



MEETING AGENDA PLANNING AND ZONING BOARD CITY OF RIVIERA BEACH, FL

LOCAL PLANNING AGENCY
Development Services Department: (561)845-4060, www.rivierabch.com

Commencement – 6:30 PM
Thursday, April 8, 2021

Riviera Beach – Event Center
190 E 13th Street, Riviera Beach, FL33404

Due to COVID-19, attendees must adhere to the Center for Disease Control (CDC) guidelines.

If you wish to speak on any item(s) on this agenda, please complete a public comment card and provide it to Planning and Zoning Staff. Cards must be submitted prior to Board discussion of an item. Thank you.

I. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE

II. ROLL CALL

Evelyn Harris Clark, Chairperson
Anthony Brown, Board Member
William Wyly, Board Member
Vacancy, Board Member
Moeti Ncube, 1st Alternate

Rena Burgess, Vice-Chair
Margaret Shepherd, Board Member
James Gallon, Board Member
Vacant, 2nd Alternate

III. ACKNOWLEDGEMENT OF BOARD MEMBER ABSENCE NOTIFICATION

IV. ADDITIONS AND DELETIONS TO THE AGENDA

V. DISCLOSURE BY BOARD MEMBERS AND ADOPTION OF THE AGENDA

VI. APPROVAL OF MINUTES – March 11, 2021.

VII. UNFINISHED BUSINESS – None.

VIII. NEW BUSINESS

- A. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING ZONING TEXT AMENDMENT (ZA-21-01) FROM FLORIDA SUNSTAR LOGISTICS, LLC., TO REVISE THE LAND DEVELOPMENT CODE FOR IG (GENERAL INDUSTRIAL) TO INSERT NEW SUBSECTION “a” INTO SECTION 31-383 (2), INCREASING THE ALLOWABLE BUILDING HEIGHT IN THE CENTRAL AREA OF THE PORT FROM 50’ TO 150’, WHERE THE CENTRAL AREA IS DEFINED AS “THAT AREA BORDERED BY W. PORT ROAD & BROADWAY AVE, AVENUE E, AND DR. MARTIN LUTHER KING JR. BLVD.”, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-33-29-000-0020, AND PROVIDING FOR CONFLICTS, SEVERABILITY AND CODIFICATION, AND PROVIDING FOR AN EFFECTIVE DATE.
- B. A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-21-01) FROM FLORIDA SUNSTAR LOGISTICS, LLC., TO ALLOW FOR THE CONSTRUCTION OF AN INDUSTRIAL CEMENT STORAGE TANK (A.K.A

DOME) AND AN ACCESSORY OFFICE AND EQUIPMENT BUILDINGS ON A ~3.97 ACRE AREA AT THE PORT, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-33-29-000-0020, HAVING AN PORT FUTURE LAND USE DESIGNATION AND A GENERAL INDUSTRIAL (IG) ZONING DESIGNATION, PROVIDING FOR CONDITIONS OF APPROVAL, AND PROVIDING FOR AN EFFECTIVE DATE.

IX. WORKSHOP ITEMS – None.

X. GENERAL DISCUSSION

- A. PUBLIC COMMENTS
- B. CORRESPONDENCE
 - 1. Planning and Zoning Board upcoming training
- C. PLANNING AND ZONING BOARD COMMENTS
 - 1. Project Updates / Upcoming Projects
 - 2. Upcoming P&Z Board Meetings – May 13, 2021.

XI. ADJOURNMENT

NOTICE: In accordance with the Americans with Disabilities Act, persons in need of a special accommodation to participate in this proceeding shall, within a reasonable time prior to any proceeding, contact the City of Riviera Beach, 600 West Blue Heron Boulevard, Riviera Beach, Florida 33404, Telephone 561-845-4000 or TDD 561-840-3350, www.rivierabch.com.

<p style="text-align: right;">Page 1</p> <p style="text-align: center;">CITY OF RIVIERA BEACH PLANNING AND ZONING BOARD</p> <p style="text-align: center;">- - -</p> <p style="text-align: center;">Thursday, March 11, 2021</p> <p style="text-align: center;">Marina Event Center 190 East 13th Street Riviera Beach, Florida</p> <p style="text-align: center;">7:05 p.m. - 8:22 p.m.</p> <p style="text-align: center;">- - -</p> <p>IN ATTENDANCE:</p> <p>Evelyn Harris Clark, Vice Chair Anthony Brown, Board Member Rena Burgess, Board Member James Gallon, Board Member William Wyly, Board Member Mary Savage-Dunham, Assistant Director, Development Services Lina F. Busby, Assistant City Attorney Simone Davidson, Planner Josue Leger, Principal Planner/GIS Specialist</p>	<p style="text-align: right;">Page 3</p> <p>Let us all rise for a moment of silence and the Pledge of Allegiance, and let that be led by Ms. Burgess. Thank you.</p> <p>(Moment of silence observed. Pledge of Allegiance recited.)</p> <p>VICE CHAIR CLARK: Thank you. Now let's have the roll call of our Board members, please, for attendance.</p> <p>MS. DAVIDSON: Rena Burgess.</p> <p>MS. BURGESS: Present.</p> <p>MS. DAVIDSON: Anthony Brown.</p> <p>MR. BROWN: Present.</p> <p>MS. DAVIDSON: William Wyly.</p> <p>MR. WYLY: Present.</p> <p>MS. DAVIDSON: James Gallon.</p> <p>MR. GALLON: Present.</p> <p>MS. DAVIDSON: Margaret Shepherd.</p> <p>(No response.)</p> <p>MS. DAVIDSON: Moeti Ncube.</p> <p>(No response.)</p> <p>MS. DAVIDSON: Evelyn Harris Clark.</p> <p>VICE CHAIR CLARK: Present.</p> <p>MS. DAVIDSON: You have a quorum.</p> <p>VICE CHAIR CLARK: Thank you. Were there any unexcused absence notifications, please?</p>
<p style="text-align: right;">Page 2</p> <p>BE IT REMEMBERED that the following Planning and Zoning Board meeting was had at Riviera Beach Marina Event Center, 190 East 13th Street, Riviera Beach, Florida, on Thursday, March 11, 2021, beginning at 7:05 p.m., with attendees as hereinabove noted, to wit:</p> <p style="text-align: center;">- - -</p> <p>ASSISTANT DIRECTOR SAVAGE-DUNHAM: It is 7:05 and I would like to call the Planning and Zoning Board meeting to order.</p> <p>VICE CHAIR CLARK: Thank you. Ready to give it over to me?</p> <p>ASSISTANT DIRECTOR SAVAGE-DUNHAM: Sure. So you'll be our acting Chair, Ms. Clark.</p> <p>VICE CHAIR CLARK: Okay, thank you.</p> <p>And thank you for everyone that's here. Let me extend my apologies. I thank you for your time. The meeting is going to start at 7:06, Thursday, March 11th. Greetings to our guests and also to our visiting residents who are watching us on our Riviera Beach TV.</p> <p>And before we start, if you wish to speak on any item on this agenda, please complete a public comment card and provide it to the Planning and Zoning staff. Cards must be submitted prior to Board discussion of an item. Thank you.</p>	<p style="text-align: right;">Page 4</p> <p>MS. DAVIDSON: None, Madam Chair.</p> <p>VICE CHAIR CLARK: Thank you.</p> <p>All right, let's go to item number IV, additions and deletions to the agenda. Do we have any changes to the agenda?</p> <p>ASSISTANT DIRECTOR SAVAGE-DUNHAM: Madam Chair, would you like to continue item number one to your next regular meeting?</p> <p>VICE CHAIR CLARK: Let's go ahead and let's ask our Board here. Ladies and gentlemen, a part of today's meeting was to move forward with a decision on the Chair. Were we also going to for a Vice Chair as well?</p> <p>ASSISTANT DIRECTOR SAVAGE-DUNHAM: Yes, ma'am.</p> <p>VICE CHAIR CLARK: So my question to everyone here this evening, would you like to move forward with that, or would you rather wait until we have more Board members present? So I will defer all the way to my far right.</p> <p>MR. GALLON: I think we should wait until we have a full Board.</p> <p>MS. BURGESS: I think we should go ahead and do it tonight. The full Board -- being we have a quorum, and we need a Chair and a Vice Chair. So I</p>

<p style="text-align: right;">Page 5</p> <p>1 think it's important that we do it tonight.</p> <p>2 VICE CHAIR CLARK: Mr. Brown, we're</p> <p>3 determining if we should wait until we have a full</p> <p>4 Board on the decision or vote for the Chair and Vice</p> <p>5 Chair.</p> <p>6 MR. BROWN: I think we would go ahead and</p> <p>7 vote.</p> <p>8 MR. WYLY: I agree also, let's go ahead and</p> <p>9 vote.</p> <p>10 VICE CHAIR CLARK: So does that leave it up</p> <p>11 to me in terms of a voting decision?</p> <p>12 ASSISTANT DIRECTOR SAVAGE-DUNHAM: No, we</p> <p>13 have three in favor of moving forward to a vote, so</p> <p>14 what I'm hearing is that that would remain on the</p> <p>15 agenda. And I have no other additions or deletions for</p> <p>16 you.</p> <p>17 VICE CHAIR CLARK: Okay, so we have three in</p> <p>18 the affirmative to do it tonight.</p> <p>19 ASSISTANT DIRECTOR SAVAGE-DUNHAM: Correct.</p> <p>20 VICE CHAIR CLARK: Okay, and I will respect</p> <p>21 the members' decision, and I will ask one of our Board</p> <p>22 members to please make a motion. Let's start with the</p> <p>23 vote on Chair. Should we ask for nominations at this</p> <p>24 point?</p> <p>25 ASSISTANT DIRECTOR SAVAGE-DUNHAM: Yes, if</p>	<p style="text-align: right;">Page 7</p> <p>1 CHAIR CLARK: We have one nomination on the</p> <p>2 floor for Ms. Rena Burgess. Any other open</p> <p>3 nominations?</p> <p>4 MR. WYLY: Third.</p> <p>5 CHAIR CLARK: I'd like to also place</p> <p>6 Mr. William Wyly also on the ballot as well. So now at</p> <p>7 this point, let us have a count.</p> <p>8 ASSISTANT DIRECTOR SAVAGE-DUNHAM: So we have</p> <p>9 a motion and a second for Ms. Burgess, and we had a</p> <p>10 motion for Mr. Wyly. Is there a second?</p> <p>11 CHAIR CLARK: May I have a second, please?</p> <p>12 I'm not allowed to second, am I? I don't think so.</p> <p>13 MR. WYLY: I can second for myself?</p> <p>14 CHAIR CLARK: You can second for yourself.</p> <p>15 MR. WYLY: Yes, I'll second for myself. But</p> <p>16 I agree with Ms. Burgess. I appreciate it, but I agree</p> <p>17 with Mrs. Burgess to be the secretary (sic).</p> <p>18 CHAIR CLARK: So in that view, let's have a</p> <p>19 motion to nominate Board Member Rena Burgess as Vice</p> <p>20 Chair.</p> <p>21 MS. DAVIDSON: Anthony Brown.</p> <p>22 MR. BROWN: Yes.</p> <p>23 MS. DAVIDSON: William Wyly.</p> <p>24 MR. WYLY: Yes.</p> <p>25 MS. DAVIDSON: James Gallon.</p>
<p style="text-align: right;">Page 6</p> <p>1 someone would like to make a motion to discuss or a</p> <p>2 motion to nominate for Chairman.</p> <p>3 MR. WYLY: I'd like to make a motion for</p> <p>4 Chairperson, Mrs. Evelyn Clark.</p> <p>5 MS. BURGESS: I second.</p> <p>6 VICE CHAIR CLARK: May we have a roll call at</p> <p>7 this point?</p> <p>8 MS. DAVIDSON: Rena Burgess.</p> <p>9 MS. BURGESS: Yes.</p> <p>10 MS. DAVIDSON: Anthony Brown.</p> <p>11 MR. BROWN: Yes.</p> <p>12 MS. DAVIDSON: William Wyly.</p> <p>13 MR. WYLY: Yes.</p> <p>14 MS. DAVIDSON: James Gallon.</p> <p>15 MR. GALLON: Yes.</p> <p>16 MS. DAVIDSON: Evelyn Harris Clark.</p> <p>17 VICE CHAIR CLARK: Yes, I'll vote for myself.</p> <p>18 MS. DAVIDSON: Unanimous vote.</p> <p>19 CHAIR CLARK: Thank you. Okay, and let's</p> <p>20 take on the second aspect of this evening. Let's vote</p> <p>21 for a Vice Chair. So I'm going to open up to the</p> <p>22 floor, and I'm going to again start to my far right.</p> <p>23 MR. GALLON: I'll make a motion to nominate</p> <p>24 Ms. Rena Burgess as Vice Chair.</p> <p>25 MR. BROWN: Second.</p>	<p style="text-align: right;">Page 8</p> <p>1 MR. GALLON: Yes.</p> <p>2 MS. DAVIDSON: Evelyn Harris Clark.</p> <p>3 CHAIR CLARK: 100 percent.</p> <p>4 MS. DAVIDSON: Rena Burgess.</p> <p>5 MS. BURGESS: Yes.</p> <p>6 MS. DAVIDSON: Unanimous vote.</p> <p>7 CHAIR CLARK: Again, any other items on the</p> <p>8 agenda?</p> <p>9 ASSISTANT DIRECTOR SAVAGE-DUNHAM: No other</p> <p>10 changes to the agenda.</p> <p>11 CHAIR CLARK: No other changes. Let's go on</p> <p>12 to -- if there are no other additions to the agenda, I</p> <p>13 would like a motion to accept the agenda as is. May I</p> <p>14 have a motion to accept the agenda as is?</p> <p>15 VICE CHAIR BURGESS: So moved.</p> <p>16 MR. WYLY: Second.</p> <p>17 CHAIR CLARK: Roll call, please.</p> <p>18 MS. DAVIDSON: Anthony Brown.</p> <p>19 MR. BROWN: Yes.</p> <p>20 MS. DAVIDSON: William Wyly.</p> <p>21 MR. WYLY: Yes.</p> <p>22 MS. DAVIDSON: James Gallon.</p> <p>23 MR. GALLON: Yes.</p> <p>24 MS. DAVIDSON: Rena Burgess.</p> <p>25 VICE CHAIR BURGESS: Yes.</p>

<p style="text-align: right;">Page 9</p> <p>1 MS. DAVIDSON: Evelyn Harris Clark.</p> <p>2 CHAIR CLARK: Yes.</p> <p>3 MS. DAVIDSON: Unanimous vote.</p> <p>4 CHAIR CLARK: Okay, next item. Any</p> <p>5 disclosure by Board members?</p> <p>6 MR. BROWN: Madam Chair.</p> <p>7 VICE CHAIR BURGESS: No, Madam Chair.</p> <p>8 CHAIR CLARK: Do we have --</p> <p>9 MR. BROWN: On item VIII, number two on the</p> <p>10 agenda, my company did the survey on the parcel, so I</p> <p>11 will not vote on it tonight.</p> <p>12 CHAIR CLARK: Okay, thank you.</p> <p>13 We have one disclosure by one of our Board</p> <p>14 members, and the agenda has been adopted already.</p> <p>15 Okay, let's go on to item VI, approval of</p> <p>16 minutes from February 25th. Those were sent to us in</p> <p>17 advance. So may I have a motion for us to approve the</p> <p>18 minutes of February 25th if there are not any</p> <p>19 discrepancies of the minutes from that point? No</p> <p>20 discrepancies? May I have a motion of approval of the</p> <p>21 minutes from February 25th?</p> <p>22 MR. GALLON: So moved.</p> <p>23 VICE CHAIR BURGESS: Second.</p> <p>24 MR. BROWN: Second.</p> <p>25 CHAIR CLARK: Yes, and roll call, please.</p>	<p style="text-align: right;">Page 11</p> <p>1 record into two lots, totaling approximately 4.43 acres</p> <p>2 in land area, for the real properties located</p> <p>3 immediately east on North Military Trail, identified by</p> <p>4 PCN numbers 56-42-42-36-20-000-0010 and</p> <p>5 56-42-42-36-20-000-0020 and 56-42-42-36-40-000-0020,</p> <p>6 and providing for an effective date.</p> <p>7 So this is the Tractor Supply site. And if</p> <p>8 it looks familiar to you, you heard the site plan that</p> <p>9 went with this plat at your February 25th meeting, and</p> <p>10 you approved it. This is the location. And we'll zoom</p> <p>11 in, and you'll see this is the boundary of the three</p> <p>12 parcels. It's a 4.43 acre lot. And just -- this is</p> <p>13 the site plan that you acted on, and I'm just providing</p> <p>14 it for you as a frame of reference. It is for -- the</p> <p>15 building is going to be a 19,000 Tractor Supply</p> <p>16 building with outside storage and display.</p> <p>17 The applicant tonight is requesting a plat</p> <p>18 approval to replat the existing three contiguous lots</p> <p>19 into two lots in conjunction with the request for the</p> <p>20 site plan approval to build a building for a Tractor</p> <p>21 Supply Company with outside storage display and sales</p> <p>22 of merchandise and parking. As noted, you approved</p> <p>23 that site plan at your last meeting, so this is the</p> <p>24 plat.</p> <p>25 And I'm just highlighting for you the two new</p>
<p style="text-align: right;">Page 10</p> <p>1 MS. DAVIDSON: Anthony Brown.</p> <p>2 MR. BROWN: Yes.</p> <p>3 MS. DAVIDSON: William Wyly.</p> <p>4 MR. WYLY: Yes.</p> <p>5 MS. DAVIDSON: James Gallon.</p> <p>6 MR. GALLON: Yes.</p> <p>7 MS. DAVIDSON: Rena Burgess.</p> <p>8 VICE CHAIR BURGESS: Yes.</p> <p>9 MS. DAVIDSON: Evelyn Harris Clark.</p> <p>10 CHAIR CLARK: Yes.</p> <p>11 MS. DAVIDSON: Unanimous vote.</p> <p>12 CHAIR CLARK: Item VII, unfinished business,</p> <p>13 we don't have any. So let's go straight on to item</p> <p>14 number VIII, new business. And we've already elected</p> <p>15 the Chair and the Vice Chair, so that is complete.</p> <p>16 Let's go to item number two.</p> <p>17 ASSISTANT DIRECTOR SAVAGE-DUNHAM: Thank you,</p> <p>18 Madam Chair.</p> <p>19 The first item, or item number two, our first</p> <p>20 hearing tonight, I will read the resolution into the</p> <p>21 record for you.</p> <p>22 It's a resolution of the City Council of the</p> <p>23 City of Riviera Beach, Palm Beach County, Florida,</p> <p>24 approving plat application PA-20-06 from AJP MLP Family</p> <p>25 Limited Partnership to combine three contiguous lots of</p>	<p style="text-align: right;">Page 12</p> <p>1 property lines. It's immediately north of West Palm</p> <p>2 Beach. It's pretty straightforward. We had our peer</p> <p>3 review engineer review it. They identified no issues</p> <p>4 or concerns and said it was ready to bring forward.</p> <p>5 And with that, staff would recommend approval</p> <p>6 of the plat application PA-20-06 from AJP MLP Family</p> <p>7 Limited Partnership to combine three contiguous lots of</p> <p>8 record into two lots, totaling approximately 4.43 acres</p> <p>9 in land area for the real properties located</p> <p>10 immediately east on North Military Trail, identified by</p> <p>11 parcel control numbers 56-42-42-36-20-000-0010 and</p> <p>12 56-42-42-36-20-000-0020 and 56-42-42-36-40-000-0020.</p> <p>13 And we have the applicants with us tonight</p> <p>14 also in the audience.</p> <p>15 CHAIR CLARK: Sure. Let's have the applicant</p> <p>16 come forward and introduce themselves to us again, or I</p> <p>17 should say welcome, and reintroduce yourself again to</p> <p>18 us, please.</p> <p>19 MS. CALHOUN: Good evening. My name is Hope</p> <p>20 Calhoun, land use counsel for the applicant.</p> <p>21 You will recall, as it was stated, we were</p> <p>22 here before you at your last Planning and Zoning Board</p> <p>23 meeting where we discussed, had a robust discussion, I</p> <p>24 think, about the site plan. And we referenced at that</p> <p>25 time that we would be before you at your next</p>

<p style="text-align: right;">Page 13</p> <p>1 meeting -- we were hoping -- which is tonight to 2 discuss the plat. As presented, again, staff has 3 reviewed our plat, and we meet all the technical 4 requirements of same. It's needed. We're proposing 5 this for the development of our site plan. 6 With me tonight again, our project engineer 7 and a representative of Hix. So we're happy to answer 8 any questions that you might have. 9 CHAIR CLARK: Okay. So at this point, let me 10 open up the Board to questions, not only to our guests 11 this evening, but also to staff. So I'm going to start 12 going down the line with Mr. Gallon, if you have any 13 questions. 14 MR. GALLON: No questions. 15 CHAIR CLARK: And next, Ms. Burgess. 16 VICE CHAIR BURGESS: No questions, Madam 17 Chair. 18 MR. WYLY: No questions. 19 MR. BROWN: No questions. 20 CHAIR CLARK: May I ask staff to put the 21 mapping of those lots there again? 22 ASSISTANT DIRECTOR SAVAGE-DUNHAM: The plat? 23 This is the plat. 24 CHAIR CLARK: Yes, the plat. Okay, I just 25 have one question. So the configuration, originally</p>	<p style="text-align: right;">Page 15</p> <p>1 that was the content on the language on art, and there 2 was one more I just can't recollect right now. 3 ASSISTANT DIRECTOR SAVAGE-DUNHAM: The Board 4 asked staff to draft two supplemental conditions. 5 CHAIR CLARK: Right. 6 ASSISTANT DIRECTOR SAVAGE-DUNHAM: And one is 7 on the outside storage, the extent of it, and the other 8 one had to do with hiring local residents, so it was an 9 employment related condition. This applicant did not 10 participate in behalf, but did commit to hire locally. 11 And staff has drafted those supplemental conditions. 12 They would go with the site plan, and that's why 13 they're not before you tonight, because tonight we're 14 only looking at the plat combining the lots. 15 CHAIR CLARK: Okay. So with those 16 conditions, have we come to an agreement of all parties 17 that it has been resolved or it's still going to be 18 with discussion with staff at a later point? 19 ASSISTANT DIRECTOR SAVAGE-DUNHAM: Staff has 20 drafted the conditions and provided them to the 21 applicant. They haven't offered any objections, but I 22 think Ms. Calhoun wants to review them tomorrow. 23 MS. CALHOUN: Hi. Good evening again. Hope 24 Calhoun. 25 Yes, with regard to those two site plan</p>
<p style="text-align: right;">Page 14</p> <p>1 was it three plats? 2 ASSISTANT DIRECTOR SAVAGE-DUNHAM: Yes, 3 ma'am. 4 CHAIR CLARK: Okay. And this is just kind of 5 an odd shaped configuration because that fourth 6 quadrant over there is owned by someone else, so the 7 three plats -- 8 ASSISTANT DIRECTOR SAVAGE-DUNHAM: It was 9 right here. 10 CHAIR CLARK: Yes. 11 ASSISTANT DIRECTOR SAVAGE-DUNHAM: And then 12 it was this bottom one. And then this piece here was 13 the original three. 14 CHAIR CLARK: Okay, so it's just taking that 15 small -- 16 ASSISTANT DIRECTOR SAVAGE-DUNHAM: So it's 17 really just -- it's combining these two together and 18 it's leaving this parcel down here. 19 CHAIR CLARK: And where was the easement? 20 ASSISTANT DIRECTOR SAVAGE-DUNHAM: There's an 21 access easement here between the two properties, and 22 that's to be recorded. 23 CHAIR CLARK: Okay. And I believe we came to 24 an agreement on the easement. The only -- there were 25 two items that were outstanding in regards to this, and</p>	<p style="text-align: right;">Page 16</p> <p>1 conditions, we received them today, and I just advised 2 that I would -- I advised that I would discuss it with 3 my client and we'll get back tomorrow. But we don't 4 anticipate having any objections to those site plan 5 comments. 6 CHAIR CLARK: Okay, thank you. All right, 7 other than that, I don't think there are any more 8 questions, so we are going to go ahead and make a 9 motion to accept joining all of the plats together, the 10 parcels together, and we can keep this project moving. 11 So I'm going to ask one of our Board members to make a 12 motion to accept the joining of all three parcels into 13 two parcels. 14 VICE CHAIR BURGESS: Madam Chair. 15 MR. WYLY: Second. 16 VICE CHAIR BURGESS: I was going to state the 17 motion. 18 Yes, I move that we approve plat application 19 from AJP MLP Family Limited Partnership. 20 CHAIR CLARK: May I have a second? 21 MR. WYLY: Now I'll second. 22 CHAIR CLARK: May we have a roll call, 23 please? 24 MS. DAVIDSON: William Wyly. 25 MR. WYLY: Yes.</p>

