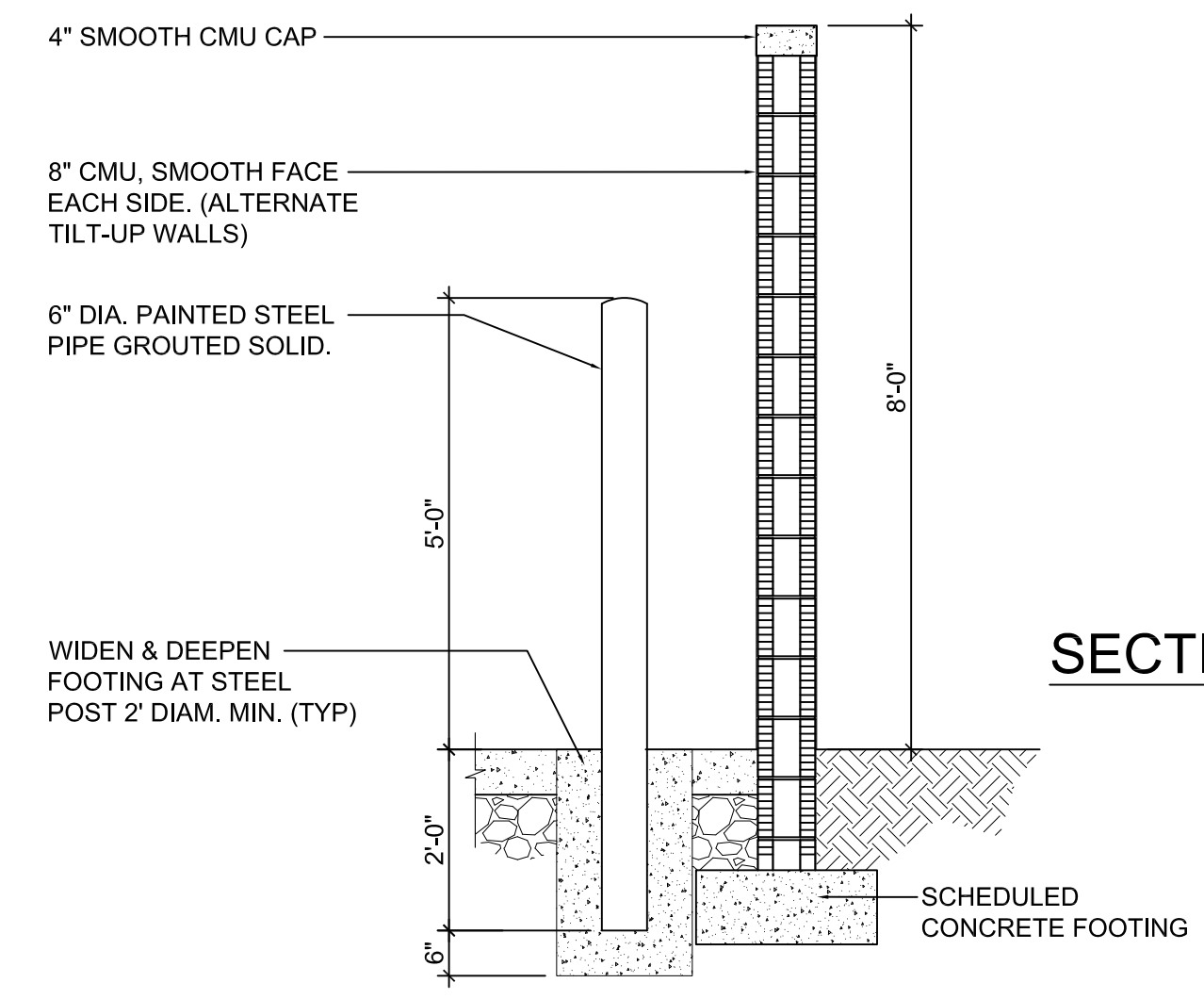
PLAN

CORRUGATED ALUMINUM GATES, SEE BLDG. 'A' EXTERIOR ELEVATIONS.



NOTE: SIGNAGE DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL DESIGN IS SUBJECT TO CHANGE UPON SHOP DRAWINGS PROVIDED BY SIGN MANUFACTURER UNDER SEPARATE PERMIT.