<p style="text-align: right;">Page 17</p> <p>1 MS. DAVIDSON: James Gallon. 2 MR. GALLON: Yes. 3 MS. DAVIDSON: Rena Burgess. 4 VICE CHAIR BURGESS: Yes. 5 MS. DAVIDSON: Evelyn Harris Clark. 6 CHAIR CLARK: Yes. 7 MS. DAVIDSON: That motion passed, with Board 8 Member Brown abstaining. 9 MS. CALHOUN: Thank you, everybody. 10 VICE CHAIR BURGESS: Thank you. 11 CHAIR CLARK: Thank you. 12 ASSISTANT DIRECTOR SAVAGE-DUNHAM: Madam 13 Chair, if it's your pleasure, we'll move on to the next 14 item. 15 CHAIR CLARK: Yes, please. 16 ASSISTANT DIRECTOR SAVAGE-DUNHAM: Thank you. 17 The next item is a resolution of the City 18 Council of the City of Riviera Beach, Palm Beach 19 County, Florida, approving site plan application 20 SP-20-25 from Florida Power & Light Company, FPL, to 21 install an FPL solar array and battery pilot facility 22 occupying approximately 21 acres of land area, affected 23 area, of the total 70 acre parcel of land located 24 immediately west of Interstate 95, with postal address 25 2400 Port West Boulevard, identified by parcel control</p>	<p style="text-align: right;">Page 19</p> <p>1 Historically, there used to be two fuel tanks 2 within the affected area. The tanks was since 3 demolished, and the space they previously occupied is 4 now vacant. This aerial is kind of outdated; it's not 5 yet updated by the County. 6 The property has an industrial and a 7 utilities land use, so it has a split land use and it 8 also has a split zoning. The northern portion -- I'm 9 sorry. The northern portion of the property is zoned 10 recreational open space, with the pointers as you can 11 see, and the southern portion, which is the affected 12 area, is zoned general industrial. 13 Just to give you a few perspective of exactly 14 what overlays apply to the property, you have Martin 15 Luther King, Jr. Boulevard right here, which is one of 16 our principal arterial overlays, so therefore, the 17 property is located within the principal arterial 18 design standards overlay. As mentioned earlier, the 19 overall lot size is approximately 70 acres. 20 This is a few pictures of showcasing the 21 actual existing condition of the property. As you can 22 see, the two major fuel tanks that used to be on the 23 site is no longer there. 24 This is the proposed site plan. The affected 25 area of the site is currently vacant, however, the</p>
<p style="text-align: right;">Page 18</p> <p>1 number 56-43-42-31-04-001-0000, having an industrial 2 future land use designation and a general industrial, 3 IG, zoning designation, providing for conditions of 4 approval, and providing for an effective date. 5 And with your approval, Mr. Leger is going to 6 present this project to you. 7 CHAIR CLARK: Okay, thank you; thank you. 8 MR. LEGER: Good evening. Josue Leger, for 9 the record. 10 CHAIR CLARK: Good evening. 11 MR. LEGER: Thank you, Ms. Savage-Dunham. 12 Just to reiterate, the application for you is 13 for -- to install arrays of solar panels and batteries 14 on approximately 21 acres of land area, which is 15 considered the affected area of the existing 70 acre 16 parcel owned and operated by FP&L currently. The 17 remaining portion of the property contains several 18 structures that currently contributes to FP&L 19 operations. 20 The subject property is located within the 21 southern area of the city, immediately west of I-95, 22 south of Dr. Martin Luther King, Jr. Boulevard, as 23 shown here in red. The map also identifies the City of 24 Riviera Beach municipal boundaries, shown here in blue 25 as you can see on the screen.</p>	<p style="text-align: right;">Page 20</p> <p>1 remaining portion of the site comprises of several 2 existing building/utility structures, as well as a 3 4,830,000 biodiesel fuel storage tank, as we saw 4 earlier, which you can see here still exists. The 5 applicant's proposal is consistent with the industrial 6 and utility use categories pursuant to the zoning code. 7 Twenty-three parking spaces is required, and 8 the applicant is proposing 28 parking spaces. One 9 access point to the site currently exists and will 10 remain on Port West Boulevard, which is up here. 11 The applicant is also proposing to relocate 12 existing vegetation, a few trees, along 95 to create 13 some sort of visibility driving from the highway, so 14 you could actually see the proposed solar panels. In 15 lieu of that, they're proposing to mitigate, relocate 16 those trees behind building B, shown here. And I have 17 an enlarged picture. So those are the tree, tree for 18 tree, like for like or better that will be proposed to 19 mitigate the fact that they're removing existing trees 20 along I-95. This is part of their proposed landscape 21 details. 22 City staff recommends approval, with the 23 following conditions. 24 A two year landscaping performance bond for 25 110 percent of the value of the landscaping and</p>

<p style="text-align: right;">Page 21</p> <p>1 irrigation shall be required before a Certificate of 2 Occupancy or Certificate of Completion is issued. 3 Construction and landscaping improvements 4 must be initiated within 18 months of the effective 5 date of this resolution in accordance with Section 6 31-60(b) of the City Code of Ordinances. Demolition, 7 site preparation and/or land clearing shall not be 8 considered construction. Building permit applications, 9 associated plans and documents shall be submitted in 10 its entirety and shall not be accepted by City staff in 11 a partial or incomplete manner. 12 City Council authorizes City staff to approve 13 future amendments to this site plan administratively, 14 so long as the site plan does not deviate greater than 15 five percent from its original approved site plan. 16 This development must receive final 17 Certificate of Occupancy and/or Certificate of 18 Completion from the City for all buildings approved 19 within five years of the approval of the adopting 20 resolution or the adopting resolution shall be 21 considered null and void, requiring the applicant to 22 resubmit application for site plan and special 23 exception approval and re-initiate the site plan 24 approval process. 25 All future advertising must state that the</p>	<p style="text-align: right;">Page 23</p> <p>1 going to start with staff first before we bring the 2 applicant up. 3 MR. LEGER: Thank you. 4 MR. GALLON: I have one question about the 5 solar panels. I know that they're going to be, I 6 guess, closer to I-95. I heard you say something about 7 that they're going to make sure that it doesn't hinder 8 any visibility for traffic, and we need to make sure 9 that that happens, especially on 95. 10 MR. LEGER: The applicant does have an 11 analysis. They can actually elaborate a little bit 12 more as it relates to the solar panels, any glare 13 issues. So they can, within their presentation, give 14 you more details as it relates to that. 15 MR. GALLON: Okay. That's all, Madam Chair. 16 VICE CHAIR BURGESS: Madam Chair, I just have 17 one question. 18 I noted that in the County's report, they 19 just kind of stated the report appears to comply with 20 the Department's October 2019 instructions for 21 conducting sampling or above ground storage tank 22 closer, and they also noted that their letter does not 23 certify that this site is not contaminated and that the 24 Department will reserve the right to require 25 appropriate actions in the future.</p>
<p style="text-align: right;">Page 22</p> <p>1 development is located in the City of Riviera Beach. 2 Fees and penalties, in accordance with City Code 3 Section 31-554, will be levied against the property 4 owner and/or business for violations of this condition. 5 Once approved, this resolution shall 6 supersede any previous site plan approval resolutions 7 associated with this property, causing previous site 8 plan approval resolution to be null and void. 9 The applicant shall install a mural on 10 building B, north elevation, highlighting the City's 11 partnership with FP&L, a written and graphic 12 representation, and must be safely illuminated, direct 13 or indirectly, in a manner that does not create any 14 nuisance or hazards from glare to surrounding 15 properties and/or traffic. Content shall be as 16 approved by City Council and installed prior to the 17 issuance of a Certificate of Completion. 18 This concludes my presentation. I'll be glad 19 to answer any questions the Board may have. We do have 20 the applicant and their team here. If you desire their 21 presentation, I'll turn it over to them. 22 CHAIR CLARK: Sure. Let's start with staff 23 first, and I'm going to open the questions up to our 24 Board here. I'm going to start with Mr. Gallon, and 25 we're just going to move on down the line. So we're</p>	<p style="text-align: right;">Page 24</p> <p>1 So I would like to know from the applicant 2 about the site, and you know, if they can tell us if 3 that site is contaminated or not. 4 MR. LEGER: Sounds good. 5 CHAIR CLARK: Okay. Do we have any further 6 questions for staff before we bring the applicant up? 7 MR. WYLY: Well, I guess this question is for 8 the applicant to come up, I guess. 9 CHAIR CLARK: Okay. 10 MR. BROWN: No. 11 CHAIR CLARK: Okay. All right, if we can 12 have the applicant come forward and introduce 13 themselves, please. 14 MR. LEGER: No problem. Thank you. 15 MR. SCHMIDT: Good evening. Jon Schmidt, 16 agent for the applicant, representing FPL. I have 17 myself from Schmidt Nichols, Jordan Sperling from my 18 office. I also have Ms. Stevany Cole and Ms. Monica 19 Barnes here. Stevany Cole is the project manager from 20 FPL, and Ms. Barnes is from their legal department. 21 So our team is here to answer questions as we 22 go through. And I would like to go through my 23 presentation, and then maybe I can answer the questions 24 at the end, if that's to your liking. 25 CHAIR CLARK: Please, that's fine.</p>

Page 25

1 MR. SCHMIDT: Beautiful. Great.

2 CHAIR CLARK: And welcome.

3 MR. SCHMIDT: Thank you very much.

4 And I'm going to go through the first six,

5 seven slides, and then I'm going to turn it over to

6 Stevany and she's going to show you some of the bigger

7 efforts that are going on and that this is an integral

8 part.

9 So again, thank you for your consideration

10 this evening. You've been through where the project

11 is. It's highlighted in red there, the total 70 acres,

12 21 acres of that space being what we consider the

13 affected area. The affected area has a land use of

14 industrial, and it has a zoning of general industrial,

15 so we're fitting within those standards.

16 This is just a view that I wanted to point

17 out here. This was an older view from 95. I haven't

18 had the courage to stop out there and take a new

19 picture. But these were the tanks that used to be out

20 there, so when you're headed south on 95, this is the

21 view that you would get. This tank has been removed.

22 I think, I can't tell, that might be the biodiesel one.

23 But the two big tanks that were oil tanks, they used to

24 be piped all the way over to the Port, have been

25 removed because that's been switched to a natural gas

Page 26

1 burner over there in the past.

2 And I wanted to bring up this building. It

3 was the building that we're talking about in condition

4 seven where we're going to be putting a mural as we're

5 working together in partnership. The mural will be

6 sitting over in this corner. And then we have

7 landscaping. I've got another slide for you, but I

8 just wanted you to see, you know, what the visibility

9 was on this, all right?

10 Again, this is the site plan, the two

11 affected areas, which is the solar panels in this area.

12 We've got EV, electric vehicle charging stations here,

13 and their fleet will be being charged in this area.

14 There are also charging trailers over here. So in a

15 storm event, these trailers will be moved out in the

16 community and be available to charge vehicles outside

17 as well. But when it's on site, this is not open to

18 the public just for now.

19 And then this is the proposed FPL -- this is

20 a battery switching station. These are just utility

21 boxes. There's really no structure being proposed with

22 this other than some solar panels, these battery packs,

23 transformers and switching gears and voltage

24 regulators. And then this is kind of a parking lot

25 here where these trailers are sitting.

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1 Here it is in kind of an axometric or bird's

2 eye view of those areas. Again, the solar array

3 sitting here, the battery packs over here, the

4 switching gear, the voltage regulators, and then over

5 here are our battery packs. You can kind of see those

6 trailers sitting there with electric vehicles backed up

7 to them getting a charge.

8 And so to answer one of your questions, the

9 orientation of these have an anti-glare placed on them,

10 so there's no glare off those. And it was one of the

11 items that staff had brought up there, so I appreciate

12 that question, and staff being just a little ahead of

13 you.

14 We did also submit environmental reports.

15 There were multiple corings that were done throughout

16 the site that we submitted to staff, and they found no,

17 you know, no issues. So staff does have those.

18 This is a view, it's not showing up very

19 well, but this is again, would be a view from, I guess,

20 95, the southbound. You can see the solar arrays over

21 here, the building that we're talking about. And so,

22 you know, that's really what you're looking at.

23 And then this is the proposed building

24 location -- let me back up one here. Sorry about that.

25 This is the building that we were talking about, and

Page 28

1 here it is in elevation. The mural will be located in

2 this general area over here. We're providing the

3 additional landscaping to kind of break up that side of

4 the building, so it kind of breaks up the visibility

5 and greens up the area from your southbound view. So I

6 think that will, you know, be a nice transition for the

7 site.

8 At this point I want to transition this over

9 to Stevany. And then again, we're all here to answer

10 any questions, you know, as we move forward. And

11 thanks for your consideration.

12 And Stevany, I'll let you go here.

13 MS. COLE: Good evening. I'm Stevany Cole,

14 and I'm a senior project developer for FPL.

15 First I would like to give you a little background

16 on our company and help showcase our commitment to

17 renewables. FPL is a part of a broader company,

18 NextEra Energy. And throughout our three smaller

19 businesses underneath, NextEra Energy Resources, Gulf

20 Power and FPL, we have renewables for wind and sun and

21 energy storage operating in 48 states and Canada. But

22 for FPL, our home is Florida.

23 FPL's goal right now is to reduce our O2

24 emissions rate 67 percent by 2025, despite the growth

25 we are seeing in south Florida these days. FPL

<p style="text-align: right;">Page 29</p> <p>1 continues to keep our customers' bills low, the lowest 2 in the country, as it shapes Florida into a world 3 leader in solar energy production. In 2019, FPL was 4 ranked second among all electric utilities nationwide 5 for interconnected solar systems, and according to 6 Smart Electric Power Alliance, it has announced plans 7 to install more than 30 million solar panels by 2030.</p> <p>8 FPL currently operates 33 major solar plants, 9 including two that feature advanced energy storage 10 systems, in addition to hundreds of smaller solar 11 installations throughout our territory. By the end of 12 2021, we will have over three gigawatts of solar 13 capacity in our territory. We're already one of the 14 nation's cleanest energy companies, but we continue to 15 follow through on our commitment to advance affordable 16 clean energy for our customers.</p> <p>17 FPL was granted a battery pilot from the 18 Florida Public Service Commission, and through this 19 battery pilot we have developed one of the most diverse 20 battery portfolios in the country. We currently rank 21 fourth among the U.S. utilities in energy storage 22 capacity, and this project right here will be a part of 23 our energy storage portfolio.</p> <p>24 The project, as mentioned by Jon, is to 25 showcase our commitment to renewables. So this tank</p>	<p style="text-align: right;">Page 31</p> <p>1 Each trailer has about three battery storage 2 systems on it, and it's capable of charging 12 cars at 3 a time. We're adding six level three chargers, which 4 are those DC fast chargers that can charge a car in 5 about 30 minutes. And the purpose of having this 6 trailer sit at this site is we'll be able to utilize 7 the solar to charge the trailer.</p> <p>8 Our current timeline is we're in designing 9 and permitting, as you see right here, and then we hope 10 to roll into construction this July and finish up 11 construction in December and put the system in service.</p> <p>12 That concludes my presentation, and if you 13 have any more questions, we're here.</p> <p>14 CHAIR CLARK: Questions now. All right, 15 Board Member Burgess, was your question answered?</p> <p>16 VICE CHAIR BURGESS: He kind of alluded to 17 it. He didn't state specifically that it was not.</p> <p>18 MR. SCHMIDT: I'm sorry, I didn't hear your 19 question.</p> <p>20 VICE CHAIR BURGESS: My question before about 21 the contamination --</p> <p>22 MR. SCHMIDT: Um-hmm.</p> <p>23 VICE CHAIR BURGESS: -- of the site.</p> <p>24 MR. SCHMIDT: There's no contamination. We 25 submitted a report from Ardaman and Associates. And</p>
<p style="text-align: right;">Page 30</p> <p>1 right here is now demolished. As we've moved away from 2 the fossil fuels, this tank's no longer needed. And 3 with this opportunity and this perfect location, we 4 have found the ability to add a solar array on the 5 distribution grid. This will be the first of its kind, 6 as it's showing a different solar panel array than we 7 normally do, as well as it's going to be the largest 8 solar array on our distribution grid serving the local 9 community.</p> <p>10 The benefit for the energy storage with the 11 solar is that when the sun is not shining, we're able 12 to store solar energy and add it to the grid. So if a 13 cloud were to come over the array, then the batteries 14 would kick off and supplement the generation. And 15 also, in the evening when the sun is going down, the 16 batteries will be used to offset and produce input 17 solar power on the grid.</p> <p>18 The EV trailer that was mentioned is going to 19 be deployed. It's going to sit here at the 45th Street 20 site, but it will be deployed and made available to the 21 general public to use. This site is actually a private 22 site, so it's got a badge to get on there, so it's not 23 open to the public when it's sitting. But when we do 24 deploy the trailer out in the community, all EV 25 customers would be able to use it.</p>	<p style="text-align: right;">Page 32</p> <p>1 actually on page five of our report, we put the 2 excerpts in there. But that's been provided, and there 3 was multiple corings throughout the site and found no 4 contamination whatsoever.</p> <p>5 VICE CHAIR BURGESS: Okay. I was just 6 wondering why the County just wouldn't specifically 7 say --</p> <p>8 MR. SCHMIDT: Yes, they -- you can't get them 9 to commit to it. You know, they're part of the removal 10 process, but you can't get a true commitment letter. 11 That's why we went out and did additional corings. 12 I've had some other projects here in town where that's 13 been questionable, so when we were out there doing soil 14 samples for the construction, I said: Let's go ahead 15 and run these reports. So thank you, but I have had 16 that come up before.</p> <p>17 VICE CHAIR BURGESS: Thank you.</p> <p>18 CHAIR CLARK: Let me go with questions. I'm 19 going to be honest, I'm not in the electrical business, 20 so I may ask some very naive questions.</p> <p>21 MR. SCHMIDT: Absolutely.</p> <p>22 CHAIR CLARK: Ms. Stevany said that this was 23 a great opportunity. So I want to understand: Why is 24 this a great opportunity for Rivera Beach? Where has 25 this type of installation in other nearby communities</p>

<p style="text-align: right;">Page 33</p> <p>1 been installed?</p> <p>2 MS. DAVIDSON: Excuse me, Madam Chair.</p> <p>3 CHAIR CLARK: Sure.</p> <p>4 MS. DAVIDSON: If you would, please speak</p> <p>5 into the microphone.</p> <p>6 CHAIR CLARK: Oh, sorry.</p> <p>7 MS. DAVIDSON: Thank you.</p> <p>8 CHAIR CLARK: If I can repeat again, that</p> <p>9 this was stated that this was a unique opportunity for</p> <p>10 Rivera Beach. My question is why is it a unique</p> <p>11 opportunity for the City of Riviera Beach as opposed to</p> <p>12 other municipalities that may have land, and where has</p> <p>13 this other -- this configuration been implemented</p> <p>14 before? And I have other questions, but let's start</p> <p>15 with that. I want our audience, especially our</p> <p>16 residents to really understand that we're talking solar</p> <p>17 panels, we're talking the charging of vehicles with a</p> <p>18 battery, and it's here in Riviera Beach.</p> <p>19 MR. SCHMIDT: Absolutely.</p> <p>20 CHAIR CLARK: What are the benefits? Also,</p> <p>21 let's talk about the financial benefits too.</p> <p>22 MR. SCHMIDT: All right. I'm going to try to</p> <p>23 address some of them, then I'm going to turn it over to</p> <p>24 Stevany a little bit.</p> <p>25 CHAIR CLARK: Sure.</p>	<p style="text-align: right;">Page 35</p> <p>1 pilots --</p> <p>2 MR. SCHMIDT: Yes.</p> <p>3 CHAIR CLARK: -- nearby? And also you</p> <p>4 mentioned that someone selected Rivera Beach. Who</p> <p>5 selected Rivera Beach?</p> <p>6 MR. SCHMIDT: Okay. Well, I think I'll have</p> <p>7 Stevany go there. She knows those locations and how we</p> <p>8 got here.</p> <p>9 I think it's also a good use of the land, an</p> <p>10 effective use of land that's sitting there vacant now.</p> <p>11 So as we pulled ourself off fossil fuel and removed</p> <p>12 those tanks, the land is just kind of sitting there,</p> <p>13 you know, not producing anything. So let's have it</p> <p>14 produce something that's meaningful and usable by</p> <p>15 everybody. And I'll let her turn it over to those</p> <p>16 items. Thank you.</p> <p>17 MS. COLE: So to answer the first question</p> <p>18 you had, this is our largest solar array on the</p> <p>19 distribution grid. The other 33 sites that I mentioned</p> <p>20 are further west or in the middle of the state, and</p> <p>21 they're connected to transition. So this will be our</p> <p>22 most east installation. And so that's one unique</p> <p>23 quality about this project, as well as the solar array</p> <p>24 is a different structure than what we normally use, and</p> <p>25 so we're testing a different array pattern.</p>
<p style="text-align: right;">Page 34</p> <p>1 MR. SCHMIDT: So you know, there's only</p> <p>2 been -- the State's only allowed a couple of these</p> <p>3 pilot projects. So your town has been selected as one</p> <p>4 of the pilot projects to be -- you know, to showcase</p> <p>5 this, this great new technology.</p> <p>6 And as we all -- not Riviera Beach -- I think,</p> <p>7 you know, the country as a whole tries to bring ourself</p> <p>8 off of fossil fuels, this is why this is a great</p> <p>9 location, the location along 95, and featuring your</p> <p>10 town, the mural that we're putting up, how we're</p> <p>11 working in tandem with one another and the generation</p> <p>12 of this -- the generation of electricity from this site</p> <p>13 will actually be used for, I think it's 1,100 homes</p> <p>14 within this grid. I can't -- that's a rough number,</p> <p>15 yes. It's a rough number, but electricity gathered</p> <p>16 from this site will actually be powering homes within</p> <p>17 the local grid as well.</p> <p>18 So I think that just being on the forefront</p> <p>19 of this technology, it's going to proliferate through</p> <p>20 the county, and you being the project, I think that's a</p> <p>21 really neat feather in your cap.</p> <p>22 CHAIR CLARK: Okay. You said this is a</p> <p>23 pilot.</p> <p>24 MR. SCHMIDT: Um-hmm.</p> <p>25 CHAIR CLARK: So have there been other</p>	<p style="text-align: right;">Page 36</p> <p>1 The next question is this is a list of all of</p> <p>2 our pilots of battery storage throughout south Florida.</p> <p>3 It's mainly where we've targeted putting battery</p> <p>4 storage. So most of these projects are testing</p> <p>5 batteries in different applications, whether it's a</p> <p>6 black start or peaking capability. We do have a</p> <p>7 smaller microgrid down in Miami that we are doing where</p> <p>8 we're helping support an engineering campus. This will</p> <p>9 be a larger microgrid that we're utilizing, and we're</p> <p>10 also adding electric vehicles to the microgrid, unlike</p> <p>11 the FAU microgrid we have listed up here.</p> <p>12 So this system will help power this trailer</p> <p>13 in the event of a hurricane. So the solar is always</p> <p>14 shining, especially after a hurricane, and all that</p> <p>15 energy will be used to charge up the batteries on the</p> <p>16 site and the batteries on the trailer so that we can</p> <p>17 take the trailer out to the community for EV customers</p> <p>18 to charge their vehicles in the event of evacuation or</p> <p>19 when they're coming back to Florida.</p> <p>20 CHAIR CLARK: When you say a pilot, it goes</p> <p>21 through various checks and balances in terms of if the</p> <p>22 pilot is going to be successful. But this project of</p> <p>23 this magnitude, it's almost that once you go into full</p> <p>24 fledged project mode of development and it's here, it's</p> <p>25 no longer a pilot. It must work, because you've</p>