MONUMENT SIGN 3
SCALE: 3/4"=1'-0" A3.0

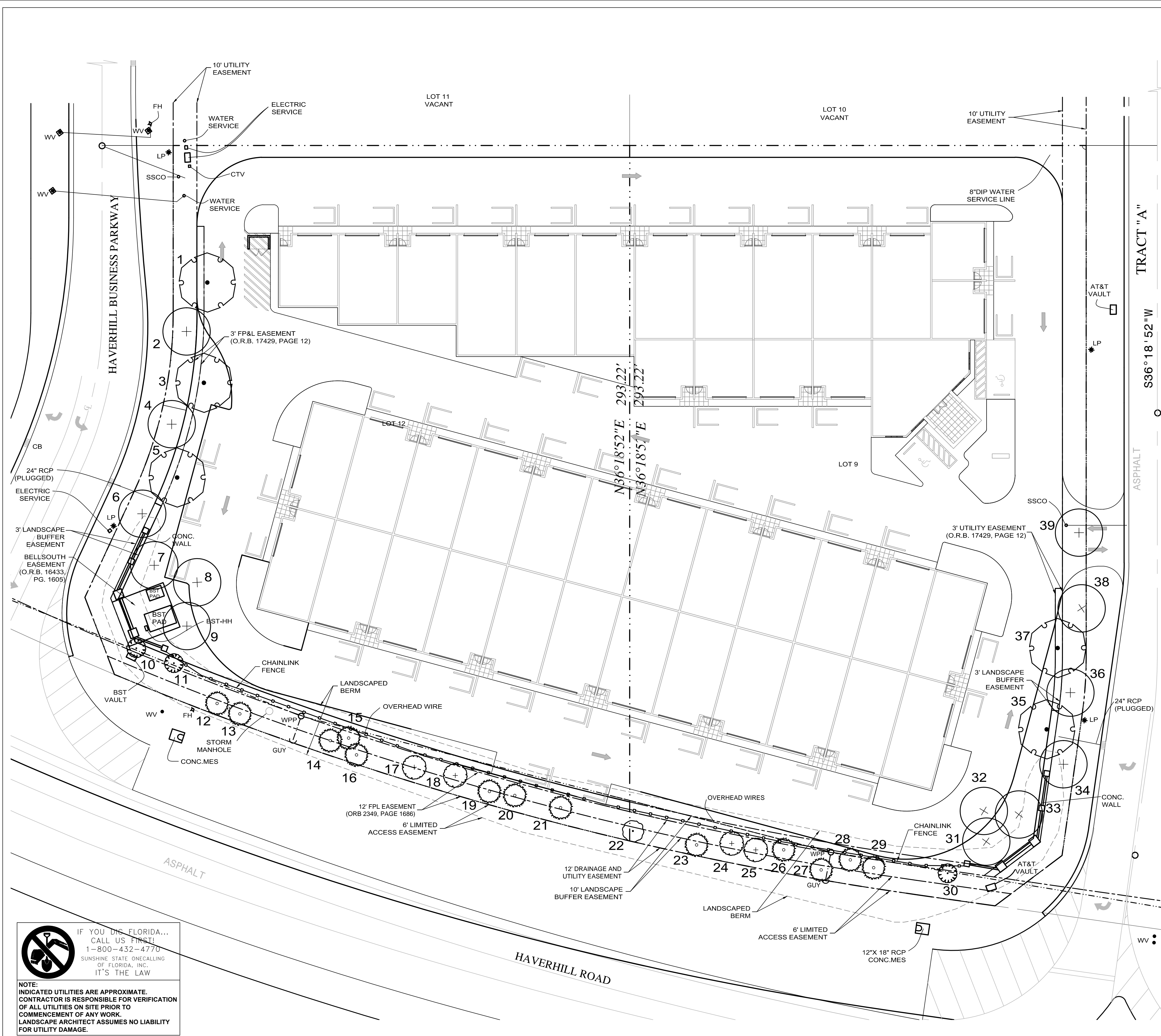


SECTION

TRASH ENCLOSURE DETAILS 4
SCALE: 1/2"=1'-0" A3.0

REVISIONS





EXISTING TREE LIST AND DISPOSITION			
NO.	COMMON/BOTANICAL NAME	SIZE & CONDITION	ACTION
1	LIVE OAK/Quercus virginiana	12" CALIPER, GOOD (75%)	RELOCATE (IN DRIVE)
2	ROYAL PALM/Roystonea elata	21" GW, FAIR (65%)	REMAIN
3	LIVE OAK/Quercus virginiana	12" CALIPER, GOOD (85%)	REMAIN
4	ROYAL PALM/Roystonea elata	19" GW, GOOD (80%)	REMAIN
5	LIVE OAK/Quercus virginiana	12" CALIPER, GOOD (75%)	REMAIN
6	ROYAL PALM/Roystonea elata	22" GW, POOR (45%)	REMAIN
7	ROYAL PALM/Roystonea elata	21" GW, FAIR (70%)	REMAIN
8	ROYAL PALM/Roystonea elata	20" GW, GOOD (80%)	RELOCATE (IN DRIVE)
9	ROYAL PALM/Roystonea elata	18" GW, GOOD (75%)	REMAIN
10	BOTTLEBRUSH/Callistemon spp.	3" CALIPER, GOOD (85%)	REMAIN
11	BOTTLEBRUSH/Callistemon spp.	3" CALIPER, GOOD (85%)	REMAIN
12	SABAL PALM/Sabal palmetto	15" CT, GOOD (75%)	REMAIN
13	SABAL PALM/Sabal palmetto	17" CT, GOOD (75%)	REMAIN
14	SABAL PALM/Sabal palmetto	18" CT, GOOD (75%)	REMAIN
15	SABAL PALM/Sabal palmetto	14" CT, GOOD (75%)	REMAIN
16	SABAL PALM/Sabal palmetto	12" CT, GOOD (75%)	REMAIN
17	PIGEON PLUM/Coccoloba diversifolia	8" CALIPER, GOOD (80%)	REMAIN
18	PIGEON PLUM/Coccoloba diversifolia	5" CALIPER, FAIR (65%)	REMAIN
19	SABAL PALM/Sabal palmetto	18" CT, GOOD (75%)	REMAIN
20	SABAL PALM/Sabal palmetto	17" CT, GOOD (75%)	REMAIN
21	SABAL PALM/Sabal palmetto	16" CT, GOOD (75%)	REMAIN
22	LIGUSTRUM/Ligustrum japonicum	5" CALIPER, GOOD (75%)	REMAIN