<p style="text-align: right;">Page 37</p> <p>1 invested so much money into it. So it's really not a 2 pilot, is it? This is going to be here in Riviera 3 Beach for a very long time with all of the FP&L 4 investment. 5 MS. COLE: Right. It's kind of confusing 6 that I say pilot. So this overall pilot program is 7 considered the 50 megawatt pilot program. That's what 8 the Florida Public Service Commissioner calls it out in 9 our rate case from 2016 in the settlement agreement. 10 And in that settlement agreement, it states that we're 11 to test battery storage, build our knowledge of battery 12 storage and test it in different applications. 13 It has a lot of restrictions. You can't have 14 just one project, and it has to benefit your customers 15 and either be attached to renewables or benefit a 16 customer, right? And all of those items is what we've 17 taken into account here. So this system here, the 18 batteries have a ten year life, so -- and the solar 19 panels have a 30 year life. And so this system will be 20 here. 21 And the other purpose of the pilot is to do 22 learnings and document learning. So this system is 23 going to be under the watch of our power generation 24 division, as well as our power delivery department, and 25 we'll be like seeing how it performs, how these</p>	<p style="text-align: right;">Page 39</p> <p>1 think for home, the customers, the people who reside 2 here in the city of Riviera Beach, I think the biggest 3 question is going be -- I know it's going to be very 4 beneficial for you to come here and have your project 5 here, but I saw the numbers as far as what you've had 6 previously and what the savings were to the people. 7 But specifically for the city of Riviera Beach, what 8 would our customers look at as far as a discount, or 9 will it assist in a discount on our bill for our area, 10 because you said it was 1,200 homes? 11 UNIDENTIFIED SPEAKER: Eleven. 12 MS. COLE: Well, so that's just on the 13 distribution line there. Overall, it goes to the 14 general rate base as a reduction in fuel cost. It's 15 not solar power directly going to those homes. It's 16 going on the grid, and that same grid also supplies 17 power too. 18 MR. WYLY: Got it. One more question. Also 19 for -- just in case, because will they be solely 20 dependent on that, or will they be still assisted 21 through, I guess through -- I'm not an engineer. I'm 22 trying to make sure I say this the correct way. Just 23 in case something happened to where, let's say the grid 24 or the solar panels or something failed, what would be 25 the, I guess the recovery for the 1,100 homes that</p>
<p style="text-align: right;">Page 38</p> <p>1 batteries operate, how the solar looks on the grid and 2 taking learnings and documenting them and sending them 3 back to the PS, the Florida PSC. 4 The project cost is approximately \$20 5 million -- 6 UNIDENTIFIED SPEAKER: Investment. 7 MS. COLE: -- investment. The project 8 investment is \$20 million. The batteries themselves 9 are around 13.6, the solar is 6.7, and the electric 10 vehicles are .2. And so this five megawatt solar array 11 produces enough energy that could power over 1,000 12 homes. 13 CHAIR CLARK: So is this cost of all of the 14 projects or just Riviera Beach's? 15 MS. COLE: Just the Riviera Beach. 16 CHAIR CLARK: Just Riviera Beach. 17 MS. COLE: Yes. 18 CHAIR CLARK: Well, this is a huge, big, 19 weighty project in front of the P & Z Board. I'm going 20 to -- I have some more questions, but I'm going to go 21 ahead and defer down the line, open it up to the rest 22 of the team here to ask questions. 23 MR. WYLY: How you doing, ma'am? First of 24 all, I wanted to thank you for bringing this renewable 25 energy opportunity to the city of Riviera Beach. And I</p>	<p style="text-align: right;">Page 40</p> <p>1 would be having any power? 2 MS. COLE: So the 1,100 homes are still going 3 to be powered from the general grid. They're not 4 getting direct power. The microgrid here is only for 5 the site equipment that's on the site, which is the 6 biodiesel tank, the administrative building that sits 7 there and the warehouse. And so that biodiesel tank 8 fills up our fleet vehicles. It's the same biodiesel 9 the train Brightline runs on. And so those items will 10 be in the microgrid, as well as the EV trailer, not the 11 actual homes out in the community. That was a 12 misstatement. 13 MR. WYLY: Okay, okay. 14 MS. COLE: Did I answer it? 15 MR. BROWN: Yes, this also is so awesome. I 16 have one question for you though. Could you identify 17 any potential safety concerns on this project? 18 MS. COLE: Yes, so all of our solar and 19 battery sites throughout the state of Florida are 20 monitored 24/7 through our renewable operations center 21 in Juno Beach. We use data system or control systems 22 where we can look at all our sites, see if there's any 23 faults, any issues that we might have, and if they feel 24 the need to shut down from a safety concern, they will 25 shut off the system to ensure the safety of the</p>

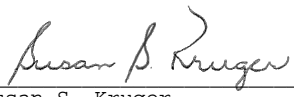
<p style="text-align: right;">Page 41</p> <p>1 community.</p> <p>2 As well as that, we have fire suppression</p> <p>3 systems that are commonly used in our battery</p> <p>4 facilities which minimize the risk of a significant</p> <p>5 fire. Each storage facility is also equipped with its</p> <p>6 own air-conditioning and cooling system to ensure it</p> <p>7 operates within ideal temperature ranges. And also,</p> <p>8 there's a burner management system associated with each</p> <p>9 battery container, that if it is to see a battery cell</p> <p>10 giving off excessive heat, it will shut down that</p> <p>11 entire rack and send out a fault code.</p> <p>12 And then for solar panels, they're made of</p> <p>13 non-combustible materials. And we work closely with</p> <p>14 local authorities to meet all permitting requirements</p> <p>15 for fire protection and safety, as well as should there</p> <p>16 ever be a small fire associated with the equipment, the</p> <p>17 access roads are available for the Fire Department to</p> <p>18 get there. But this system is set up so that the fire</p> <p>19 will break, and it won't kind of spread through</p> <p>20 everything, right. It will stay centralized and</p> <p>21 contained.</p> <p>22 CHAIR CLARK: I'm going to defer to the far</p> <p>23 right, to Mr. Gallon if he has questions, and we'll</p> <p>24 move down the line.</p> <p>25 MR. GALLON: No further questions.</p>	<p style="text-align: right;">Page 43</p> <p>1 say. So we're going to remain on the old grid.</p> <p>2 MS. COLE: Well, everyone's remaining on the</p> <p>3 old grid. We're just, again --</p> <p>4 MR. SCHMIDT: Yes, I messed up there.</p> <p>5 MS. COLE: Jon misspoke there. So the grid</p> <p>6 is staying as is. Our equipment is coming onto and</p> <p>7 interconnecting onto the grid, and it will supply a</p> <p>8 microgrid to just the facilities on the plat and on the</p> <p>9 site plan that we showed. And so whenever you generate</p> <p>10 power, it just goes onto the grid and it goes in any</p> <p>11 direction, the path of least resistance, right? And so</p> <p>12 it will just go and get mixed in with electrons from</p> <p>13 all over the place that we put on the grid and just</p> <p>14 kind of combine.</p> <p>15 VICE CHAIR BURGESS: So what I'm trying to</p> <p>16 get at, as a resident, you know, I've lived here a long</p> <p>17 time, and you know, after a hurricane, you know, this</p> <p>18 city has been without power for up to two weeks. So by</p> <p>19 us having this grid in our immediate vicinity, is that</p> <p>20 going to increase our chances of getting our power back</p> <p>21 sooner than anyone else because the panels are located</p> <p>22 within our city?</p> <p>23 MS. COLE: As long as the lines are safe,</p> <p>24 then we put the solar back on the grid. As soon as the</p> <p>25 lines are restored and there's a -- you know, you don't</p>
<p style="text-align: right;">Page 42</p> <p>1 VICE CHAIR BURGESS: Madam Chair, I do have a</p> <p>2 couple of questions.</p> <p>3 CHAIR CLARK: Sure.</p> <p>4 VICE CHAIR BURGESS: When you say 1,100 homes</p> <p>5 on the grid, so this is not fully replacing the grids</p> <p>6 that we have in the city now. And when you say 1,100</p> <p>7 homes, what area is that that these solar panels will</p> <p>8 actually power?</p> <p>9 MS. COLE: So this system will be located off</p> <p>10 a feeder that comes over from the VA Hospital. And so</p> <p>11 there's different feeders out of that substation, and</p> <p>12 our battery system is on the very last piece of one of</p> <p>13 those feeders. And so that feeder runs through the</p> <p>14 property. And I think there is a Holiday Park right</p> <p>15 there by Rapids --</p> <p>16 VICE CHAIR BURGESS: That trailer park?</p> <p>17 MS. COLE: I think. Not 100 percent. It's</p> <p>18 by Rapids, near Rapids Waterpark, and it comes through,</p> <p>19 and I think those customers are a part of that. But</p> <p>20 like I said, that grid is still staying intact as is.</p> <p>21 Our batteries and solar will just go onto that feeder.</p> <p>22 VICE CHAIR BURGESS: So it's kind of going to</p> <p>23 be the western part of Rivera Beach, so like the area</p> <p>24 of the V.A., Rapids, not the eastern side, so kind of</p> <p>25 like where more residential homes would be, I would</p>	<p style="text-align: right;">Page 44</p> <p>1 want to energize a downed line and then a power -- have</p> <p>2 a lineman come and work on it. So as long as the grid</p> <p>3 is up and running and safe to operate, we would be</p> <p>4 supplying power to the residents.</p> <p>5 VICE CHAIR BURGESS: Would this be a cause</p> <p>6 for any power outages while this work is being --</p> <p>7 MS. COLE: No, it will not.</p> <p>8 VICE CHAIR BURGESS: -- constructed?</p> <p>9 MS. COLE: No, it will be -- there will be no</p> <p>10 impact to any power.</p> <p>11 VICE CHAIR BURGESS: Because we've had a</p> <p>12 couple power outages in the city recently, myself</p> <p>13 included.</p> <p>14 And then the other question is you mentioned</p> <p>15 with the trailers, you said they could charge up to 12</p> <p>16 vehicles at a time and that you could take those</p> <p>17 trailers out into the community.</p> <p>18 MS. COLE: So in the event --</p> <p>19 VICE CHAIR BURGESS: How would that -- how do</p> <p>20 you decide like which areas you take the trailers out</p> <p>21 to?</p> <p>22 MS. COLE: So one of the items we looked at</p> <p>23 is, you know, evacuations. And so if there is a</p> <p>24 hurricane coming towards south Florida and a lot people</p> <p>25 are being asked to evacuate, we would take the trailer</p>

<p style="text-align: right;">Page 45</p> <p>1 a little further north, per se, so that when those 2 vehicles leave their homes and they're on their way out 3 of the state or on their way to Orlando and they run 4 out of charge, there's not a backlog of people waiting 5 to use chargers that we already have installed 6 permanently. So this trailer will come and sit next to 7 those, and the customers will be allowed to use those 8 as well. It kind of just adds more capacity at the EV 9 stations and gives you 12 more spots.</p> <p>10 VICE CHAIR BURGESS: Will you charge for that 11 or will that be free?</p> <p>12 MS. COLE: It's all a part of our EV program. 13 And so, yes, it will loop into the same program that 14 our current chargers we have out there are.</p> <p>15 VICE CHAIR BURGESS: Okay, and the last 16 question: Do you have an example of what the mural 17 will look like?</p> <p>18 MS. COLE: We do not at this time. We're 19 still working on that. One thing we do know is we went 20 back and forth a little bit with do we use the City 21 seal or do we just use the name of City of Riviera 22 Beach. And so we're going to use City of Riviera Beach 23 with an approved symbol that we were told, and right 24 now that's a starfish we're leaning towards. And then 25 plus FPL and then some tag line about how we're working</p>	<p style="text-align: right;">Page 47</p> <p>1 amount of electricity we get from our fossil fuel 2 plants, and that's a lower gas charge. So over time, 3 as we add more solar, this will go into our solar 4 bucket.</p> <p>5 CHAIR CLARK: Lower for who?</p> <p>6 MS. COLE: Everyone.</p> <p>7 CHAIR CLARK: Everybody who's --</p> <p>8 MS. COLE: Everyone in the FPL territory, 9 correct. And that's done through the rate case. But 10 yes, as we add more solar, that's the benefit of solar, 11 right, you've reduced your fuel charges.</p> <p>12 CHAIR CLARK: Right. I just want to be very 13 clear so that when people are looking at this meeting 14 and they're listening, that they have a really good, 15 clear understanding. And that's why I'm asking the 16 questions and just trying to do a deep dive.</p> <p>17 So you've explained that everybody benefits 18 FP&L who has a bill. Primarily for the City of Riviera 19 Beach, it is a branding benefit. And of course, the 20 partnership to, you know, really showcase this project 21 will be between FP&L and our City Council.</p> <p>22 You spoke earlier about the recreational 23 space and that was kind of glossed over a little bit. 24 Can you talk a little bit about this recreational 25 space? I think it's vacant. Is it going to continue</p>
<p style="text-align: right;">Page 46</p> <p>1 together for a cleaner future. And so I will be able 2 to supply those before the next City Council -- before 3 the City Council hearing. So right now, at this time I 4 do not have that.</p> <p>5 VICE CHAIR BURGESS: Thank you. Those are my 6 questions, Madam Chair.</p> <p>7 CHAIR CLARK: Thank you.</p> <p>8 I just want to make sure that I'm clear that 9 I'm feeding off Board Member Burgess' question. For 10 the residents of Riviera Beach, there isn't a direct 11 benefit in the sense that this pilot will feed off of 12 the grid. It's sounding to me that this is more of a 13 branding benefit for the City of Rivera Beach. And of 14 course, the vehicles that will be charged up will be 15 deployed in certain areas so that if there perhaps is 16 some sort of bad weather conditions and people are 17 stranded, they can get themselves charged up. And I 18 think you may have mentioned a fee. I'm not real sure.</p> <p>19 But I just want to understand that the houses 20 you spoke about are on the grid, they'll remain on the 21 grid. This project is just feeding off of the grid, 22 but there isn't any direct benefit to the residents in 23 the city except branding, partnership.</p> <p>24 MS. COLE: The majority of that's correct. 25 So as we add more solar on the grid, we reduce the</p>	<p style="text-align: right;">Page 48</p> <p>1 to be vacant?</p> <p>2 MS. COLE: Yes, that's not changing. That is 3 staying as is. Those --</p> <p>4 CHAIR CLARK: And when you say -- is it 5 recreational space because of the zoning codes or --</p> <p>6 MR. SCHMIDT: It's the zoning, correct.</p> <p>7 CHAIR CLARK: Okay.</p> <p>8 MR. SCHMIDT: It's just the zoning on that --</p> <p>9 CHAIR CLARK: Just the zoning on that.</p> <p>10 MR. SCHMIDT: -- on that piece of property. 11 We haven't -- we're not developing that, but it does 12 have a recreational open space zoning category. I 13 think it's zoning.</p> <p>14 CHAIR CLARK: All right. I'm going to defer 15 to my left for any further questions. Gentlemen?</p> <p>16 MR. WYLY: No questions.</p> <p>17 MR. BROWN: No questions.</p> <p>18 VICE CHAIR BURGESS: I have one more 19 question, Madam Chair.</p> <p>20 CHAIR CLARK: Sure.</p> <p>21 VICE CHAIR BURGESS: And I don't know if you 22 can answer this. I'm going to ask it, you know, 23 because again, it's being built in Riviera Beach and it 24 seems like there may be some type of a specialty or a 25 skill set to construct this facility? Yes, no?</p>

<p style="text-align: right;">Page 49</p> <p>1 MS. COLE: We go out for bid and we use 2 contractors for that. And so, yes, they do go out for 3 jobs, but I'm not too sure of that whole process. But 4 it is a job opportunity.</p> <p>5 VICE CHAIR BURGESS: Because we do have a 6 local union here in Riviera Beach, so I know a lot of 7 union workers look for opportunities as well. So just 8 want to put that out there.</p> <p>9 CHAIR CLARK: Whether it's this project or 10 other projects of this nature, if they're close to 11 residential homes, have you solicited just opinions or 12 education with the people in the area? I mean we have 13 it right here, but not all of our residents see the 14 P & Z Board. And next thing they know, this is going 15 to be there if they happen to miss this meeting and 16 they happen to miss the City Council meeting when this 17 comes before the Council. So what educational 18 marketing do you do just to let people know what is 19 going up and why?</p> <p>20 (Discussion held off the record.)</p> <p>21 MR. SCHMIDT: I'll try to answer this. So as 22 part of their utility agreement, you'll see advertising 23 for FPL on TV. So there are ads that are out there. 24 We don't really have it -- in this area of the country, 25 we really don't have a choice. So when FPL advertises,</p>	<p style="text-align: right;">Page 51</p> <p>1 city, and if you're going to obviously do this, it 2 would be great that in our FP&L bills that we see some 3 sort of collateral that talks about this project and 4 why it's here in Riviera Beach.</p> <p>5 Again, not everyone will watch this meeting; 6 not everybody will watch the City Council meeting. And 7 the only thing that they know is that this massive 8 project and construction is going on, and not really 9 have an understanding why. But, you know, that would 10 be great if it was some sort of -- what can I say -- 11 granular marketing versus macro, that if it doesn't 12 touch you specifically, well, you don't pay attention 13 to it.</p> <p>14 MR. SCHMIDT: Sure. And part of your 15 condition number five, whenever this is featured, we 16 have to, you know, identify that this is located in 17 Riviera Beach.</p> <p>18 UNIDENTIFIED SPEAKER: Use the microphone.</p> <p>19 MR. SCHMIDT: Also, as one of your 20 conditions, number five in the conditions of approval, 21 whenever this site is shown, you know, in those 22 educational ads, we're required to identify that it's 23 in Riviera Beach. I just want to let you know that 24 there's some sureties in there that that's getting out 25 there to people as well. And as well as the mural, you</p>
<p style="text-align: right;">Page 50</p> <p>1 you really don't -- you have FPL choice, but you don't 2 have a B choice. So the utility, the State utility 3 makes them advertise, and through that is their public 4 outreach.</p> <p>5 So I don't know if you've seen some of these 6 ads when they talk about, you know, how they're -- some 7 of the slides that she pulled up are right from that, 8 how they dropped their, you know, fossil fuel use and 9 how they're bringing the solar up onto the grid. I've 10 seen those ads on TV. But that's some of the outreach 11 I know that they do. There's some billboards around as 12 well. But that's really kind of the extent of it.</p> <p>13 And in this particular case, you know, 14 there's -- this is the recreational space that you were 15 talking about that's not, you know, not within our 16 affected area. There's where all the trees and stuff 17 are. You know, where we're doing these solar arrays 18 really isn't by any residential homes. But I 19 understand what you're saying. But there's a 20 community -- there's an overall community outreach 21 throughout the whole state and the advertising that 22 they have to spend.</p> <p>23 CHAIR CLARK: Right, it's very broad. If it 24 doesn't really touch me, then it's not really on my 25 radar. But here, because this is pretty much in our</p>	<p style="text-align: right;">Page 52</p> <p>1 know, working together. I hope that --</p> <p>2 CHAIR CLARK: Great. I would hope that our 3 audience who's viewing our Rivera Beach TV or even You 4 Tube that share this without -- to their neighbors so 5 that the word will get out. So I'm just asking the 6 City of Riviera Beach residents who's watching to share 7 this meeting with everybody that they know. So that's 8 what I meant by also getting granular. So go ahead.</p> <p>9 MS. COLE: Can I just add one thing? So the 10 tanks that used to be there were very visible from 95. 11 They were very tall, if you remember. So as you see 12 here, both of these tanks are now gone, and we're 13 replacing them -- sorry, let me -- with very low to the 14 ground solar panels. These, they sit about seven feet 15 high, so they're not very in your face anymore. And 16 the battery containers as well, they're about seven to 17 ten feet high -- yes, seven to ten feet high, whereas 18 the tanks were extremely -- a lot taller than that, 40 19 to 50 feet tall.</p> <p>20 So this is a lot more low profile than what 21 used to be out in this site. And also, we are 22 surrounded, as Jon said, by a lot of customers that are 23 CNI customers, as well as our own FPL site is to the 24 west of the canal. And so there's not a lot of 25 neighbors on the road that will be affected by any</p>

<p style="text-align: right;">Page 53</p> <p>1 construction traffic into the site.</p> <p>2 CHAIR CLARK: I'll ask the Board, do we have</p> <p>3 any further questions before we move on to a motion?</p> <p>4 All right, I'm going to ask a member of our</p> <p>5 Board to make a motion to accept the applicant's</p> <p>6 proposal as presented.</p> <p>7 VICE CHAIR BURGESS: So moved.</p> <p>8 CHAIR CLARK: May I have a --</p> <p>9 MR. GALLON: Second.</p> <p>10 MR. WYLY: I second.</p> <p>11 CHAIR CLARK: Thank you. May we have a roll</p> <p>12 call, please?</p> <p>13 MS. DAVIDSON: I'm sorry, was that second by</p> <p>14 Mr. Wyly or by Mr. Gallon?</p> <p>15 MR. WYLY: Second by myself.</p> <p>16 CHAIR CLARK: Thank you.</p> <p>17 MS. DAVIDSON: Anthony Brown.</p> <p>18 MR. BROWN: Yes.</p> <p>19 MS. DAVIDSON: William Wyly.</p> <p>20 MR. WYLY: Yes.</p> <p>21 MS. DAVIDSON: James Gallon.</p> <p>22 MR. GALLON: Yes.</p> <p>23 MS. DAVIDSON: Rena Burgess.</p> <p>24 VICE CHAIR BURGESS: Yes.</p> <p>25 MS. DAVIDSON: Evelyn Harris Clark.</p>	<p style="text-align: right;">Page 55</p> <p>1 asking us to do, we can look into doing that.</p> <p>2 UNIDENTIFIED SPEAKER: Please use the</p> <p>3 microphone.</p> <p>4 MR. SCHMIDT: Oh, sorry; I'm sorry.</p> <p>5 I'm sorry. So you're saying -- you're asking</p> <p>6 if we could do some further education to some of the</p> <p>7 surrounding neighborhoods?</p> <p>8 MR. WYLY: Right, just the people, like what</p> <p>9 Ms. Burgess said --</p> <p>10 MR. SCHMIDT: Sure.</p> <p>11 MR. WYLY: -- just to say that, you know,</p> <p>12 again, we want to educate the people in the city, and I</p> <p>13 think that's, you know, probably a good way of doing it</p> <p>14 also, you know.</p> <p>15 MR. SCHMIDT: Stevany, is there any like --</p> <p>16 is there like one page cut sheets or something, or you</p> <p>17 know, like a bifold that we could send out?</p> <p>18 MS. COLE: (Inaudible.)</p> <p>19 MR. SCHMIDT: Okay. So typically we'll go to</p> <p>20 the Property Appraiser's Office, and we get, you know,</p> <p>21 we get the mailers for everybody within, you know, 500</p> <p>22 feet. If that's something you'd like us to do, I think</p> <p>23 we could, you know, accommodate that and send those</p> <p>24 out. And we can probably get it done between now and,</p> <p>25 you know, the City Commission, so if they have</p>
<p style="text-align: right;">Page 54</p> <p>1 CHAIR CLARK: Yes.</p> <p>2 MS. DAVIDSON: Unanimous vote.</p> <p>3 MR. SCHMIDT: Thank you.</p> <p>4 CHAIR CLARK: Thank you. I hope we weren't</p> <p>5 too tough on you.</p> <p>6 MR. SCHMIDT: Huh?</p> <p>7 CHAIR CLARK: I hope we weren't too tough on</p> <p>8 you, but we just wanted to really have an education on</p> <p>9 a project of this nature and just to make sure that</p> <p>10 when people go back and take a look at this particular</p> <p>11 P & Z meeting, that hopefully we've flushed all of</p> <p>12 their questions out.</p> <p>13 MR. SCHMIDT: Thank you very much for your</p> <p>14 time tonight. We really appreciate it.</p> <p>15 MR. WYLY: Is it possible that you -- well,</p> <p>16 actually for your area to be able to send out like a</p> <p>17 pamphlet or something like that in the mail to be able</p> <p>18 to, like you said, you know, do a little further</p> <p>19 education to the people in the area, so like you say,</p> <p>20 they'll be able to identify what's going on and what it</p> <p>21 is and how it affects us?</p> <p>22 MR. SCHMIDT: I think we could look at doing</p> <p>23 some type of -- sometimes when we do the public</p> <p>24 meetings, we send out -- you know, we'll pick a radius</p> <p>25 and send that out. If that's something that you're</p>	<p style="text-align: right;">Page 56</p> <p>1 additional questions, they can come the to the City</p> <p>2 Commission hearing.</p> <p>3 MR. WYLY: That would be beneficial.</p> <p>4 CHAIR CLARK: Sure.</p> <p>5 MR. SCHMIDT: All right.</p> <p>6 CHAIR CLARK: Making true partnerships. So</p> <p>7 education is very important, especially since we here</p> <p>8 as a body, we were probably hopefully asking the same</p> <p>9 type of questions that a resident would ask.</p> <p>10 MR. SCHMIDT: Absolutely.</p> <p>11 CHAIR CLARK: And not that I'm an electrical</p> <p>12 engineer by trade at all, but I kind of understand, and</p> <p>13 hopefully, you know, documentation will help our</p> <p>14 residents and business people understand further,</p> <p>15 because again, it could be that someone could get the</p> <p>16 misinterpretation that their bill might go up --</p> <p>17 MR. SCHMIDT: Sure.</p> <p>18 CHAIR CLARK: -- or that they are no longer</p> <p>19 on the grid, that they're now on solar. So that's why</p> <p>20 it's very important to get this type of communication</p> <p>21 out, working in conjunction with our elected officials</p> <p>22 as well as our municipal staff rather.</p> <p>23 MR. SCHMIDT: Okay. And we'll make sure that</p> <p>24 we, you know, verify this and work with staff as we</p> <p>25 send those out, all right? All right, great idea.</p>

<p style="text-align: right;">Page 57</p> <p>1 Thank you. We'll take care of it. I appreciate it.</p> <p>2 VICE CHAIR BURGESS: Thank you. Have a great</p> <p>3 night.</p> <p>4 MR. SCHMIDT: Thank you.</p> <p>5 CHAIR CLARK: Thank you.</p> <p>6 Okay, let's go on to -- the next item is</p> <p>7 workshop items. We talked a little bit about that last</p> <p>8 meeting. Is that still in progress of being developed?</p> <p>9 ASSISTANT DIRECTOR SAVAGE-DUNHAM: Yes,</p> <p>10 ma'am. We are talking about training and workshop</p> <p>11 items, and this kind of crosses over into an item</p> <p>12 further down the agenda.</p> <p>13 We're putting together a survey that we'll be</p> <p>14 sending out to the Board, because as we talk about a</p> <p>15 workshop and training and a curriculum, we also want to</p> <p>16 make sure that we serve you and we address things that</p> <p>17 you may want to hear more about or talk about. So what</p> <p>18 we may have thoughts about what would be beneficial to</p> <p>19 have a workshop about, we'll be sending out a survey to</p> <p>20 the Board members, and we'll be asking you for your</p> <p>21 guidance and what you desire. And then between the</p> <p>22 two, we think we can craft a really beneficial program.</p> <p>23 It may be more than one night. We'll have to -- we're</p> <p>24 not quite there yet. But we are working on it, and we</p> <p>25 do desire your input. So stay tuned, and we'll send</p>	<p style="text-align: right;">Page 59</p> <p>1 the property tax payments up into four payments instead</p> <p>2 of one lump sum. Normally if you pay the taxes in full</p> <p>3 in November, you receive a four percent discount.</p> <p>4 Right now we're at the end of property tax season,</p> <p>5 we're in March, there is no discount in the month of</p> <p>6 March.</p> <p>7 So thinking about your next year's taxes and</p> <p>8 you had trouble this year, then you may want to look</p> <p>9 into signing up for the installment payment plan. So I</p> <p>10 just wanted to put that information out there for our</p> <p>11 residents.</p> <p>12 Thank you, Madam Chair.</p> <p>13 CHAIR CLARK: Thank you, Ms. Burgess.</p> <p>14 VICE CHAIR BURGESS: Oh, I'm sorry, Madam</p> <p>15 Chair. I didn't say where you need to do that at. You</p> <p>16 do that, to sign up for the installment payment plan,</p> <p>17 you can go to the Palm Beach County Tax Collector's</p> <p>18 website at www.pbctax.com.</p> <p>19 CHAIR CLARK: Thank you. We are working for</p> <p>20 the city of Riviera Beach.</p> <p>21 Mr. Wylly.</p> <p>22 MR. WYLY: No questions.</p> <p>23 MR. BROWN: No comments.</p> <p>24 CHAIR CLARK: All right. Well, without any</p> <p>25 other further business, would someone make a motion to</p>
<p style="text-align: right;">Page 58</p> <p>1 you out something to tell us what you want, how we can</p> <p>2 serve you.</p> <p>3 CHAIR CLARK: Okay, great. Hopefully that</p> <p>4 will be real soon, because we've been waiting a couple</p> <p>5 years here, maybe some of us longer.</p> <p>6 ASSISTANT DIRECTOR SAVAGE-DUNHAM: Oh, it</p> <p>7 won't be another year. It will be very soon, ma'am, I</p> <p>8 promise.</p> <p>9 CHAIR CLARK: Okay. All right, we're going</p> <p>10 to go to general discussions. And I am going to</p> <p>11 gather, since there's no one else here, we do not have</p> <p>12 public comments.</p> <p>13 Okay, any correspondence?</p> <p>14 ASSISTANT DIRECTOR SAVAGE-DUNHAM: No, ma'am.</p> <p>15 CHAIR CLARK: Okay. And Planning and Zoning</p> <p>16 Board comments, and let's start with Mr. Gallon.</p> <p>17 MR. GALLON: I have no comments.</p> <p>18 VICE CHAIR BURGESS: I would just like to</p> <p>19 remind all of the property owners in the city that this</p> <p>20 is the last month to pay your property taxes. Please</p> <p>21 pay those taxes on or before March 31st.</p> <p>22 And also, be aware that there is an</p> <p>23 installment payment plan, not for 2020 taxes, but for</p> <p>24 2021 property taxes that you can sign up for until</p> <p>25 April 30th. And what that payment plan does is breaks</p>	<p style="text-align: right;">Page 60</p> <p>1 adjourn our meeting?</p> <p>2 VICE CHAIR BURGESS: So moved.</p> <p>3 MR. WYLY: Second.</p> <p>4 CHAIR CLARK: Okay, meeting adjourned.</p> <p>5 (Whereupon, at 8:22 p.m., the proceedings</p> <p>6 were concluded.)</p>

<p>1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25</p>	<p style="text-align: right;">Page 61</p> <p style="text-align: center;">C E R T I F I C A T E</p> <p>THE STATE OF FLORIDA)) COUNTY OF PALM BEACH)</p> <p>I, Susan S. Kruger, do hereby certify that I was authorized to and did report the foregoing proceedings at the time herein stated, and that the foregoing pages comprise a true and correct transcription of my stenotype notes taken during the proceedings.</p> <p>IN WITNESS WHEREOF, I have hereunto set my hand this 16th day of March, 2021.</p> <p style="text-align: center;">  <u>Susan S. Kruger</u> </p>	



**CITY OF RIVIERA BEACH STAFF REPORT
CASE NUMBER ZA-21-01, SP-21-01
FLORIDA SUNSTAR LOGISTICS
APRIL 8, 2021**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING ZONING TEXT AMENDMENT (ZA-21-01) FROM FLORIDA SUNSTAR LOGISTICS, LLC., TO REVISE THE LAND DEVELOPMENT CODE FOR IG (GENERAL INDUSTRIAL) TO INSERT NEW SUBSECTION “a” INTO SECTION 31-383 (2), INCREASING THE ALLOWABLE BUILDING HEIGHT IN THE CENTRAL AREA OF THE PORT FROM 50’ TO 150’, WHERE THE CENTRAL AREA IS DEFINED AS “THAT AREA BORDERED BY W. PORT ROAD & BROADWAY AVE, AVENUE E, AND DR. MARTIN LUTHER KING JR. BLVD.”, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-33-29-000-0020, AND PROVIDING FOR CONFLICTS, SEVERABILITY AND CODIFICATION, AND PROVIDING FOR AN EFFECTIVE DATE.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-21-01) FROM FLORIDA SUNSTAR LOGISTICS, LLC., TO ALLOW FOR THE CONSTRUCTION OF AN INDUSTRIAL CEMENT STORAGE TANK (A.K.A DOME) AND AN ACCESSORY OFFICE AND EQUIPMENT BUILDINGS ON A ~3.97 ACRE AREA AT THE PORT, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-33-29-000-0020, HAVING AN PORT FUTURE LAND USE DESIGNATION AND A GENERAL INDUSTRIAL (IG) ZONING DESIGNATION, PROVIDING FOR CONDITIONS OF APPROVAL, AND PROVIDING FOR AN EFFECTIVE DATE.

-
- A. Applicants:** Florida Sunstar Logistics, LLC.
- B. Request:** The applicant has two requests. First, a Zoning Text Amendment to increase the maximum building height to 150’ from 50’ in an ~ 17.75 acre portion of the port IG General Industrial zone. Second, Site Plan Approval for a new 150’ tall dome and accessory structures and parking for a cement material storage facility on a portion of the property in the central portion of the port IG General Industrial zone.
- C. Location:** The subject property is located inside the Port of Palm Beach. The area of the text amendment is a ~17.75 acre portion of the IG zone. The property which is the subject of the Site Plan Approval is ~3.97 acres of the area that is included in the zone text change. While the port is adjacent to West Palm Beach the property under consideration today is within the port and not directly adjacent to West Palm Beach. The photographs below show the view standing on the site (in order) to the North, East, South and West and demonstrate that the project location is in the middle of the port property. (See also Location Map at end of document.)

View to the North



View to the East



View to the South



View to the West



D. Property Description and Uses:

<u>Parcel Control Numbers:</u>	56-43-42-33-29-000-0020
<u>Parcel Size:</u>	3.97 acres
<u>Existing Use:</u>	Industrial
<u>Zoning:</u>	General Industrial (IG) Zoning District
<u>Future Land Use:</u>	Port

E. Adjacent Property Description and Uses:

<u>North:</u>	General Industrial (IG) Zoning District; Port property.
<u>South:</u>	General Industrial (IG) Zoning District; Port property.
<u>East:</u>	General Industrial (IG) Zoning District; Port property.
<u>West:</u>	General Industrial (IG) Zoning District; Port property and State Road/US 1 overpass

F. Background:

The Applicant submitted Zoning Text Amendment Application (ZA-21-01) for approval to increase the maximum building height from 50' to 150' on approximately 17.75 acres of land at the port in the center of the IG (General Industrial) zoning district. The area subject to the increased height is defined as "That area bordered by W. Port Road & Broadway Ave, Avenue E, and Dr. Martin Luther King Jr. Blvd." The need for the requested text amendment comes from a desire to facilitate and expand the opportunities for future growth and economic development of the Port of Palm Beach and allow for the construction of a 150 foot high storage structure by Florida Sunstar Logistics.

The Applicant also submitted Site Plan Application (SP-21-01) for approval for Florida Sunstar LLC. to develop a 12,271 square foot/150' tall cement materials storage dome capable of storing 50,000 tons of material, a one story 2,080 square foot office building, a 2,568 square foot mechanical/equipment building, and associated parking and mechanical equipment on a ~3.97 acre portion of the ~17.75 acres that would benefit from the related text amendment. This project is a ~27 million dollar investment and is projected to bring both construction and long term employment opportunities to the City in addition to increasing the tax base. The applicant has proposed to decorate the materials storage dome with an ocean/dolphin design and the words "Riviera Beach" in banner format along the top edge of the dome so as to be visible to traffic crossing the bridge. The applicant provided illustrations to show how it would look during the day and when illuminated at night. The applicant is aware that the design must be to the satisfaction of the City Council.

G. Staff Analysis:

Proposed Use: The proposed use is Industrial and is permitted. A zone text amendment is required to allow the construction of the proposed materials storage dome as intended.

Zoning Regulations: The General Industrial (G) Zoning District purpose (Section 31-381) is to promote development of industrial and manufacturing uses which would increase the tax base of the city and provide increased employment opportunities for area residents”. This project is a ~\$27 million dollar investment. Per the Applicants response to staff comments on job creation *“We estimate over 100 temporary construction jobs during the course of the build. These jobs will include both skilled and unskilled jobs from laborers, carpenters, excavators, pipefitters, welders, electricians, ironmen and data technicians. We are estimating approximately 110 full time jobs once construction is complete. Approximately 10-12 of these positions will be onsite with varying degrees of skill sets and experience. Job titles include Site Manager, Site Operators, Administrative Assistant, Deckhands, Mechanics, etc. All other positions will be related to truck drivers loading material from the Port and delivering to the local market.”*

Comprehensive Plan: The proposed project is consistent with the City’s Comprehensive Plan and the Port Future Land Use Category.

Uses: The proposed use is a permitted use per the General Industrial (IG) Zoning District code section 31-382 (a)1 which says all uses permitted in the IL District under Section 31-362 (a) 1 are permitted in IG District – and this use falls under “wholesaling”.

Compatibility: The proposed development of this property is compatible with adjacent development as it is all port related operations.

Levels of Service: Customary services such as water, sewer, roads and garbage collection are available to the site.

Landscaping: Within the port facility landscape materials are not installed as they would typically be on other commercial or industrial sites in the city. However, typically landscaping is one way to mitigate impacts of a development on the adjacent properties and provide screening for noise, lights and views. The applicant was asked to quantify the scope of the landscape requirement if this project was not in the port and calculate the cost of that improvement. The applicant was asked if they would contribute the cost of the landscape requirement to the City to use to install landscape offsite for the benefit of the community. The applicant is in agreement and provided a landscape estimate of 45,285.15. Staff recommends that a check in this amount be provided to the City prior to issuance of the Building Permit.

Lighting: The lighting on the dome will be installed approximately 10 feet below the bridge. The lighting fixtures selected meets the IDA dark sky certification as shown on the cut sheet on E-3 and E-4 and will not cause glare to traffic on the overpass. The site is in the middle of the active port facility and as such the site lighting is not expected to adversely impact abutting lessors.

Parking/Traffic: All traffic enters the site via the security checkpoint at the east terminus of MLK Jr. Blvd. Traffic volume is estimated at 100 truck trips and 70 employee trips per day with one round trip equal to two trips. There is existing transportation infrastructure to handle the traffic and a parking area is provided on site for the maximum number of employees expected to work on the site as well as in the office per shift.

Municode Section 26-5 Table III offers bonuses for the IG district: *Reduction in spaces or size (no limit) based on demonstrated use or alternative plan. It must be demonstrated that the requirement is unrealistic for a particular use (i.e., based on number of employees) or that an alternative plan, such as park and ride, is available.* The parking calculation utilized is per the maximum number of employees that would be at the site in one shift, which is 16 employees for the site (not just the office building). A clear pedestrian path from the parking area to the office building has been depicted on the site plan to ensure on site pedestrian safety.

H. Recommendation:

ZA-21-01:

Staff recommends approval of the Zoning Text Amendment application (ZA-21-01) to increase the maximum building height from 50' to 150' on approximately 17.75 acres of land at the port in the center of the IG (General Industrial) zoning district. The area subject to the increased height is defined as "That area bordered by W. Port Road & Broadway Ave, Avenue E, and Dr. Martin Luther King Jr. Blvd."

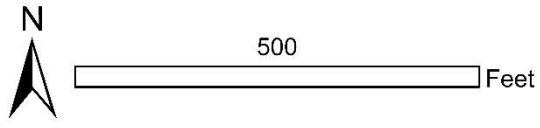
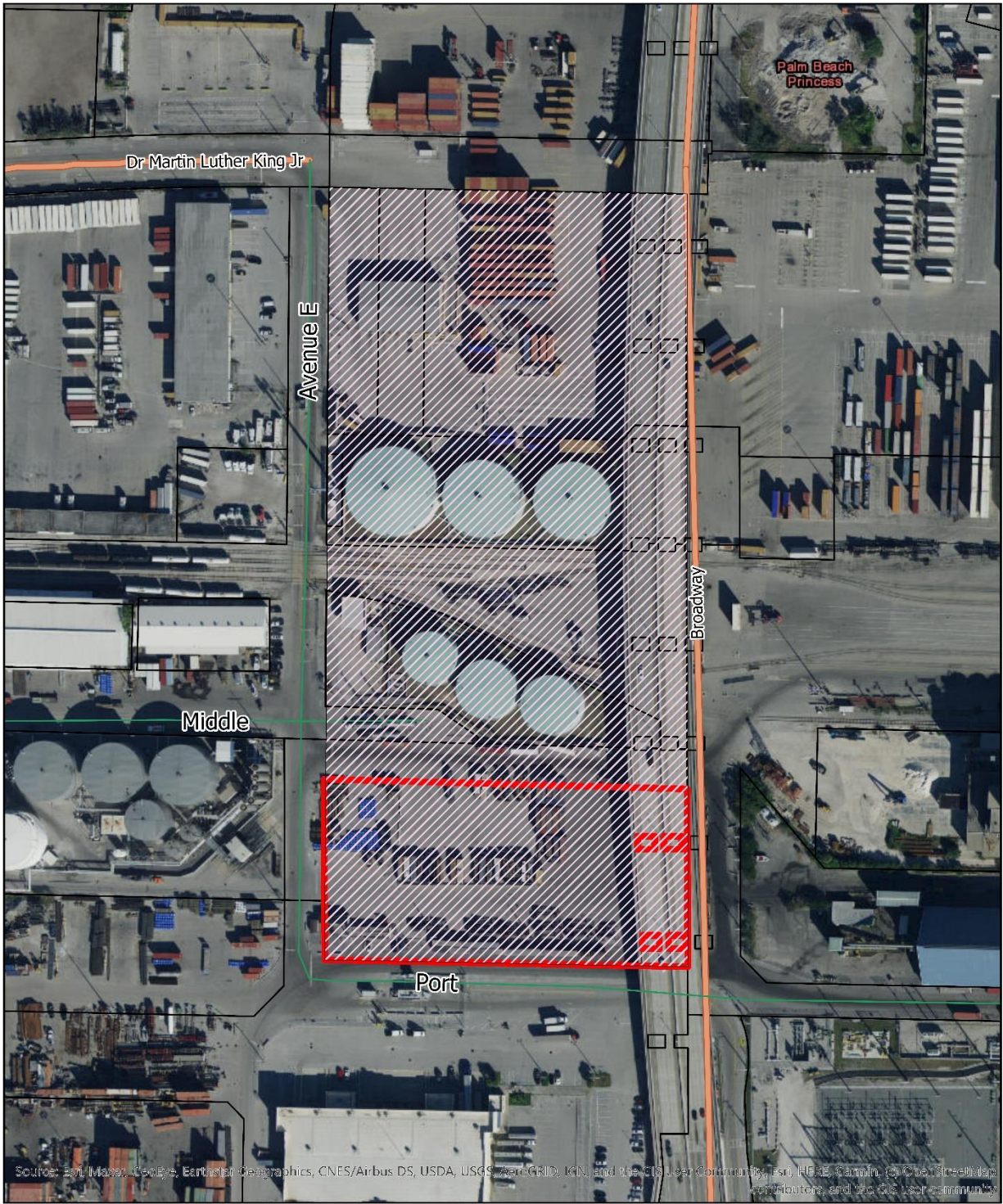
SP-21-01:

Staff recommends approval of the Site Plan application SP-21-01 for Florida Sunstar LLC. to develop a 12,271 square foot/150' tall materials storage dome capable of storing 50,000 tons of material, a one story 2,080 square foot office building, a 2,568 square foot mechanical/equipment building, and associated parking and mechanical equipment on a ~3.97 acres of property known as PCN #56-43-42-33-29-000-0020, subject to the following conditions:

1. The applicant shall provide a check payable to the City of Riviera Beach for not less than \$45,285.15 for landscape improvements in the City prior to the issuance of a Building Permit.
2. Construction must be initiated within 18 months of the effective date of this Resolution in accordance with Section 31-60(b), of the City Code of Ordinances. Demolition, site preparation and/or land clearing shall not be considered construction. Building permit application and associated plans and documents shall be submitted in its entirety and shall not be accepted by City staff in a partial or incomplete manner.
3. City Council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than 5% from the originally approved site plan.
4. This development must receive final Certificate of Occupancy from the City for all buildings and/or units approved within five years of the approval of the adopting resolution or the adopting resolution shall be considered null and void, requiring the applicant to resubmit application for site plan approval and re-initiate the site plan approval process.

5. All future advertising must state that the development is located in the City of Riviera Beach. Fees and penalties in accordance with City Code Sec. 31-554 will be levied against the property owner and/or business for violation of this condition.
6. Once approved, this resolution shall supersede any previous site plan approval resolutions associated with this property, causing previous site plan approval resolutions to be null and void.
7. The concurrently processed ordinance (ZA-21-01) must be adopted, approved and become effective prior to this site plan approval becoming effective.
8. The applicant shall consider partnering with the City as possible to identify opportunities to provide outreach and support to local residents, including but not limited to programs such as the Youth Empowerment Program, The Reentry Center, or the establishment of a charitable foundation.
9. The applicant shall actively advertise employment opportunities for temporary and permanent positions within the City of Riviera Beach including participation at community job fairs or hosting specialized recruitment events.
10. Because the location of the dome structure, bridge and intersection of Access Rd. & Broadway offer a unique opportunity to visually invite residents, businesses and the public into the City of Riviera Beach, Florida Sunstar Logistics shall participate in efforts to enhance and beautify the bridge and southern gateway to the City by working with the City and other partners.
11. The final design of the mural on the dome structure shall be to the satisfaction of the City Council and installed prior to the issuance of the Certificate of Occupancy.

Location Map



Legal Description

A PARCEL OF LAND IN SECTION 33, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, LYING PARTIALLY IN BIRDSALL INC. PLAT 1, RECORDED IN PLAT BOOK 68, PAGE 188, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID PLAT; THENCE ALONG THE SOUTH BOUNDARY OF SAID PLAT, N88°47'02"W FOR 575.39 FEET TO THE POINT OF BEGINNING; THENCE N00°31'15"E FOR 141.65 FEET TO THE NORTH BOUNDARY OF SAID PLAT; THENCE ALONG SAID NORTH BOUNDARY S88°26'17"E FOR 481.47 FEET; THENCE S01°33'43"W FOR 19.00 FEET; THENCE S88°26'17"E FOR 268.11 FEET; THENCE S89°44'21"W FOR 96.38 FEET; THENCE N83°47'16"W FOR 55.70 FEET; THENCE N89°00'36"W FOR 463.52 FEET; THENCE N00°31'15"E FOR 45.95 FEET TO THE POINT OF BEGINNING. CONTAINING 172,759 SQUARE FEET (3.966 ACRES), MORE OR LESS.

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Via Email: Csirmons@Rivierabeach.org

Clarence Sirmons
Director of Development Services
Riviera Beach
600 West Blue Heron Blvd.
Riviera Beach, FL33404

RE: Narrative for Proposed Text Amendment/Addition to Section 31-383(2) of the Riviera Beach Code of Ordinances

Dear Director Sirmons:

Please allow this letter to serve as the Narrative for the proposed Text Amendment to Section 31-383(2) of the Riviera Beach Code of Ordinances, raising the Maximum Building Height for uses related to Port of Palm Beach activities in the central area of the IG General Industrial district to 150 feet. More specifically, the delineation of the central area is defined as being bordered by W Port Rd & Broadway Ave, Avenue E, and Dr. Martin Luther King Jr Blvd.

The need for the requested Text Amendment arises to facilitate and expand the opportunities for future growth at the Port and allow the construction of a 150 foot high storage structure by Florida Sunstar Logistics LLC ("FL Sunstar") in the Port of Palm Beach. The purpose of the General Industrial District, as stated in Section 31-381 is "to promote development of industrial and manufacturing uses which would increase the tax base of the city and provide increased employment opportunities for the area residents."

The storage structure by Florida Sunstar Logistics LLC in particular, is anticipated to create approximately one hundred and ten jobs (both direct and indirect), including both management roles as well as positions such as deckhands, mechanics and truck drivers. The minimum wage per hour of these positions will be higher than the state minimum wage and the Palm Beach County Living Wage, and offer health benefits, job security and retention with training opportunities to enhance skills and safety in an industrial environment. These positions all offer the possibility of long-term stable employment for area residents. During the construction phase, FL Sunstar will also seek to contract with local qualified contractors and suppliers during the construction phase. With the approval of this code amendment and permits to construct, Florida Sunstar Logistics plans to invest approximately \$27 million dollars to accommodate the development and operation of this import and storage facility. This facility will be a state-of-the-art modern industrial development that will provide an efficient and environmentally responsible system to ensure the safe transfer, storage and distribution of dry bulk products including cement, significantly raising the appraised taxable value of the site.

February 16, 2021

Page 2

Section 31-383 contains the property development standards for the General Industrial District, including a current maximum height of 50 feet. As the Port modernizes and looks to the future, this text amendment will allow the Port to accommodate state of the art, modern industrial developments that meet the site development standards of the City. Ports such as the Port of Palm Beach are now challenged to improve their ability to accommodate larger volumes of cargo. The text amendment is a forward-looking change which will smooth the path to attract more technologically advanced industrial uses to the Port and City, adding more jobs and raising the tax base in a virtuous circle.

The amendment is consistent with the Comprehensive Plan, the Port Master Plan, and is in harmony with the general purpose and intent of the Riviera Beach Land Development Code. The following Objectives and Policies of the Port Master Plan are particularly pertinent to the requested text amendment: Objective 1.1 states “The Port will maintain and expand its facilities as required to fulfill intermodal transportation needs, including purchase and lease of new properties for the movement of people and goods, storage and manufacturing, facilitation of trade, and the improvement of existing and new properties to maintain and expand cargo and passenger throughput.” Objective 1.4 related to Port Facilities states “The Port will improve existing facilities and maintain new facilities to ensure that the Port has the security, capacity and operational efficiency needed to accommodate future growth in cargo and passenger services.” Policy 1.6.2 deals with economic benefits of new customer agreements and is as follows “Prior to entering into new customer agreements, the Port will ensure that the agreements are offering the Port and region substantial and sustained benefits through revenue, throughput, and job creation.” Objective 4.3 is that the Port of Palm Beach “will be a catalyst for the economic growth and development of Palm Beach County and the State of Florida.” And finally, Policy 4.3.2 related to Infrastructure Adequacy for Demand “The Port will endeavor, to the extent required by law, to maintain procedures to coordinate with other agencies that are providing services to the Port to ensure that infrastructure will be available coincident with the demands created by development or redevelopment.”

For all of the aforementioned reasons, we respectfully request amending Section 31-383(2) of the Riviera Beach Code of Ordinances, to raise the Maximum Building Height for uses related to Port of Palm Beach activities in the central area of the IG General Industrial district to 150 feet.

Sincerely,
Jeremy Shir



For the Firm

February 11, 2021

Project Narrative

Sunstar Logistics, LLC
Cement Storage Structure/Truck Loadout
Port of Palm Beach, Riviera Beach, FL
Uniform Land Use Application – Site Plan
PCN:56-43-42-33-29-000-0020

Project Location

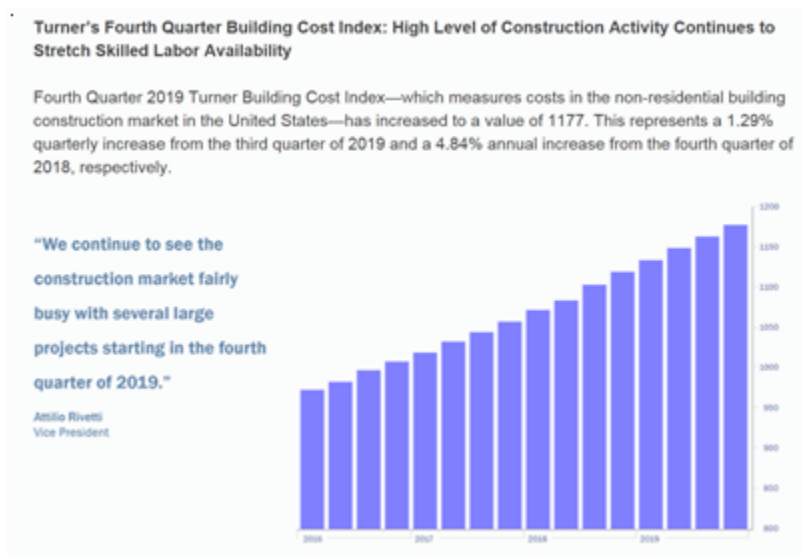
Florida Sunstar Logistics, LLC (the Applicant) is the developer for the +/-3.97 acre parcel with Property Control Number (PCN) 56-43-42-33-29-000-0020 owned by Port of Palm Beach District (the Owner) generally located at the Port of Palm Beach east of Avenue E and north of W. Port Rd. The parcel is located in the IG, General Industrial Zoning District.