23	SABAL PALM/Sabal palmetto	18" CT, GOOD (75%)	REMAIN
24	PIGEON PLUM/Coccoloba diversifolia	8" CALIPER, FAIR/POOR (60%)	REMAIN
25	PIGEON PLUM/Coccoloba diversifolia	8" CALIPER, FAIR/POOR (60%)	REMAIN
26	SABAL PALM/Sabal palmetto	11" CT, GOOD (75%)	REMAIN
27	SABAL PALM/Sabal palmetto	16" CT, GOOD (75%)	REMAIN
28	SABAL PALM/Sabal palmetto	15" CT, GOOD (75%)	REMAIN
29	SABAL PALM/Sabal palmetto	12" CT, GOOD (75%)	REMAIN
30	BOTTLEBRUSH/Callistemon spp.	3" CALIPER, GOOD (85%)	REMAIN
31	ROYAL PALM/Roystonea elata	20" GW, GOOD (75%)	REMAIN
32	ROYAL PALM/Roystonea elata	19" GW, GOOD (80%)	RELOCATE (IN DRIVE)
33	ROYAL PALM/Roystonea elata	20" GW, GOOD (80%)	REMAIN
34	ROYAL PALM/Roystonea elata	21" GW, GOOD (80%)	REMAIN
35	LIVE OAK/Quercus virginiana	12" CALIPER, GOOD (80%)	REMAIN
36	ROYAL PALM/Roystonea elata	18" GW, GOOD (75%)	REMAIN
37	LIVE OAK/Quercus virginiana	15" CALIPER, GOOD (80%)	REMAIN
38	ROYAL PALM/Roystonea elata	20" GW, GOOD (80%)	REMAIN
39	ROYAL PALM/Roystonea elata	21" GW, GOOD (80%)	RELOCATE (IN DRIVE)

*INDICATES FLORIDA NATIVE SPECIES

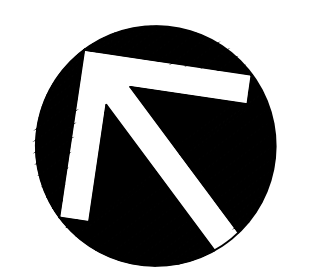
Tree locations provided by Legacy Surveying and Mapping Inc, Tree survey dated 2/1/17

IF YOU USE FLORIDA...
CALL US FIRST!
1-800-432-4770
SUNSHINE STATE ONECALLING
OF FLORIDA, INC.
IT'S THE LAW

NOTE:
INDICATED UTILITIES ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
OF ALL UTILITIES ON SITE PRIOR TO
COMMENCEMENT OF ANY WORK.
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
FOR UTILITY DAMAGE.

GERALD WENTA
RLA #6666724
772-216-3587

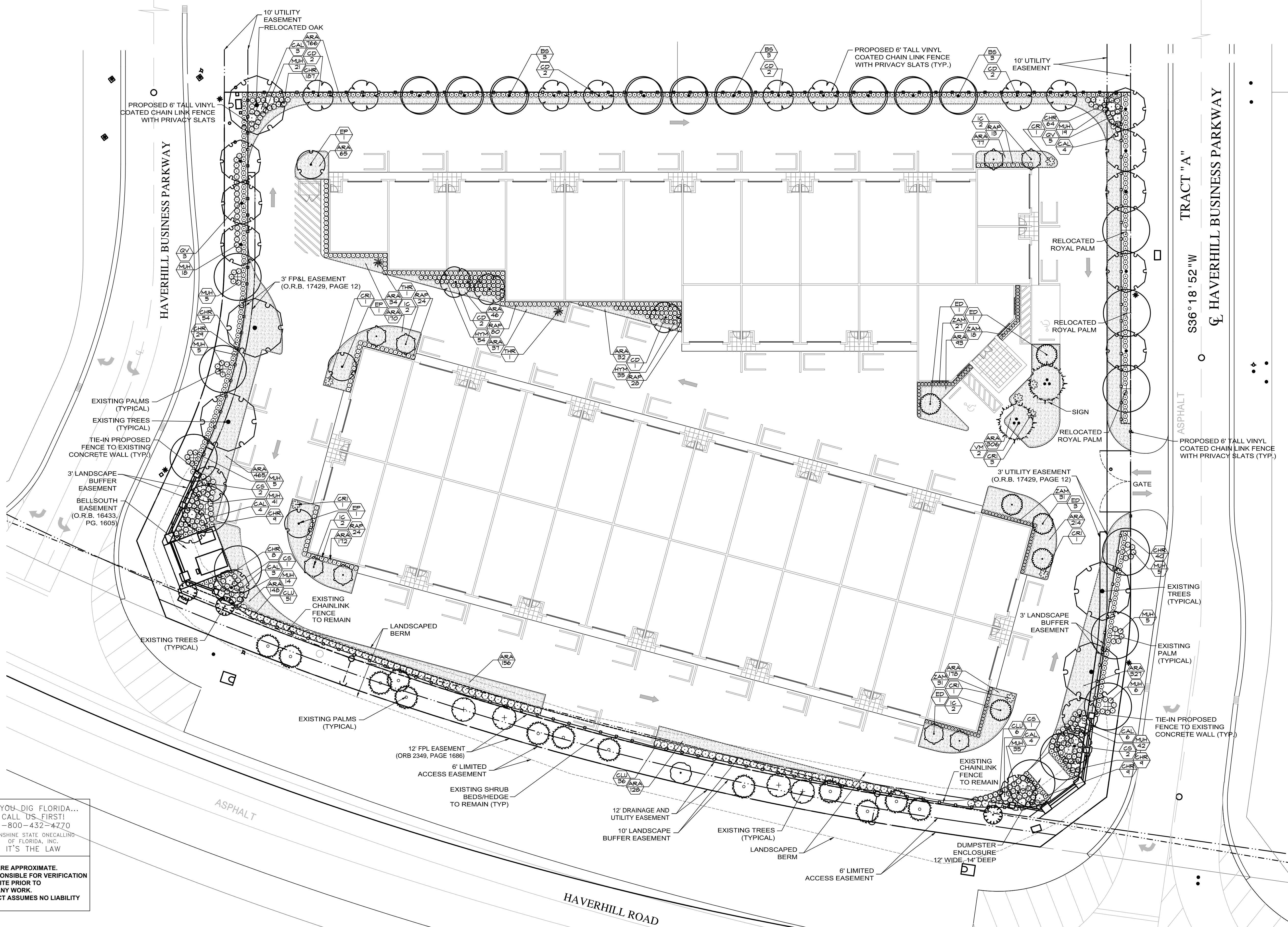
ROYAL LANDSCAPING
9858 Clint Moore Rd.
Suite C-111, #246
Boca Raton, FL 33496
royallandscaping@gmail.com



SCALE 1" = 20'-0"
DESIGNED BY GW
DRAWN BY GW
CHECKED BY GW
CAD DWG.
DATE 03.15.17
REVISIONS 03.24.17

Haverhill Business Park Lots 9 & 12
Riviera Beach
Florida
TREE DISPOSITION PLAN

FOR PLANT LIST SEE LP-2

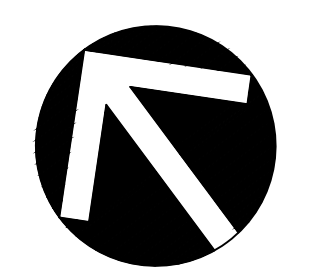


IF YOU DIG FLORIDA...
CALL US FIRST!
1-800-432-4770
SUNSHINE STATE ONECALLING
OF FLORIDA, INC.
IT'S THE LAW

NOTE:
INDICATED UTILITIES ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
OF ALL UTILITIES ON SITE PRIOR TO
COMMENCEMENT OF ANY WORK.
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
FOR UTILITY DAMAGE.

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SCALE	1" = 20'-0"
DESIGNED BY	GW
DRAWN BY	GW
CHECKED BY	GW
CAD DWG.	
DATE	03.15.17
REVISIONS	03.24.17

HAVERHILL BUSINESS PARK LOTS 9 & 12
RIVIERA BEACH
FLORIDA

LANDSCAPE PLAN