Background and Project Overview

Florida Sunstar Logistics has extensive experience in the production, transfer and conveyance of bulk materials used in the construction of small, mid-size and large-scale development projects. They also have experience in sourcing bulk raw materials from Europe, Middle East and Asia to help support development here in the United States. The primary reason for the required 150 feet height is to facilitate the construction of a structure to store and transfer cement products. This type of structure is common in the industry as an effective and efficient means of storage.

Import, storage and distribution in the South Florida region is critical to satisfying the growing demand throughout Palm Beach County, Broward County and Miami-Dade County. As noted below, construction costs throughout the country continue to rise significantly.



See: Turner Construction analysis of Construction Materials costs at <http://www.turnerconstruction.com/cost-index>

The cost of sourcing raw materials also continues to rise at a significant rate beyond the ability to absorb all increases. This negatively effects local construction costs without such sourcing, storage and distribution.

Building a structure capable of storing 50,000 tons of material at the Port of Palm Beach will help secure materials at competitive rates to keep costs at a minimum and support the growing demands in the South Florida region. This amount of storage is necessary to accommodate a 30,000 ton vessel with a buffer of material until reloading can take place with the next vessel. This also eliminates the possibility of disrupting the supply chain. As a result, the 150 foot height requirement is necessary to accommodate this storage.

While it appears the global coronavirus pandemic has had some short-term impacts on construction, the forecast for new development in South Florida remains optimistic in 2022 and beyond (according to the South Florida Business Journal, May 22, 2020). This new facility will

be uniquely positioned to support the anticipated growth locally and regionally to help stem the tide of rising construction costs.

The selected site at the Port of Palm Beach is well suited and available for this type of structure. While the structure exceeds the current height requirements there are other notable structures and facilities in the area that are at or above the requested maximum height of 150 feet. Most notably is the silo facility directly east, FP&L generation plant to the southeast and various high intensity light fixture poles throughout the port property.

One of the more compelling opportunities presented with this development are the job opportunities and economic growth such a facility will create. They anticipate the creation of approximately 110 jobs (both direct and indirect). These jobs will include site specific roles of management, operators, deckhands, mechanics, truck drivers, etc. Sunstar Logistics is committed to local job opportunities and prefers training new employees to meet the skills and requirements of the positions. They are also committed to providing job fairs within the City to ensure that City residents have an opportunity for employment as a result of this development. They estimate the minimum wage per hour will be higher than the state minimum wage and the Palm Beach County Living Wage. They also offer health benefits, job security and retention with training opportunities to enhance skills and safety in an industrial environment. Where possible, they also seek to contract with local, qualified contractors and suppliers during the construction phase.

Additionally, they have a passion for supporting the communities they operate in through community outreach programs, charitable foundations and job fairs. They believe every individual they interact with, and have the opportunity to impact, is in the area they live and work.

Modern Operation and Controls

Florida Sunstar Logistics plans to invest approximately \$27 million dollars to accommodate the development and operation of this import and storage facility. This facility will be a state-of-the-art modern industrial development that will provide an efficient and environmentally responsible system to ensure the safe transfer, storage and distribution of cement.

The dry cement material is nonexplosive and will be stored at normal atmospheric pressure. It is delivered to the dome via a pneumatic ship unloader located along the dock and will transfer material from shipping vessel to the dome through an underground convey pipe. The site and elevation plans illustrate how the storage structure will be situated on the leased parcel of land. Convey pipes will be installed underground from the dock to the structure. Product will be reclaimed with the aid of a fluidized floor that allows material to flow using pressurized air from the base of the facility through additional pipes and into two smaller silos for transfer into bulker trucks for distribution to the market. All storage and movement of material will be enclosed ensuring product does not have an opportunity to be released into the outside air. A dust collection system ensures 99.5% efficiency rating which complies with industry and

environmental standards. Effectively operating the facility and ensuring that cement does not get released into the air is a basic requirement to be good stewards of the environment but also a requirement for city, state and federal environmental regulations. Florida Sunstar Logistics has decades of experience with other facilities, like this one, operating in the country.

Florida Sunstar Logistics has made a concerted effort to make additional improvements to the structure to compliment the cityscape and make this an inviting iconic landmark. This development also presents an opportunity to welcome people to the City of Riviera Beach, the Port of Palm Beach and the Marina District to the north. The structure renderings (see Exhibit A) illustrate the proposed structure, which enhances the aesthetics and makes for a dramatic view at night along Broadway Ave.

Site Structures:

- **Cement Storage Dome**
 - o Diameter – 127 ft
 - o Height – 150 ft
 - o Capacity – 50,000 tons

- **Truck Loadout Silos (2 silos)**
 - o Diameter – 28 ft
 - o Height – 100 ft
 - o Capacity – 1,000 tons per silo

- **Administrative office**
 - o Size 2,080 SF single story
 - o Construction – Masonry with slab on grade
 - o Serves as office and worker locker room/bathroom
 - o Construction Type – V-B
 - o Occupancy - B
 - o Not sprinkled Per Table 506.2 FBC 2020, Building

- **Equipment Room**
 - o Size – 2,568 sf single story
 - o Construction – Masonry with slab on grade
 - o Houses equipment for dome fluidizer bed, electrical switch gear, etc.
 - o All equipment is housed inside of a permanent structure.
 - o Construction Type – V-B
 - o Occupancy – F-2
 - o Not sprinkled Per Table 506.2 FBC 2020, Building

Site Features:

- **Parking Lot**
 - 64' x 87' (1 handicap plus 15 spaces)
 - 1 space/300 sf office = 7 spaces required
 - Located on existing paving
 - Illuminated per City of Riviera Beach Standards (See Attached Photometric Plan)

- **Paving**
 - The entire site is currently paved for truck traffic. No additional or replacement paving is envisioned at this time other than replacement paving adjacent to newly constructed structures.

- **Lighting**
 - As stated above the parking lot will be illuminated to code. Remainder of site will be illuminated to facilitate night time operations while keeping light spillage to a minimum. (See attached Photometric Plan)

- **Site Grading and Drainage**
 - Site grading to remain unchanged as all site paving (other than at new structures) is to remain.
 - Drainage is handled by on-site and off-site storm drains designed and located per the Port's Master Drainage Plan permitted by the DEP (See attached drainage statement by Port Engineer and associated DEP acceptance of the Port's drainage plan).

- **Landscaping**
 - The Port will not allow landscaping on the subject parcel.
 - Sunstar Logistics will participate with the Port in the ongoing landscaping effort at the perimeter of the Port property.

Utilities:

- **Water**
 - Domestic usage estimated at 15 GPD/employees/shift x 12 employees = 180 GPD.
 - A 1 ½ meter and 1" line to office for domestic use is proposed.
 - Ties into existing Port water system near the southeast corner of the site
 - No industrial water is used in the off-loading and loading of cement.

- **Fire Hydrant**
 - An existing hydrant is located at the south part of the site within a 400 foot radius of the office building

- **Sewer**
 - (same value as water usage)
 - A 6” DIP lateral to a grinder pump and then to a 2” force main to tie into existing Port sewer system to the northwest of the site is proposed.
- **Electric**
 - Underground service to on-site transformer.
 - Service to plant is 2000 Amp. 480 V

Traffic:

- **Pattern**
 - Trucks enter site from Avenue E and exit site under Broadway Ave. overpass.
 - Employees enter and exit site off of East Port Road.
 - All trucks and employees enter and exit the Port at the designated security checkpoint located at the east terminus of MLK. Jr. Blvd.
- **Volume**
 - Estimated at 100 truck trips per day and 70 employee trips per day. (one round trip equals two trips)

Air Pollution:

- **Dust Collection**
 - All aspects of the unloading and loading of the cement is accomplished in a closed and sealed system.
 - All locations where air is exhausted to the outside are protected by dust collectors which are required to be 99.5% efficient, permitted through the Florida Dept. of Environmental Protection and checked yearly to ensure that no dust leakage is occurring.

Accessibility:

- **Industrial Equipment**
 - Meets all access and safety requirements under Florida Fire Prevention Code (FFPC), 7th Edition (2020) consisting of NFPA 101-12 and NFPA 1-12 as amended.

Onsite Fueling: None

EXHIBIT A



Proposed

Proposed

RIVIERA BEACH



FUTURE LAND USE	Existing Use:	Proposed Use:
	Land Use Designation:	Requested Land Use:
	Adjacent Land Uses: North:	South:
	East:	West:
	Size of Property Requesting Land Use Change:	

SPECIAL EXCEPTION	Describe the intended use requiring a Special Exception:
	Provide specific LDR ordinance section number and page number:
	How does intended use meet the standards in the Land Development Code?
	Demonstrate that proposed location and site is appropriate for requested use:
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and neighborhoods:
	Demonstrate any landscaping techniques to visually screen use from adjacent uses:
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:
	Demonstrate how utilities and other service requirements of the use can be met:
	Demonstrate how the impact of traffic generated will be handled:
	On-site:
Off-Site:	
Other:	

VARIANCE	Describe the Variance sought:
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site:
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space:
	Other:

SITE PLAN	Describe proposed development: Facility in the Port for ship unloading, conveyance, storage and truck loading of bulk cement. There will be a related office building, equipment room, silos and employee parking.
	Demonstrate that proposed use is appropriate to site: Use is within the Port area and bulk storage is allowable for IG zoning.
	Demonstrate how drainage and paving requirement will be met: Drainage is handled by on-site and off-site storm drains designed and located per the Port's Master Drainage Plan permitted by the DEP (See attached drainage statement by Port Engineer and associated DEP acceptance of the Port's drainage plan).
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: The Port will not allow landscaping on the subject parcel. Sunstar Logistics will participate with the Port in the ongoing landscaping effort at the perimeter of the Port property.
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: All storage and movement of material will be enclosed ensuring product does not have an opportunity to be released into the outside air. A dust collection system ensures 99.5% efficiency rating which complies with industry and environmental standards. Effectively operating the facility and ensuring that cement does not get released into the air is a requirement for city, state and federal environmental regulations.
	Demonstrate how utilities and other service requirements of the use can be met: Water and sewer will be connected to Port systems.
	Demonstrate how the impact of traffic generated will be handled: On-site: Estimated at 100 truck trips per day and 70 employee trips per day Off-site:

OTHER	COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:
	<ul style="list-style-type: none"> • Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit. • Antenna manufacture cut sheets including antenna size and shape. • Zoning map of area with site clearly marked. • Photos of existing building or tower and surrounding uses. • Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional. • Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop. • Letter of structural capacity and building code compliance. • Notes on plan or letter demonstrating floor area coverage not in excess of restrictions • Provide Photo Enhancements of proposal. • Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

Confirmation of Information Accuracy	
I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.	
<i>Mark Jackson</i> Signature	02/17/2021 Date

AGENT AUTHORIZATION FORM

Owner(s) of Record: Port of Palm Beach District

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Manuel Almira as
Port of Palm Beach Director

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

Legal Description: BIRDSALL INC PL 1 SLY 183.69 FT OF ELY 548.50 FT (LESS BROADWAY SKYPASS FOOTER PARS IN OR12952P318) &
BROADWAY R/W LYG E OF & ADJ TO & 33-42-43, NLY 89.93 FT OF ELY 551.41 FT OF SW 1/4 OF SE 1/4 LYG S OF &
ADJ TO (LESS BROADWAY SKYPASS FOOTER PARS IN OR12952P318) & BROADWAY R/W LYG E OF & ADJ TO
OR 11877 Page 1622, PCN: 56-43-42-33-29-000-0020

the street address of which is: _____

and that we hereby appoint:

Name: Becker Law, Jeremy Shir, Jose Fuentes & Alex Alamo
Address: 1 East Broward Blvd., Suite #1800
Fort Lauderdale, FL 33301
Telephone: 954-364-6028

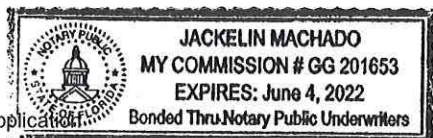
as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest related to Florida Sunstar Logistics Land Use Applications at the City of Riviera Beach

Manuel Almira (Seal)

_____ (Seal)

Sworn to and subscribed before me this 18th day of NOVEMBER, 2020.

Jackelin Machado
Notary Public



SITE PLAN APPROVAL PROCEDURE

Application Information Sheet

STEP 1. PRELIMINARY REVIEW OF SUBMISSION

SIX (6) SETS OF A STAPLED AND FOLDED PACKAGE CONTAINING DRAWINGS TO SCALE AND DIMENSIONED

1. SITE PLAN

- a. Special site plan drawing with information block showing zoning, parking calculations, site area, building coverage, pervious/impervious areas, location map.
- b. Dimensions should include – lot, landscape strips, setbacks, roads, internal circulation areas, building(s), typical parking spaces, dumpster pads/enclosures, sign locations. It should be noted that sign approval requires separate building permit submission.
- c. Provide a digital copy of the site plan drawing with State Plan Coordinates in AutoCAD 2000 (.DWG) or Shapefile (.shp) format.

2. LANDSCAPE PLAN and ENVIRONMENTAL ASSESSMENT

- a. Show compliance with the City of Riviera Beach Land Development Code
- b. Drawings and/or narrative sufficient to describe the relevant flora and fauna which may be on the site. Tree survey may be required.

3. ARTERIAL ROAD DESIGN AND STANDARD

- a. Design standards for all non-residential properties fronting the following roads are required:
 - Dr. Martin Luther King, Jr. Boulevard
 - Old Dixie Highway
 - Blue Heron Boulevard
 - 13th Street
 - Military Trail
 - Congress Avenue
- b. Drawings indicating the appearance standards are required and addressed under Ordinance 2833.
- c. Only one monument sign is permitted per site with maximum square footage of 42 square feet.

4. UTILITY and DRAINAGE PLAN

- a. Conceptual plan, indicating location of lines and tie-ins, proposed hydrants, if applicable
- b. Conceptual plan to include existing and proposed major elevations.
- c. Show easement, existing and proposed.
- d. Show conceptually how retention area will provide treatment for one-hour storm.

5. TRAFFIC ASSESSMENT

- a. If traffic trip generation is under 500 T.P.D. then a properly formulated traffic statement is adequate. Traffic generation above this level will require a traffic engineer prepared traffic study. Provide total ADT (Average Daily Trips) for project [from Traffic Statement, Traffic Study or Table 1 in Sec. 23.AA – 28.3 of Code].

- b. Palm Beach County Traffic Assessment Requirements: Applicant must submit a Traffic Impact Study for Palm Beach County to receive concurrency approval in accordance with Sec. 23-131 of the Palm Beach County Traffic Performance Code.

6. BUILDING ELEVATIONS

- a. Front, rear, and both sides.
- b. Show finishes (color, materials).
- c. Elevators are required to be in color showing building finishes, lighting, canopies, etc. Plans shall have a minimum sheet size of 8 ½ "x 14". Plans larger than 8 ½ "x 14" shall be folded individually. Reduced copies of the site plan on 11" x 17" sheets are required for the City Council. (Note: Plans for submittal to the Planning and Zoning Board and City Council shall be provided after all comments and requirements by staff have been satisfied.

7. FLOOR PLAN

- a. Conceptual (construction details are not necessary).

8. NARRATIVE OR COVER LETTER

- a. Describe project purpose and details of intended use, including phasing and relationship to surrounding area.
- b. Include estimate of employment and student population generated by project, if applicable.

9. CONCURRENCE COMPLIANCE

- a. Traffic Generation: Total ADT (Average Daily Trips) for project [from Traffic Statement, Traffic Study or Table I in Sec. 31-715 of Code]
- b. Sanitary Sewer: Total gallons per day produced by project - [from calculations or Table III in Section 31-717 of Code]
- c. Potable Water: Total gallons per day required by project [from calculation or based on Table II in Section 31-716 of Code]
- d. Drainage: Does project detain on-site the first inch of run-off or run-off from a one-hour storm (3 year)? Note: All developments of one acre or more are required to obtain an NPDES permit prior to obtaining a City Building permit, and provide PPP and BMP plans.
- e. Solid Waste: Total pounds of waste generated per day by project [from calculations or based on Table IV in Section 31-718 of Code]
- f. Recreation: If a residential project, list proposed public recreational or park elements of project (in acres)
- g. School Concurrency: The School Concurrency Application and Service Provider Form must be completed and submitted with this application. Please refer to the attached School Concurrency Application and Service Provider Form for related fees.

STEP 2: DEPARTMENTAL REVIEW, COMMENTS TO APPLICANT AND REVISIONS TO PROJECT

After departmental review (approximately four weeks), the applicant will receive a letter from Community Development outlining department concerns and comments. The departmental review process repeats until staff is satisfied with revisions. Applicant will then provide six (6) full size packages of accordion folded, revised plans. These

must be provided to Staff a minimum of fourteen (14) days prior to the next Planning and Zoning Board Meeting in order to be included on the Agenda. The Board meets the second Thursday of each month. Staff comments to the Board are available for pickup the Monday prior to the Thursday Planning and Zoning Board meeting.

STEP 3: PLANNING AND ZONING BOARD MEETING

Applicant, or agent, **must** be in attendance to present their project and to address concerns of the Planning and Zoning Board. The City will provide a laptop, projector and video screen to be used in the presentation. Applicants intending to use these devices must inform Staff at least three business days in advance of the Planning and Zoning Board meeting. The Board may recommend the City Council approve, approve with conditions, deny, or table the project.

STEP 4: SUBMITTAL FOR COUNCIL MEETING

Any revisions required as a result of the Planning and Zoning Board's conditions, shall be incorporated (by applicant) into the package for submission to the City Council. Six (6) **reduced size copies** on 11" x 17" sheets of the final site plan must then be provided for the City Council agenda along with the other package items a minimum of twenty-one (21) days prior to meeting. The City Council meets the first and third Wednesday of each month.

A complete package for submission to the City Council includes the following items:

1. Uniform Land Use Application
2. Project Narrative
3. Response(s) to Departmental Comments
4. Site Plan
5. Landscape Plan
6. Elevations

Applicants seeking to expedite the approval process should submit revised packages as soon after the Planning and Zoning Board meeting as possible in order to have the project placed on the City Council Agenda.

STEP 5: COUNCIL MEETING

The project then goes before the City Council for decision. Applicant must be in attendance. Applicant will be allowed to make a brief presentation about the project. The City will provide a laptop, projector and video screen to be used in the presentation. Applicants intending to use these devices must inform Staff at least three business days in advance of the City Council meeting. The City Council may approve, approve with conditions, deny, or table the project.

STEP 6: UPON APPROVAL APPLICANT MAY APPLY FOR BUILDING PERMIT

Applicant will be formally notified of decision and any conditions which may be attached. Two (2) folded sets of the approved site plan complying with conditions shall be submitted to the Community Development Department within fifteen (15) days of the Council hearing. Plans must be submitted and approved by the Planning Division before building permits can be issued.

Port Charter Article XII – Section 1.

ARTICLE XII. EMPLOYMENT OF PORT MANAGER, EMPLOYEES, AND CONSULTANTS.— Section 1. Port manager and employees.—The board of commissioners shall have the authority to employ a port manager and to prescribe his or her duties and compensation; however, the manager of the Port of Palm Beach District shall not be a commissioner of the Port of Palm Beach District. The board of commissioners may employ or may authorize the manager to employ agents, clerks, and servants to administer any project under the rules, regulations, directions, and supervision of the port manager or the board and may exact of said manager, agent, clerk, or servant a good and sufficient bond with proper surety thereon to secure the faithful performance of his or her or their duties in an amount and in the form determined by the board.

Port Tariff – Item 526

526 – ENFORCEMENT OF TARIFF The Executive Director shall designate, from time to time, the personnel and methods to be employed in determining compliance with the Tariff and investigating any alleged violations of the Tariff, which methods shall include but not be limited to reviews of the books and records of all Persons who may be subject to the terms of this Tariff. Such inspections shall occur at any time, between the hours of 9:00 AM and 5:00 PM. The District shall be entitled to make copies and retain such documents, books and records, as the District shall deem relevant. All documents, books and records copied shall be subject to the Florida Public Records Act and shall not be returnable to the Person. In addition to other remedies set forth herein (including increased charges under the Tariff), the Executive Director has the authority to impose a \$500 fine for each individual Tariff violation, and/or suspend/revoke a license as determined reasonable by the Executive Director. The sole remedy of an aggrieved person shall be appeal to the Board of Commissioners based upon a Petition filed and heard at the convenience of the Board. The prevailing party in such appeal shall pay all costs of same; however, each party shall bear their own attorneys fees and expert witness fees. If the Board determines that the violation of the Tariff has occurred, the appealing party shall not be considered the prevailing party.

Sections 1 to 3 of Manuel's Employment Agreement . Attached

The Board Item last November 16th authorizing Manuel to negotiate an agreement Attached

**Amendment And Restatement
Of
Employment Agreement**

On this 19th day of November 2015, the PORT OF PALM BEACH DISTRICT, a political subdivision and independent special taxing district of the State of Florida, hereinafter called the "DISTRICT", and MANUEL ALMIRA, hereinafter called the "DIRECTOR", hereby amend and restate, in its entirety, the Employment Agreement dated June 30, 2008, as the same has been amended through the date hereof.

WHEREAS, the DISTRICT acknowledges the DIRECTOR'S significant work and contribution to the management of the Port of Palm Beach and desires to secure the professional services of the DIRECTOR for additional period as set forth herein; and

WHEREAS, it is the desire of MANUEL ALMIRA to accept continued employment as the DIRECTOR pursuant to the contractual terms provided for herein; and

WHEREAS, the DISTRICT and MANUEL ALMIRA agree that this Agreement shall amend, restate and supersede all prior agreements, and be the sole agreement between the Parties.

Section 1 EMPLOYMENT.

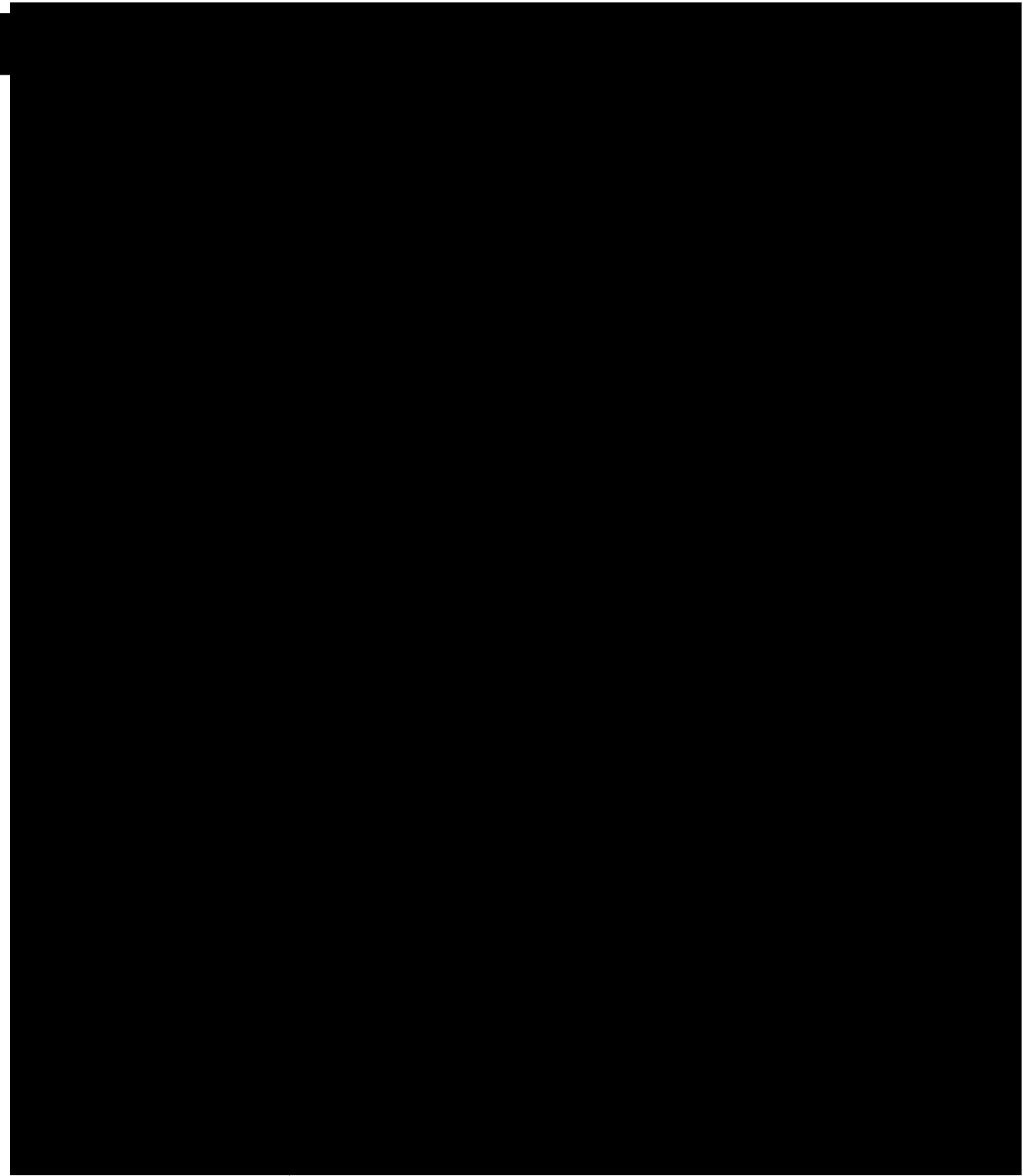
Port of Palm Beach District hereby renews the employment of Employee as the PORT OF PALM BEACH DISTRICT Executive Director (nominally "Port Manager", under the Charter of the District, and referred to as "Port Director" in the District's Policy and Procedure Manual) and the Employee hereby accepts such employment upon the terms and conditions hereinafter set forth.

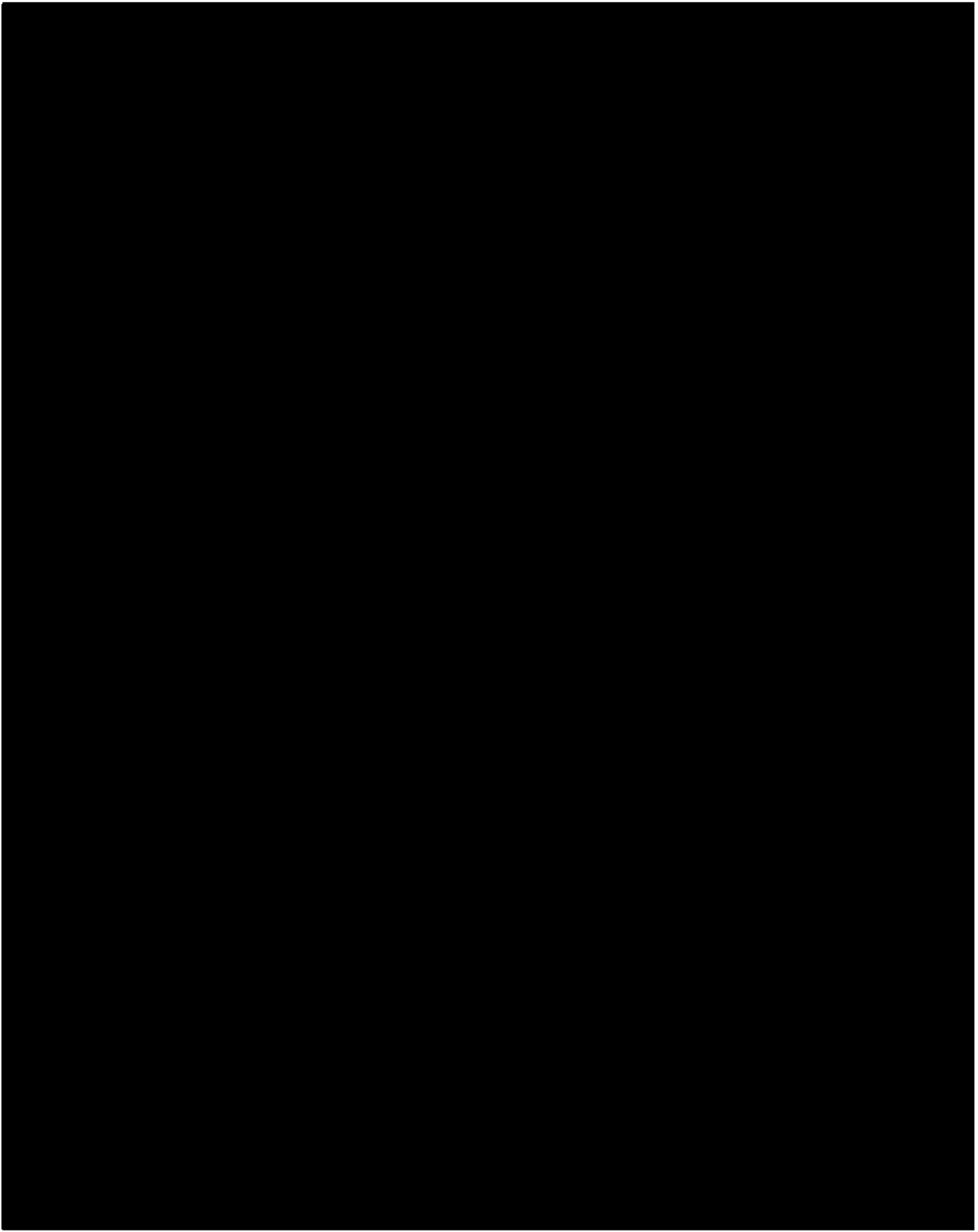


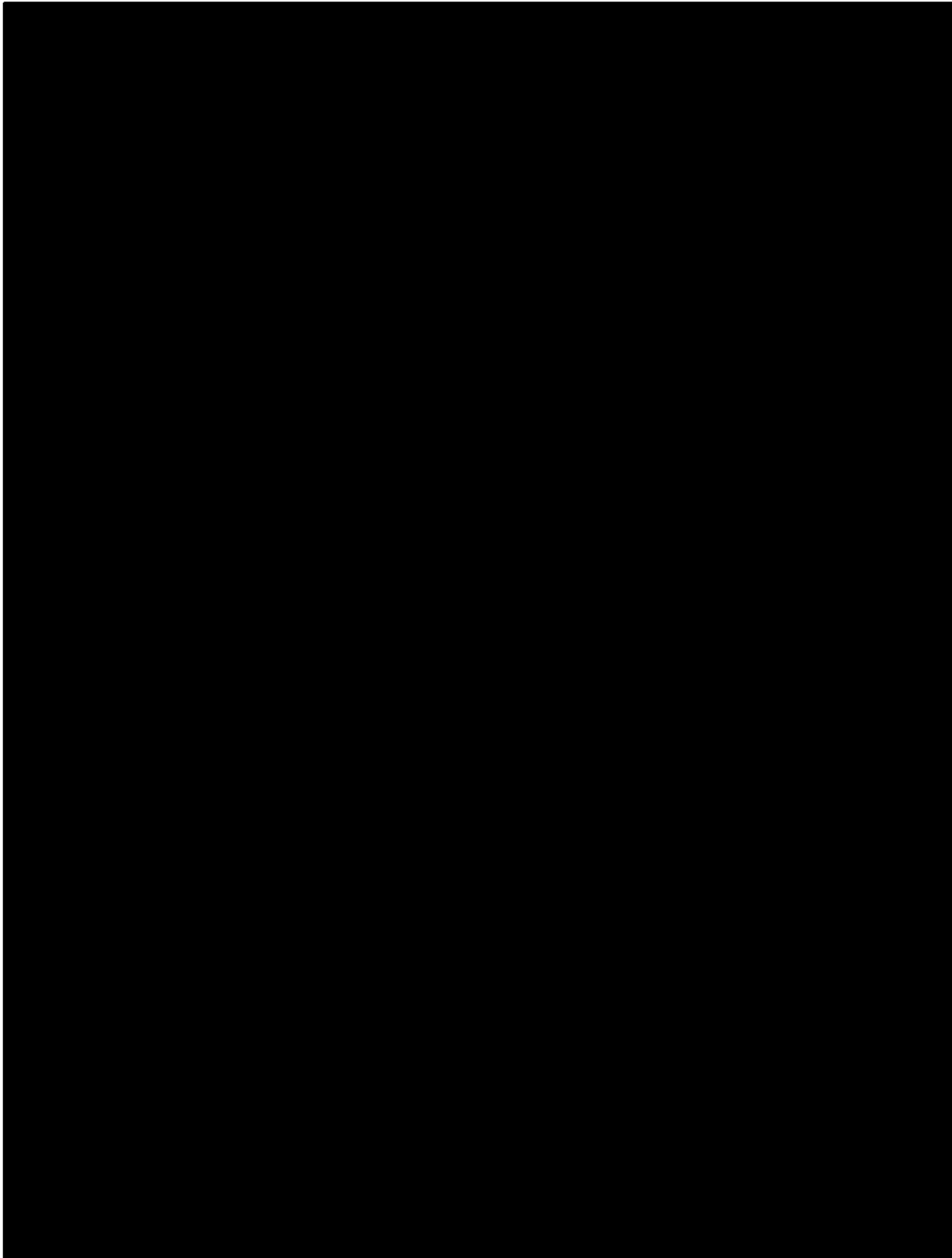
Section 3 DUTIES.

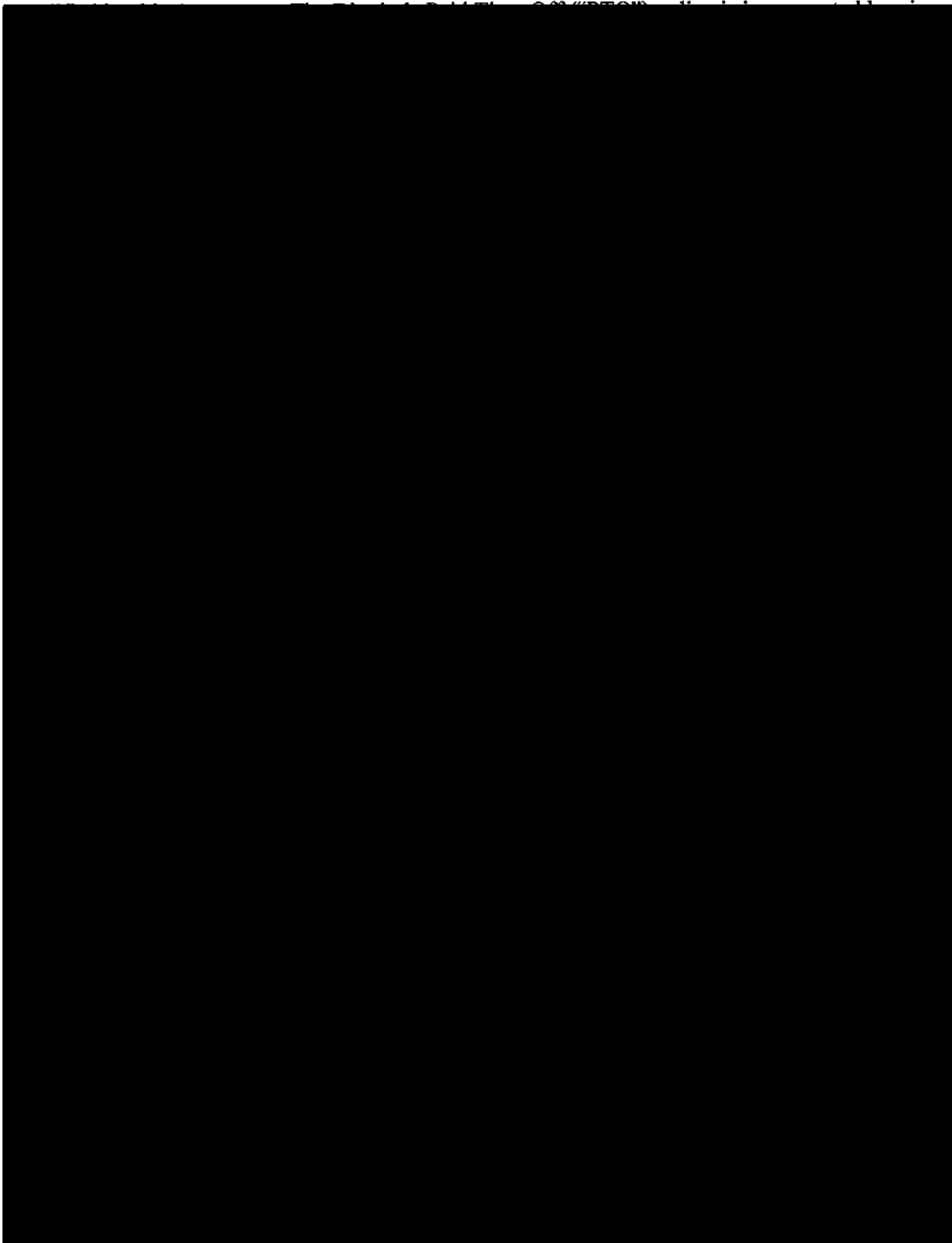
During the period of employment hereunder, Employee shall devote full time and efforts to the best business interests and affairs of the District, by serving as Executive Director of the District, and perform such services not inconsistent with the Employee's position as shall be designated by the Board, and those set forth, as may be amended from time to time, in the District's Policy and Procedure Manual, which Manual Employee represents he has reviewed prior to execution of this Agreement, all of the foregoing within the fiscal constraints of the District's Operating Budget. The District's Policy and Procedure Manual imposes a variety of

duties and responsibilities upon the Executive Director, including, at this time, those set forth on attached Exhibit A.









WITNESSES:

AL LP
Printed Name of Witness: Amanda LePore

Jacelin Machado
Printed Name of Witness: JACELIN MACHADO

DISTRICT:
PORT OF PALM BEACH DISTRICT

BY [Signature]

EMPLOYEE:

Janet L. Long
Printed Name of Witness: JANET L. LONG

Manuel Almira
Manuel Almira

Tracy Carey
Printed Name of Witness: TRACY CAREY

STATE OF FLORIDA]
COUNTY OF PALM BEACH]

The foregoing instrument was acknowledged before me this 9th day of November, 2015 by BLAIR J. CIMMUN, who is personally known to me or who produced Florida Driver's license _____ as identification, as _____ of PORT OF PALM BEACH DISTRICT, a Political Subdivision of the State of Florida.

[SEAL]

Annette Harakas
NOTARY PUBLIC
My commission expires:

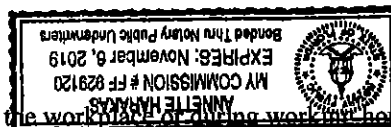


STATE OF FLORIDA]
COUNTY OF PALM BEACH]

The foregoing instrument was acknowledged before me this 19th day of November 2015 by Manuel Almira, who is personally known to me or produced Florida Driver's license as identification.

[SEAL]

Annette Savakas
NOTARY PUBLIC
My commission expires:



- ⁱ (29) "Misconduct," irrespective of whether the misconduct occurs at the workplace or during work hours, includes, but is not limited to, the following, which may not be construed in pari materia with each other:
- (a) Conduct demonstrating conscious disregard of an employer's interests and found to be a deliberate violation or disregard of the reasonable standards of behavior which the employer expects of his or her employee. Such conduct may include, but is not limited to, willful damage to an employer's property that results in damage of more than \$50, or theft of employer property or property of a customer or invitee of the employer.
 - (b) Carelessness or negligence to a degree or recurrence that manifests culpability or wrongful intent, or shows an intentional and substantial disregard of the employer's interests or of the employee's duties and obligations to his or her employer.
 - (c) Chronic absenteeism or tardiness in deliberate violation of a known policy of the employer or one or more unapproved absences following a written reprimand or warning relating to more than one unapproved absence.
 - (d) A willful and deliberate violation of a standard or regulation of this state by an employee of an employer licensed or certified by this state, which violation would cause the employer to be sanctioned or have its license or certification suspended by this state.
 - (e) 1. A violation of an employer's rule, unless the claimant can demonstrate that:
 - a. He or she did not know, and could not reasonably know, of the rule's requirements;
 - b. The rule is not lawful or not reasonably related to the job environment and performance; or
 - c. The rule is not fairly or consistently enforced.
 - 2. Such conduct may include, but is not limited to, committing criminal assault or battery on another employee, or on a customer or invitee of the employer or committing abuse or neglect of a patient, resident, disabled person, elderly person, or child in her or his professional care.

Board of Commissioners Agenda Item Report

Meeting Date: November 16, 2020

Submitted by: Paul Zielinski

Submitting Department: Executive Office

Item Type: Agreement

Agenda Section: NEW BUSINESS

Subject:

Lease and Operating Agreement - Florida Sunstar Logistics, LLC

Background:

Port staff has been working with Florida Sunstar Logistics, LLC (Sunstar) for the past year in an effort to determine the feasibility of importing, storing and distributing a bulk building commodity at the Port of Palm Beach. Essential to Sunstar's ability to operate at the Port is the need to build a storage facility whose height exceeds the current parameter included in the City of Riviera Beach's City Code. After months of discussions with the City, Sunstar is now prepared to formally seek approval for a site specific Text Amendment that would allow them to construct the required facility. To facilitate this effort the Port needs to execute the Agent Authorization Form that is part of their Uniform Land Use Application that accompanies their request of the City. While Port staff fully supports Sunstar's operating proposal, the Agent Authorization Form confirms our support of their Text Amendment request but does not bind us to reach an operating agreement with them. Upon successful negotiation and execution of a Lease and Operating Agreement, Sunstar will be investing over \$20.0 million into the Port Infrastructure to accommodate their business needs.

Financial Impact:

Yes

Financial Impact Details:

Subject to final negotiations, it is estimated that upon full operation, the new tenant would be generating approximately \$650,000 per year in Revenue for the Port.

Additional Information Attached:

Yes

Action Taken

Approved 4/0 (BJC/KMW)

Comments from the public (2)

Suggested Action:

The Board of Commissioners are requested to approve the Proposed Lease and Operating Agreement Term Sheet and direct the Executive Director to both commence negotiations and to execute the Agent Authorization Form allowing the Florida Sunstar Logistics LLC to seek a Text Amendment to the City of Riviera Beach Code that would allow them to construct the bulk material holding facility required for them to operate at the Port.

Attachments:

[Term Sheet \(Signed\)](#)

[Schedule A](#)

Schedule B (Signed)

Correspondence to City of Riviera Beach Ref: FL Sunstar Logistics

POPB Agent Authorization

**FLORIDA SUNSTAR LOGISTICS
PROPOSED TERM SHEET
NOVEMBER 2020**

All contents of this term sheet are for discussion purposes only, is nonbinding and should not be considered agreed upon until such time as a final Lease and Operating Agreement is approved and executed by the Port of Palm Beach Board of Commissioners and by Florida Sunstar Logistics LLC.

Type: Lease & Operating Agreement

Contingencies: A. Written approval by Riviera Beach to allow tenant to construct bulk inventory facility acceptable to the tenant and Port by March 1, 2021.

B. Receipt of construction permits and notice to proceed from all necessary authoritative bodies including, but not limited to, the Port of Palm Beach and the City of Riviera Beach

C. If rail service is desired by tenant then an agreement will be reached to provide Parcel A with rail service including cost sharing by tenant Terms to be negotiated

Lease Terms: Property(s)/Rates:
Land Parcel as per Schedule A attached represents approximately 3.65 acres.
Rate of \$2.00/ Square Foot
No leasehold mortgage will be permitted

Rent: Monthly rents due upon signing and on the first day of each agreement month for each year

Board Approval: To be Determined

Commence: To be Determined

Term: 20 Year Initial Term – Two 10 year extensions negotiated at time of notification of intent to extend agreement

CPI Increases: Annual CPI increase to be negotiated

Utilities: Electric – Tenant responsible if needed
Water/Sewer – Tenant responsible if needed

Sales Taxes: Tenant

Property Taxes: Tenant – 1/12th billed monthly

**FLORIDA SUNSTAR LOGISTICS
PROPOSED TERM SHEET
NOVEMBER 2020**

Insurance: Tenant - 1/12th billed monthly

Cargo: Bulk Cargo

Tonnage Guarantee: Per Schedule B as attached (May be subject to further negotiations)

Annual Tonnage Guarantees cannot be satisfied solely by meeting the financial obligation. Actual shipments are imperative to the Port and will be clearly addressed during negotiations.

Bulk Cargo Rates: Minimum Tonnage Guarantee at then Current Tariff for Wharfage, Terminal Fee and Security Fee

Incentive Rates: Once Tenant reaches Minimum Tonnage Guarantee, the Port will provide a discount, to be negotiated, from tariff on Wharfage charges

Transportation: Inbound cargo via: ship/barge; outbound cargo via: truck or rail
All inbound commodities coming into the Port by means other than by water will be considered non-waterborne goods and will be charged as waterborne cargo per then current Port tariff.

Vessel Rates: Dockage, Security on Dockage and Harbor Master Fee will be assessed "as per then current tariff" other than indicated herein.

Other Port Rates As Appropriate: (Example, water, shore power, etc.)
All other charges will be billed as per then current tariff.

Agent & Stevedore: Tenant will be required to appoint a Port of Palm Beach licensed agent and stevedore; or apply to act as their own and meet standard bonding requirements.

**FLORIDA SUNSTAR LOGISTICS
PROPOSED TERM SHEET
NOVEMBER 2020**

Leasehold Improvements and Use Thereof:

All Improvement Costs will be the responsibility of Florida Sunstar Logistics

All improvements to the leased premises and to port property must be approved by the Port in its sole discretion and will require a Port Engineers permit, and all local, state and/or federal requirements including but not limited to engineering, zoning, land use, environmental, permitting, fire safety and residential.

Tenant will be responsible to clean commodity spills on both leased and port property.

Security Deposit:

A security deposit will be required upon signing of agreement. This amount and terms will be determined during agreement negotiations.

The current Reservation Fee of \$50,000 will remain during the time of negotiations. Upon successful negotiations, and subsequent to the contract execution, the Reservation Fee will be deducted from the negotiated Security Deposit required. If lease and Operating Agreement cannot be successfully reached, or the necessary permits not approved, then the Reservation Fee will be refunded to Florida Sunstar Logistics

Note: The Port of Palm Beach is a Marine Terminal Operator under the Federal Shipping Act (46 USC Chapter 403) and does not enter into agreements that constitute exclusive, preferential, or cooperative working arrangements, or which violate State or Federal Anti-Trust statutes.



Signature

11/4/20

Date

FLORIDA SUNSTAR LOGISTICS LLC.

SCHEDULE A



SCHEDULE B



**FLORIDA SUNSTAR LOGISTICS, LLC.
PROPOSED TERM SHEET
NOVEMBER 2020**

MINIMUM TONNAGE GUARANTEE

Tonnage Guarantee commences the earlier of the first of the month of the first full month of operation or the first day of month 25 after execution of the Operating Agreement

<u>Production Year</u>	<u>Twelve Month Shipment Guarantee in S/T</u>
1	90,000
2	150,000
3	150,000
4	170,000
5	190,000
6	190,000
7	220,000
8	240,000
9-20	250,000

Minimum Tonnage Guarantee maybe subject to further negotiations. Minimum Tonnage Guarantee for Renewal Periods to be negotiated prior to exercise of Renewal Option

Annual Tonnage Guarantees cannot be satisfied solely by meeting the financial obligation. Actual shipments are imperative to the Port and will be clearly addressed during negotiations.



Board of Commissioners

Joseph D. Anderson
Blair J. Ciklin
Jean L. Enright
Wayne M. Richards
Katherine M. Waldron

Executive Director

Manuel Almira, PPM®

November 5, 2020

Jonathan Evans
Riviera Beach City Hall
600 W. Blue Heron Blvd
Riviera Beach, FL 33404

Mr. Evans,

Port staff has been in negotiations with senior members of Florida Sunstar Logistics, LLC, to establish an importation and distribution site at our Port. Their cement product, which is vital to the growing construction industry in South Florida, will generate much-needed Port revenue and create local jobs.

Florida Sunstar Logistics, LLC, is committed to operating a clean and safe operation here at the Port. Their commitment to establishing an aesthetically pleasing landmark facility is further evidence of their pledge to launch this project at the Port, which is located in the city of Riviera Beach.

Their plans call for a long-term economic opportunity for both of our entities. I'm sure you agree with me that the experience in dealing with Florida Sunstar Logistics' leadership has been very positive.

For the reasons mentioned above, I support this project. I'm also willing to provide any backing needed to make their request and project a success.

Sincerely,

Manuel Almira, PPM
Executive Director
Port of Palm Beach District

AGENT AUTHORIZATION FORM

Owner(s) of Record: Port of Palm Beach District

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Manuel Almira as
Port of Palm Beach Director

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

Legal Description: BIRDSALL INC PL 1 SLY 183.69 FT OF ELY 548.50 FT (LESS BROADWAY SKYPASS FOOTER PARS IN OR12952P318) &
BROADWAY R/W LYG E OF & ADJ TO & 33-42-43, NLY 89.93 FT OF ELY 551.41 FT OF SW 1/4 OF SE 1/4 LYG S OF &
ADJ TO (LESS BROADWAY SKYPASS FOOTER PARS IN OR12952P318) & BROADWAY R/W LYG E OF & ADJ TO
OR 11877 Page 1622, PCN: 56-43-42-33-29-000-0020

the street address of which is: _____

and that we hereby appoint:

Name: Becker Law, Jeremy Shir, Jose Fuentes & Alex Alamo
Address: 1 East Broward Blvd., Suite #1800
Fort Lauderdale, FL 33301
Telephone: 954-364-6028

as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest related to Florida Sunstar Logistics Land Use Applications at the City of Riviera Beach

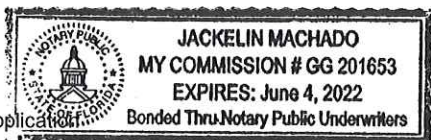
Manuel Almira (Seal)

(Seal)

(Seal)

Sworn to and subscribed before me this 18th day of NOVEMBER, 2020.

Jackelin Machado
Notary Public





Board of Commissioners

Joseph D. Anderson
Blair J. Ciklin
Jean L. Enright
Wayne M. Richards
Katherine M. Waldron

Executive Director
Manuel Almira, PPM®

February 12, 2021

Mr. Mark Jackson
Sunstar Logistics

Mr. Jackson,

This is to confirm our conversation relating to property line setback within the Port of Palm Beach District.

On interior areas including leased parcels, there is no requirement of any designated setback from your lease limits. Any required setback or distances between adjacent operations are taken into consideration by the limits of the lease boundaries, and review of any proposed improvements by the Port of Palm Beach.

No additional setbacks are required on the limits of your lease with the Port of Palm Beach, based on your approved plans.

Sincerely,

Ron Coddington, P.E.
Port Engineer



Board of Commissioners

Joseph D. Anderson
Blair J. Ciklin
Jean L. Enright
Wayne M. Richards
Katherine M. Waldron

Executive Director
Manuel Almira, PPM®

March 16, 2021

Mr. Mark Jackson
Florida Sunstar Logistics

RE: Tenant notification

Dear Mr. Jackson

In accordance with your request of confirmation of notification to port tenants regarding the Site Plan and proposed improvements at the Port of Palm Beach, The Port of Palm Beach considers the January public board meeting and presentation by Florida Sunstar Logistics to the Port of Palm Beach Board of Commissioners and tenants, to be proper notice.

The parcels within the affected area include Birdsall, Inc. Parcel 8 (SR710), Birdsall, Inc. Remainder Parcel, Birdsall, Inc. Parcels 7,8,&10; Florida Molasses Parcel, and Birdsall, Inc. 3.0 acre parcel.

To date we have heard no negative comments or any concerns on the proposed project from any port tenants or the public at large.

The Port of Palm Beach looks forward to a long business relationship that benefits the Port of Palm Beach and the residents of the City of Riviera Beach.

Sincerely,

Ronald J. Coddington, P.E.
Port Engineer
Port of Palm Beach

LEGAL DESCRIPTION

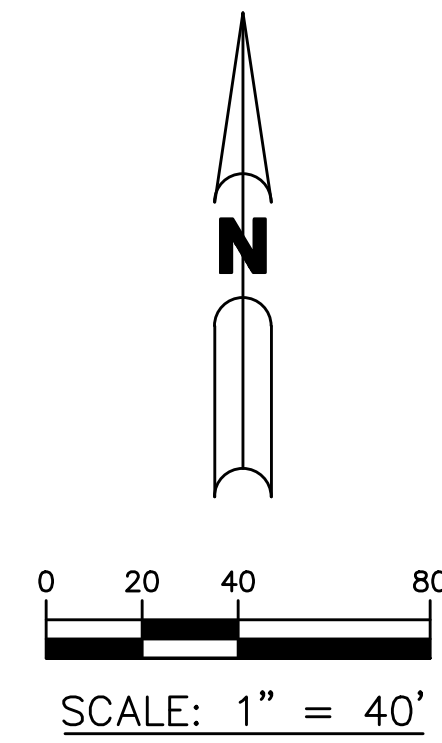
A PARCEL OF LAND IN SECTION 33, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, LYING PARTIALLY IN BIRDSALL INC. PLAT 1, RECORDED IN PLAT BOOK 68, PAGE 188, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID PLAT; THENCE ALONG THE SOUTH BOUNDARY OF SAID PLAT, N88°47'02"W FOR 575.39 FEET TO THE POINT OF BEGINNING;
 THENCE N00°31'15"E FOR 141.65 FEET TO THE NORTH BOUNDARY OF SAID PLAT;
 THENCE ALONG SAID NORTH BOUNDARY S88°26'17"E FOR 481.47 FEET;
 THENCE S01°33'43"W FOR 19.00 FEET;
 THENCE S88°26'17"E FOR 268.11 FEET;
 THENCE S89°44'21"W FOR 96.38 FEET;
 THENCE N83°47'16"W FOR 55.70 FEET;
 THENCE N89°00'36"W FOR 463.52 FEET;
 THENCE N00°31'15"E FOR 45.95 FEET TO THE POINT OF BEGINNING.

CONTAINING 172,759 SQUARE FEET (3.966 ACRES), MORE OR LESS.

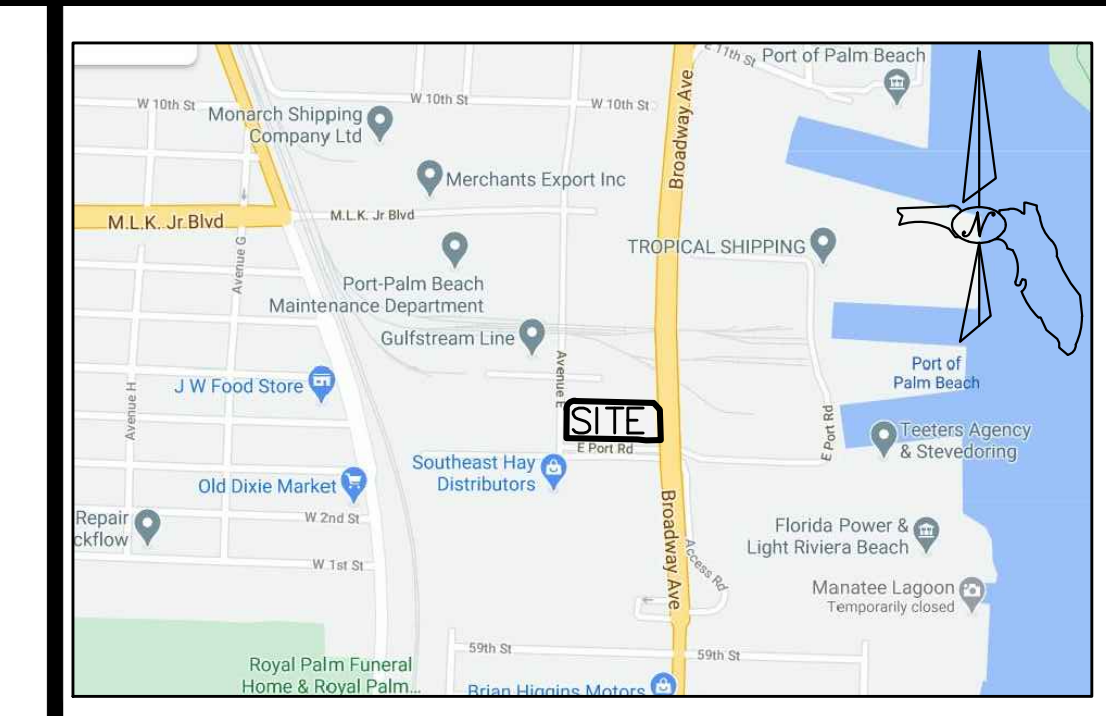
LEGEND

BENCHMARK	⊕
BOLLARD	●
CANNISTER	⊗
ELECTRIC BOX	⊞
TELEPHONE BOX	⊞
TEST HOLE	⊕
CATCH BASIN	⊞
FIRE HYDRANT	⊕
MANHOLE SANITARY	⊞
MANHOLE DRAINAGE	⊞
MONITOR WELL	⊞
SIGN	⊞
WATER METER	⊞
WATER VALVE	⊞
ASPHALT	▭
CONCRETE	▭
FOUND NAIL & DISK (BROWN & PHILLIPS)	⊕

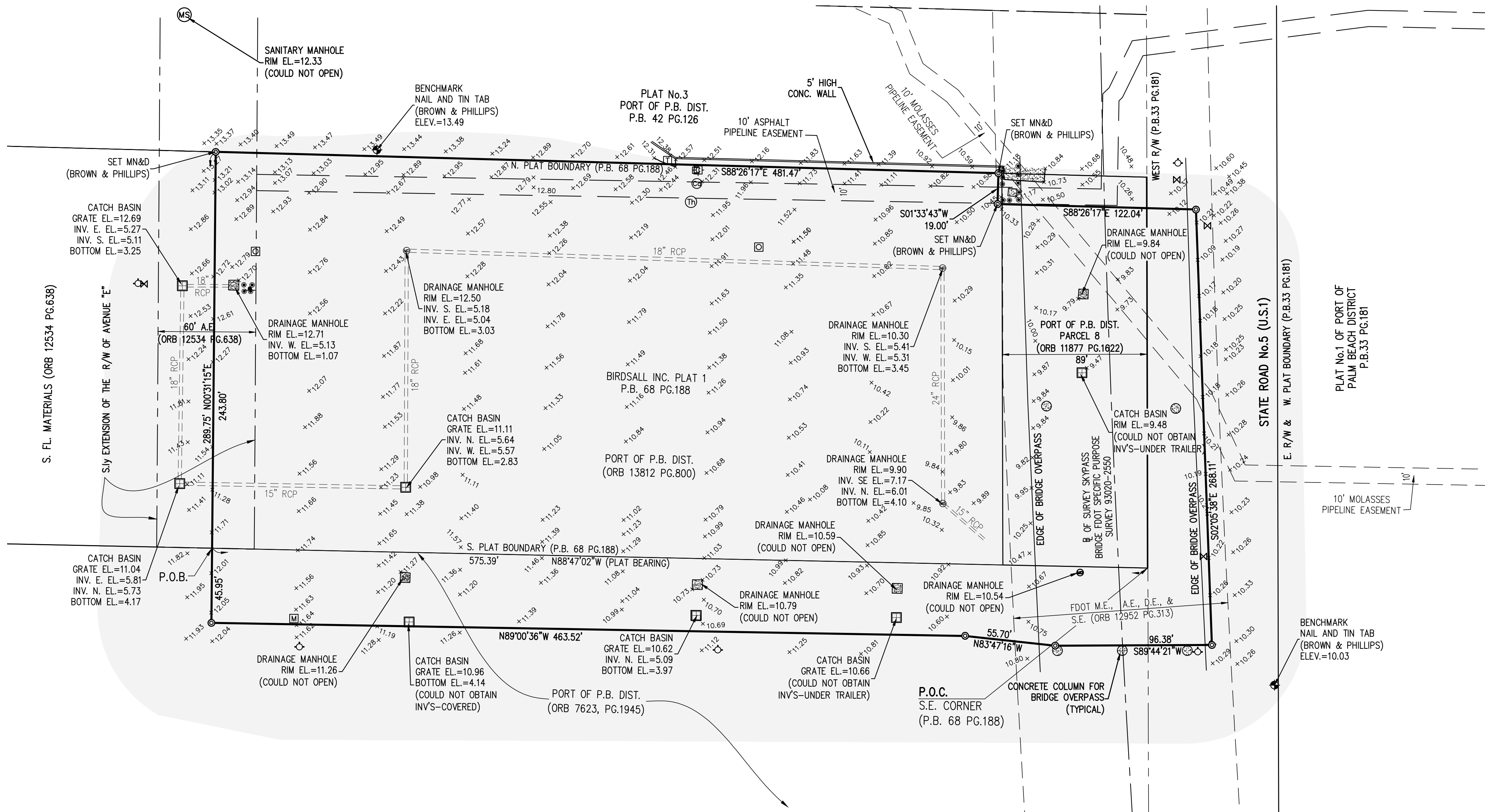


ABBREVIATIONS:
 P.O.C. - POINT OF COMMENCEMENT
 P.O.B. - POINT OF BEGINNING
 P.B. - PLAT BOOK
 ORB - OFFICIAL RECORD BOOK
 PG. - PAGE
 A.E. - ACCESS EASEMENT
 D.E. - DRAINAGE EASEMENT
 M.E. - MAINTENANCE EASEMENT
 S.E. - STRUCTURE EASEMENT
 NAD - NORTH AMERICAN DATUM
 EL. - ELEVATION

R/W - RIGHT-OF-WAY
 CL - CENTERLINE
 BL - BASELINE
 R - RADIUS
 Δ - CENTRAL ANGLE
 A - ARC LENGTH
 SEC. - SECTION
 FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION
 P.B. DIST. - PALM BEACH DISTRICT



VICINITY MAP
NOT TO SCALE



SURVEY REPORT:

- THIS IS A SPECIFIC PURPOSE SURVEY, PREPARED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THE STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17.051 THROUGH 5J-17.053, FLORIDA ADMINISTRATIVE CODE.
 THE FIELD WORK WAS COMPLETED ON JANUARY 26, 2021.
- THE SURVEY WAS BASED ON A LEGAL AND SKETCH PREPARED BY THIS OFFICE AND DIRECTIONS FROM THE PORT OF PALM BEACH.
- BEARINGS ARE BASED ON N88°47'02"W (ASSUMED) ALONG THE SOUTH PLAT BOUNDARY OF BIRDSALL INC. PLAT 1 RECORDED IN PLAT BOOK 68, PAGE 188 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
- THE LEGAL DESCRIPTION WAS PREPARED BY BROWN & PHILLIPS, INC.
- AREA = 172,759 SQUARE FEET (3.966 ACRES), MORE OR LESS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
 NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY BROWN & PHILLIPS, INC.
 THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY.
- THIS SURVEY WAS PREPARED FOR THE SPECIFIC PURPOSE OF GRAPHICALLY DEPICTING THE FEATURES WITHIN THE PROPOSED LEASE AREA.
- SOME TOPOGRAPHIC FEATURES MAY BE EXAGGERATED IN SCALE FOR CLARITY. THE CENTER OF THE SYMBOL OF SUCH FEATURES IS THE CORRECT LOCATION.
- NO UNDERGROUND UTILITIES OR FOUNDATIONS WERE LOCATED.
- ELEVATIONS SHOWN HEREON ARE IN NORTH AMERICAN VERTICAL DATUM 1988, AND ARE REFERENCED PALM BEACH COUNTY BENCHMARK "REDEYE", ELEVATION=5.73.
- "x" DENOTES SPOT ELEVATION, REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- THE CONTRACTED PURPOSE OF THIS SURVEY IS FOR THE LEASE OF PROPERTY.
 THIS SURVEY IS NOT VALID FOR ANY OTHER USE.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY WAS PREPARED FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE: - PORT OF PALM BEACH DISTRICT
 THE USE OF THE DATA SHOWN HEREON BY ANY OTHER PARTY SHALL BE AT THE RISK OF THE USER.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=40', ON A 24"x 36" SHEET.
- © COPYRIGHT 2021 BY BROWN & PHILLIPS, INC.
 REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND STAMP, OR A DIGITALLY VERIFIED ELECTRONIC SIGNATURE AND SEAL, OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY BROWN & PHILLIPS, INC.

BROWN & PHILLIPS, INC.
 PROFESSIONAL SURVEYING SERVICES
 CERTIFICATE OF AUTHORIZATION # LB 6473
 1860 OLD OKEECHOBEE ROAD, SUITE 509, WEST PALM BEACH, FLORIDA 33409 561-615-3988

DATE	REVISIONS	#
1-5-21	REVISED NOTE #10	1
2-2-21	REVISED BOUNDARY	2
2-11-21	ADDED FEATURES	3

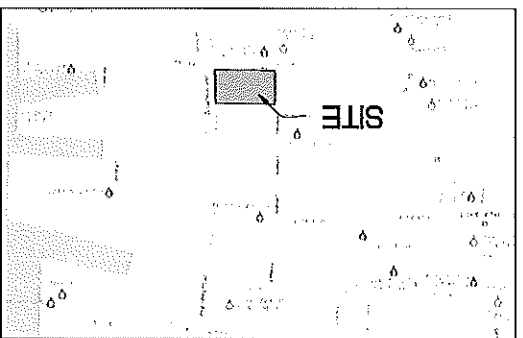
SKETCH OF SPECIFIC PURPOSE SURVEY

PORT OF PALM BEACH PROPOSED LEASE AREA SE CORNER BIRDSALL PLAT 1 - 3.9 ACRES

DRAWN: DKN
 CHECKED: JEP
 F.B. PPB #6
 PAGES: 45-49

PROJ. No. 20-103
 SCALE: 1"=40'
 DATE: DEC. 2020
 SHEET 1 OF 1

JOHN E. PHILLIPS III
 PROFESSIONAL LAND SURVEYOR
 STATE OF FLORIDA No. 4826
 DATE:



SITE DATA

EXISTING LAND USE	INDUSTRIAL
PCN#	56-45-42-33-28-000-0020
OVERALL SITE AREA	3.97 ACRES (172,933 SQ. FT.)
MAX. PROPOSED BUILDING HEIGHT	190.0'
PARKING REQUIRED	7 SPACES (1 SP/300 S.F. OFFICE)
PARKING PROVIDED	16 SPACES
HANDICAP REQUIRED	1 SPACE
HANDICAP PROVIDED	HANDICAP PROVIDED

LEGEND DATA:

- EXISTING DATA
- PARKING REQUIRED
- HANDICAP REQUIRED
- HANDICAP PROVIDED

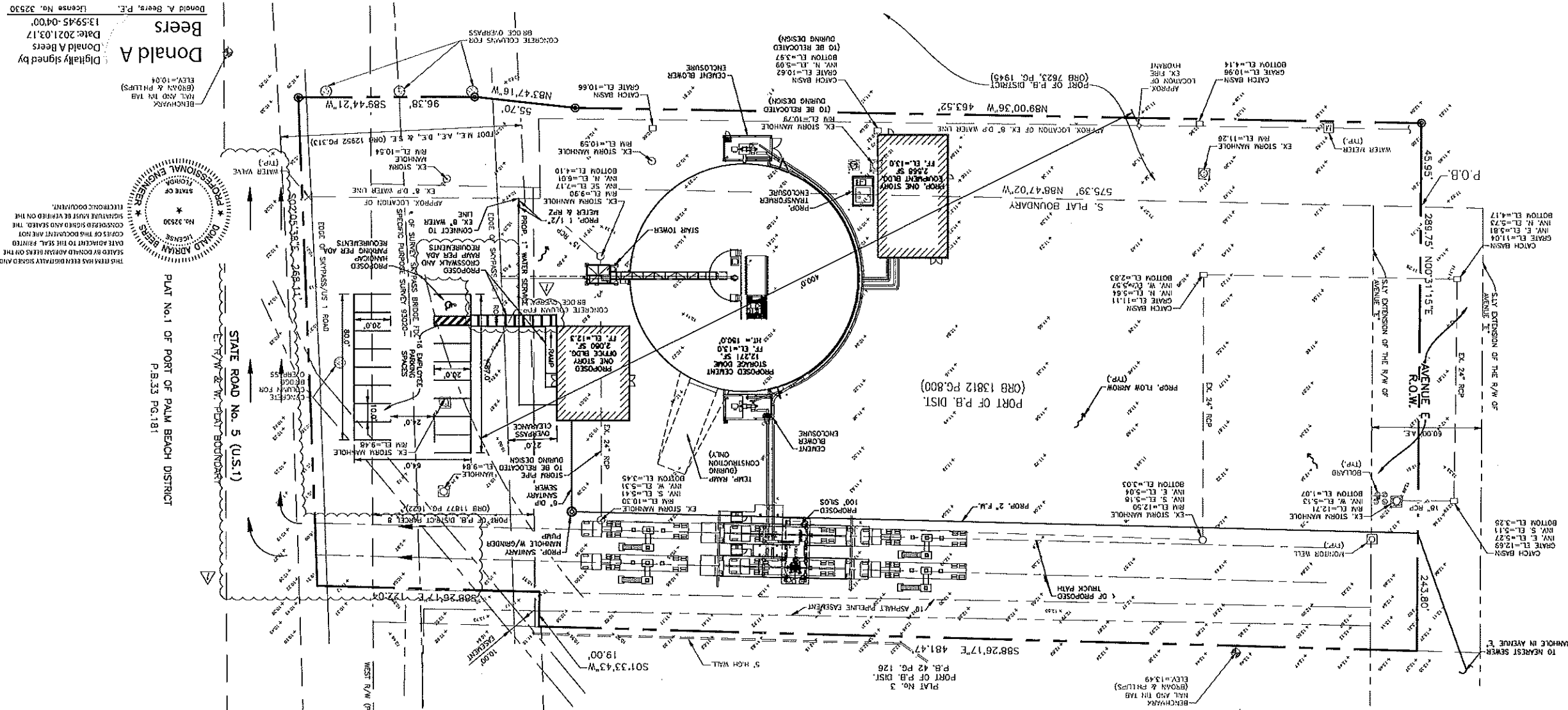
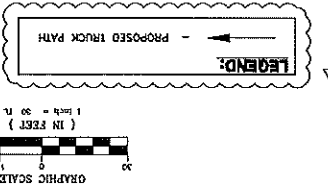
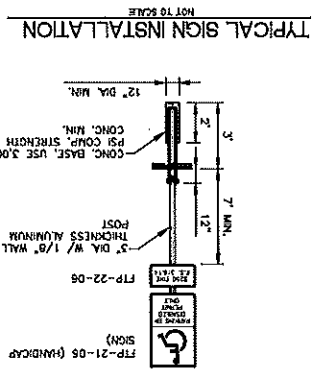
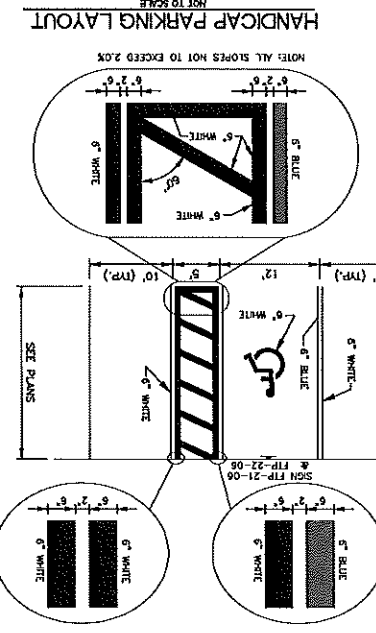
LEGAL DESCRIPTION (PROVIDED BY BROWN & PHILLIPS, INC.)

A PORTION OF LAND IN SECTION 23, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, FORMERLY DESCRIBED AS FOLLOWS:

CORNER AT THE SOUTHWEST CORNER OF SAID PLAT; THENCE ALONG THE SOUTH BOUNDARY OF SAID PLAT, N88°47'02"W FOR 575.39 FEET TO THE POINT OF BEGINNING; THENCE N0°31'15"E FOR 141.65 FEET TO THE NORTH BOUNDARY OF SAID PLAT; THENCE S01°33'03"W FOR 18.00 FEET; THENCE S88°26'17"E FOR 481.47 FEET; THENCE ALONG SAID NORTH BOUNDARY S88°26'17"E FOR 481.47 FEET; THENCE S01°33'03"W FOR 18.00 FEET; THENCE S88°26'17"E FOR 268.11 FEET; THENCE S08°44'21"W FOR 90.20 FEET; THENCE N83°47'16"W FOR 83.70 FEET; THENCE S08°44'21"W FOR 83.70 FEET; THENCE N89°00'58"W FOR 45.95 FEET; THENCE N0°31'15"E FOR 45.95 FEET TO THE POINT OF BEGINNING, CONTAINING 172,799 SQUARE FEET (3.966 ACRES), MORE OR LESS.

LEGEND:

- PROPOSED TRUCK PATH



Donald A. Beers, P.E.
 License No. 32530
 Date: 2021.03.17
 13:59:45-04:00

Digitally signed by Donald A. Beers
 (DN: cn=Donald A. Beers, o=Brown & Phillips, email=donald@brownandphillips.com, c=US)

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DONALD ADRIAN BEERS, PROFESSIONAL ENGINEER, LICENSE NO. 32530, STATE OF FLORIDA. ANY ALTERATION TO THIS DOCUMENT AFTER THE DATE ADJACENT TO THE SEAL, PRINTED HEREON, SHALL BE VOID AND THE SEAL SHALL BE CONSIDERED VOID AND VOID ON THE ELECTRICAL DOCUMENT.

Sheet C1 of C2

Project: 19-025

Revisions:

No.	Description	Date
1	3/16	3/17/2021
2	3/16	3/17/2021
3	3/16	3/17/2021
4	3/16	3/17/2021
5	3/16	3/17/2021
6	3/16	3/17/2021
7	3/16	3/17/2021
8	3/16	3/17/2021
9	3/16	3/17/2021
10	3/16	3/17/2021

SUNSTAR LOGISTICS

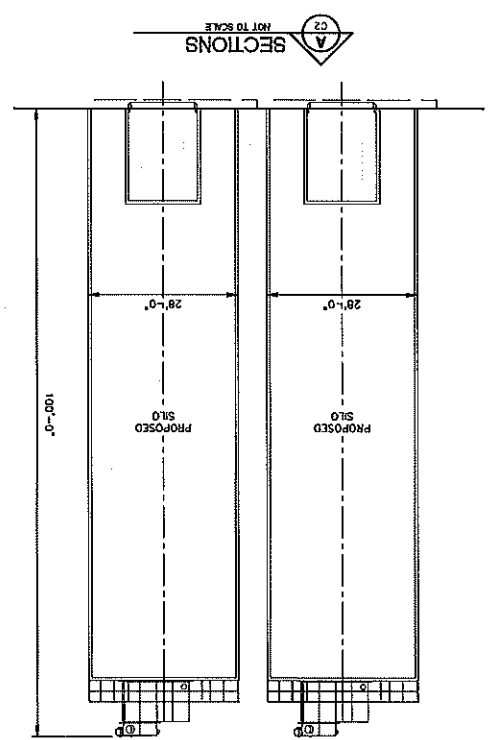
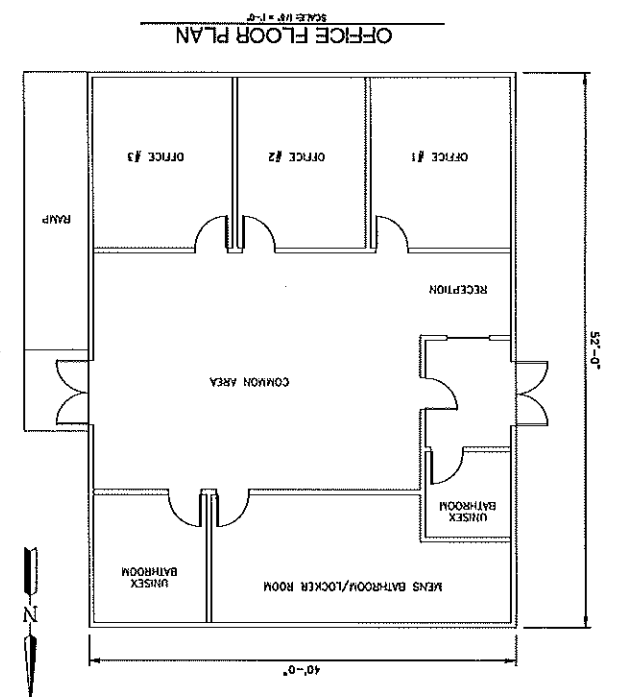
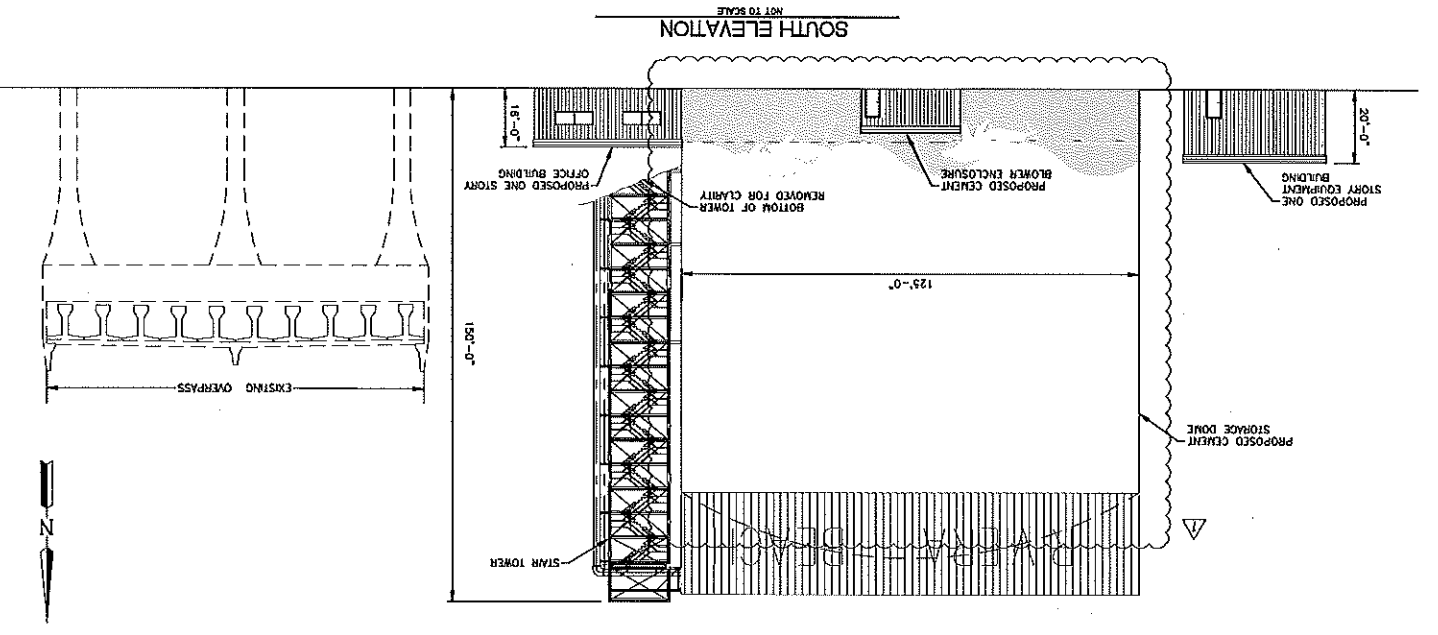
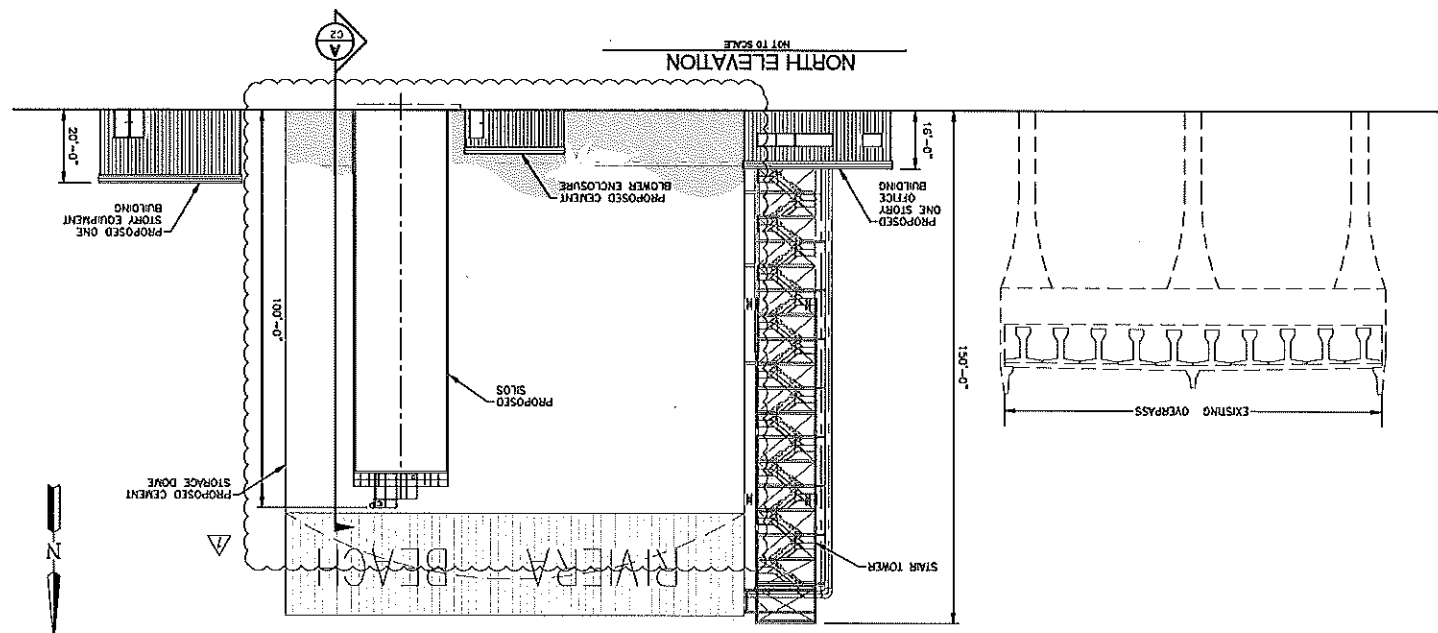
SITE PLAN

Alan Gerwig & Associates, Inc.
 12738 W. Forest Hill Blvd., Suite 201
 Wellington, FL 33414
 CA #7398

Civil and Structural Engineers

PH: (981) 792-9000
 FX: (981) 792-9901

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Donald A. Beers, P.E. License No. 28230

Sheet C2 of C2

Proj. No. 19-025

3/11/2021

Rev.	Date	By	Notes
1	3/18	RM	AVG
2			
3			
4			
5			
6			
7			
8			
9			
10			

REVISIONS

REVISED PER CITY COMMENTS

SUNSTAR LOGISTICS

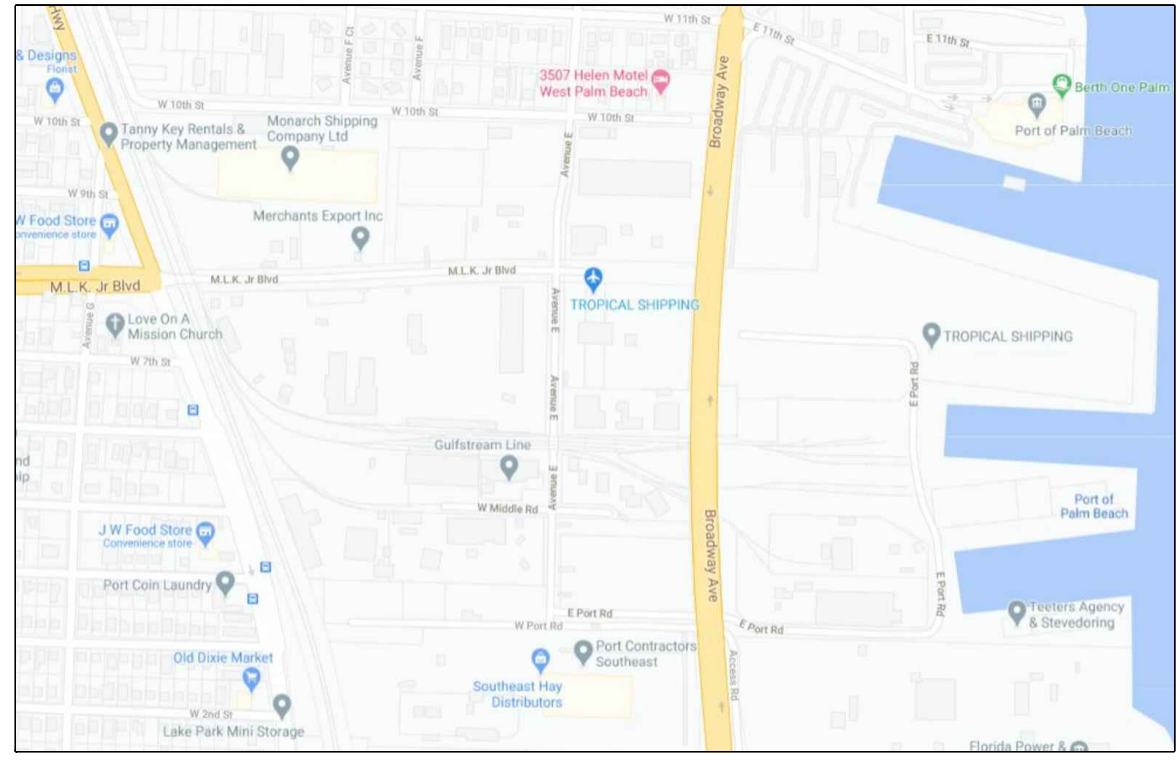
ELEVATIONS & OFFICE FLOOR PLAN

Alan Gerwig & Associates, Inc.

12798 W. Forest Hill Blvd., Suite 201
 Washington, FL 33414
 CA #7599

Ph.: (813) 792-5000
 Fax: (813) 792-9901

Civil and Structural Engineers



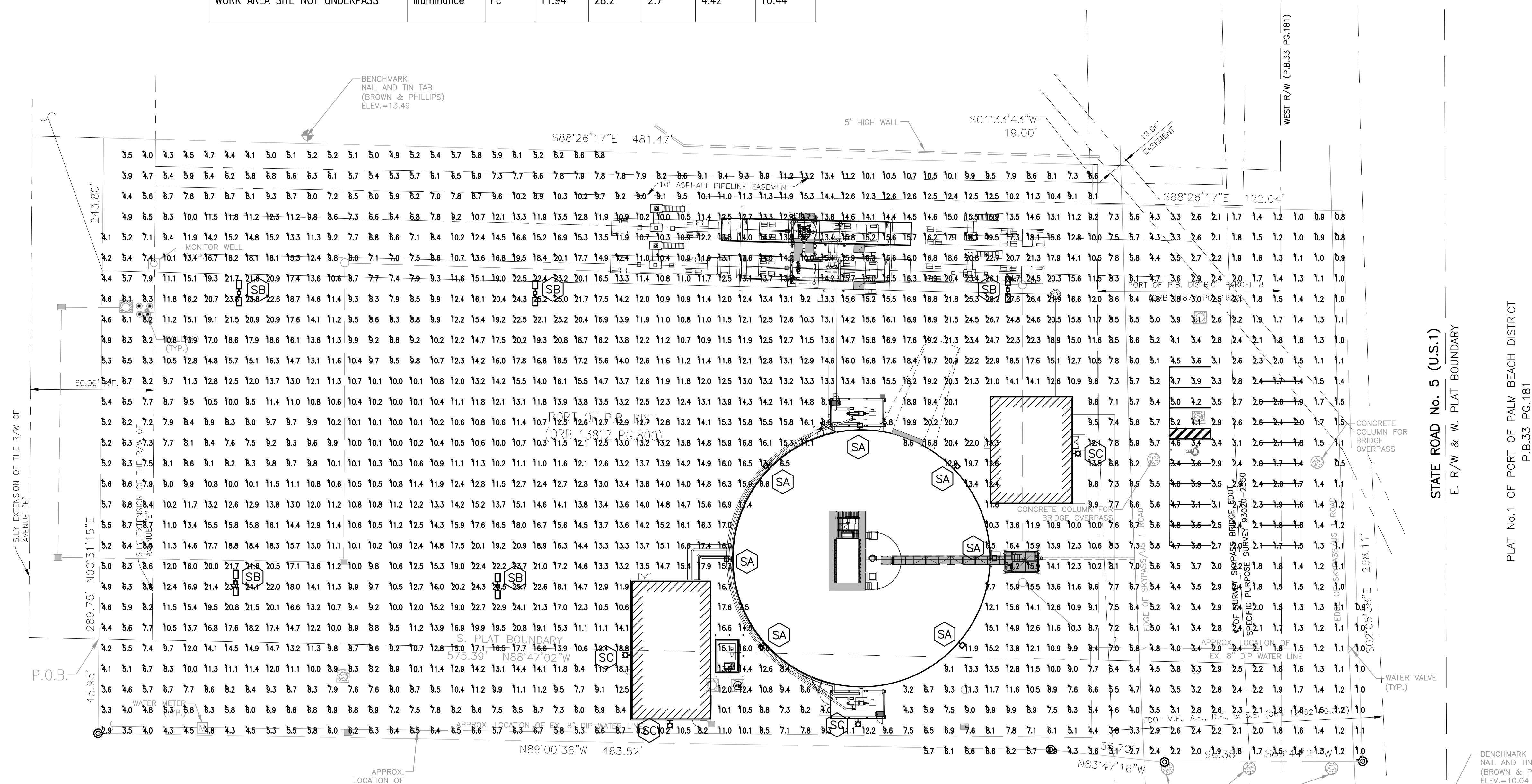
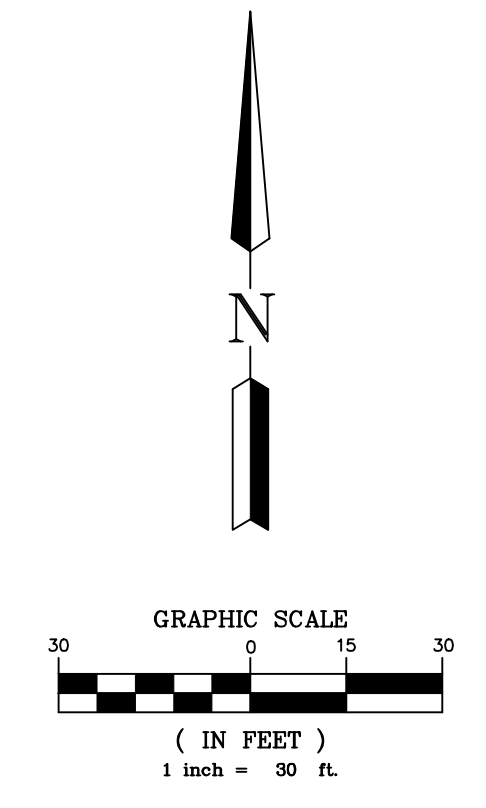
LOCATION MAP

Luminaire Schedule

Symbol	Qty	Label	[MANUFAC]	Description	Arr. Lum. Lumens	LLF	Lum. Watts	Total Watts
	9	SA	Visionaire Lighting LLC	BLX-II-8-T4-145L-4K-UNV BUILDING MOUNT 50' AFG TILT 10 DEGREES	144671	0.900	1102	9918
	5	SB	Visionaire Lighting LLC	BLX-II-8-T4-145L-4K-UNV POLE MOUNT 50' AFG	289342	0.900	1102	11020
	4	SC	Visionaire Lighting LLC	VSX-II_T2_20L_4K_CLS WALL MOUNT 15' AFG	15352	0.900	134	536

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING UNDER OVERPASS	Illuminance	Fc	2.88	5.2	1.4	2.06	3.71
WORK AREA SITE NOT UNDERPASS	Illuminance	Fc	11.94	28.2	2.7	4.42	10.44



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 12788 W. Forest Hill Blvd., Suite 201
 Wellington, FL 33414
 Ph: (561) 792-9000
 Fax: (561) 792-9901
 CA #7969
 Civil and Structural Engineers

SUNSTAR LOGISTICS
PHOTOMETRIC PLAN

REVISIONS

No.	Date	Dr.	Ch.

Appr. DAB Scale AS NOTED
 Dr. SPH Chk. LMS
 Drawing Date 2/15/2021
 Proj. No. 19-025
 Sheet E1 of E4

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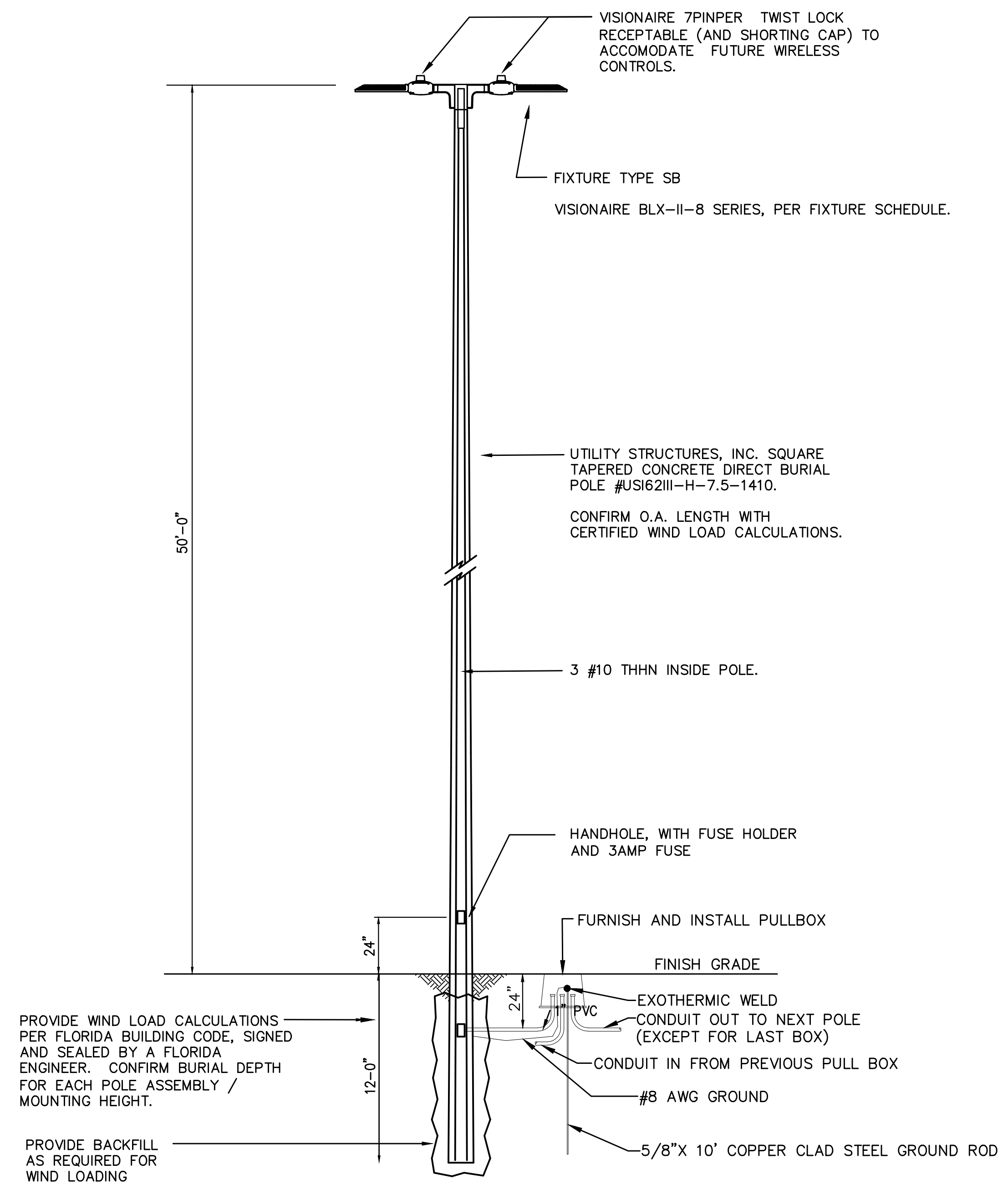
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Civil and Structural Engineers

SUNSTAR LOGISTICS

LIGHT POLE DETAIL



LIGHT POLE DETAIL
N.T.S.

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REVISIONS			
No.	Date	Dr.	Ch.

Appr. DAB Scale AS NOTED
Dr. SPH Chk. LMS
Drawing Date 2/16/2021
Proj. No. 19-025
Sheet E2 of E4

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BLX-II LED Specifications

BLX-II Post Top Mount Shown



Project Name: _____

Quantity: _____

Type: _____

The new **BLX II LED** Series continues the unique contemporary design inspired by the sleek styling of the **BOW** family. Separating the extruded aluminum driver housing and the individual decast aluminum three LED engines optimize the life of the LEDs and the **Driver**, and maximize the lumen output of the fixture. The adjustable knuckle allows for up to 50° degrees of vertical adjustment for putting the light exactly where you want it.

Each of the individual LED light engines come with 32 LEDs, for a max total of 256 LEDs. No optical distribution patterns are available.

A unique Type 4-A automotive distribution pattern is available for the front ends of Auto Dealerships. Available in 3000, 4000, 5000K color temperatures.

A durable polyester powder coat finish is guaranteed for five years, and is available in standard or custom colors.

The **BOW LX II LED** series is a guaranteed choice for auto dealerships, shopping centers, commercial parking lots and general area lighting.

Ordering Information

MODEL	OPTICS	LEDS	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
BLX-II-3	T1	96LC	3	3000K	UNV	PT	WM	PCR-120	WVC
BLX-II-4	T2	128LC	5	4000K	MA	MA	AWM	PCR-240	WVC
BLX-II-6	T4	192LC	10	5000K	BOA	BOA	BWP	PCR-360	WVC
BLX-II-8	T5	256LC	15	5000K	FWA	FWA	SPN	PCR-480	WVC
BLX-II-10	T5W	320LC	20	5000K	TWR	TWR	FM	PCR-600	WVC



Features & Specifications

BLX-II

Housing

- The LED light engines are constructed of heavy-duty, die-cast aluminum, with external heat radiating fins.

Electrical Assembly

- The BOW LX II Series is supplied with a choice of 350, 530, 700, or 1000 mA high-performance LED drivers, that accept 120V thru 480V, 60 Hz to 60 Hz, input.
- Rated for -40 °C to +65 °C operations.
- Power factor of 90%.
- THD less than or equal to 20%.
- 20 kV surge protector supplied as standard.
- 0-10V Dimming Driver supplied as standard.

Thermal Management

- The BOW LX II Series provides excellent overall thermal management by maximizing the fixture's heat sink capabilities. This enables the BOW LX II Series to withstand higher ambient temperatures and drive currents without degrading LED life.
- The L70 test determines the point in an LED's life when it reaches 70 percent of its initial output. The BOW LX II Series LEDs have been determined to last a minimum of 100,000 hours in 25°C environments when driven at 350 mA.

Warranty

- Five Year Limited Warranty on entire system, including fixture. For full warranty information, please visit www.VisionaireLighting.com.

Options

- Button Type Photocell
- PhotoCell & Receptacle
- Photo Receptacle
- Round pole plate adaptor
- Motion Sensor
- Pole Mounted Motion Sensor
- Universal Pole Mount Adaptor (BLX-II-3, BLX-II-4 & BLX-II-6 Only)
- Decorative Grind
- On-Off Louver Shield

Listings

- BOW LX II Series is UL listed, suitable for wet locations
- Meets ANSI C136.3 2010 3G Vibration Standards
- Power Coated Tough®
- IP-66 Rated
- UL-CUL Listed
- ADA Certification
- Pangolin®

Quat-Quard® Finish

The finish is a Quat-Quard® textured, chemically pretreated through a multi-stage washer, electrostatically applied, thermoset polyester powder coat finish, with a minimum of 25-micron thickness. Finish is oven-baked at 400 °F to promote maximum adherence and finish hardness.

- All finishes are available in standard and custom colors.
- Finish is guaranteed for five (5) years.

Mounting

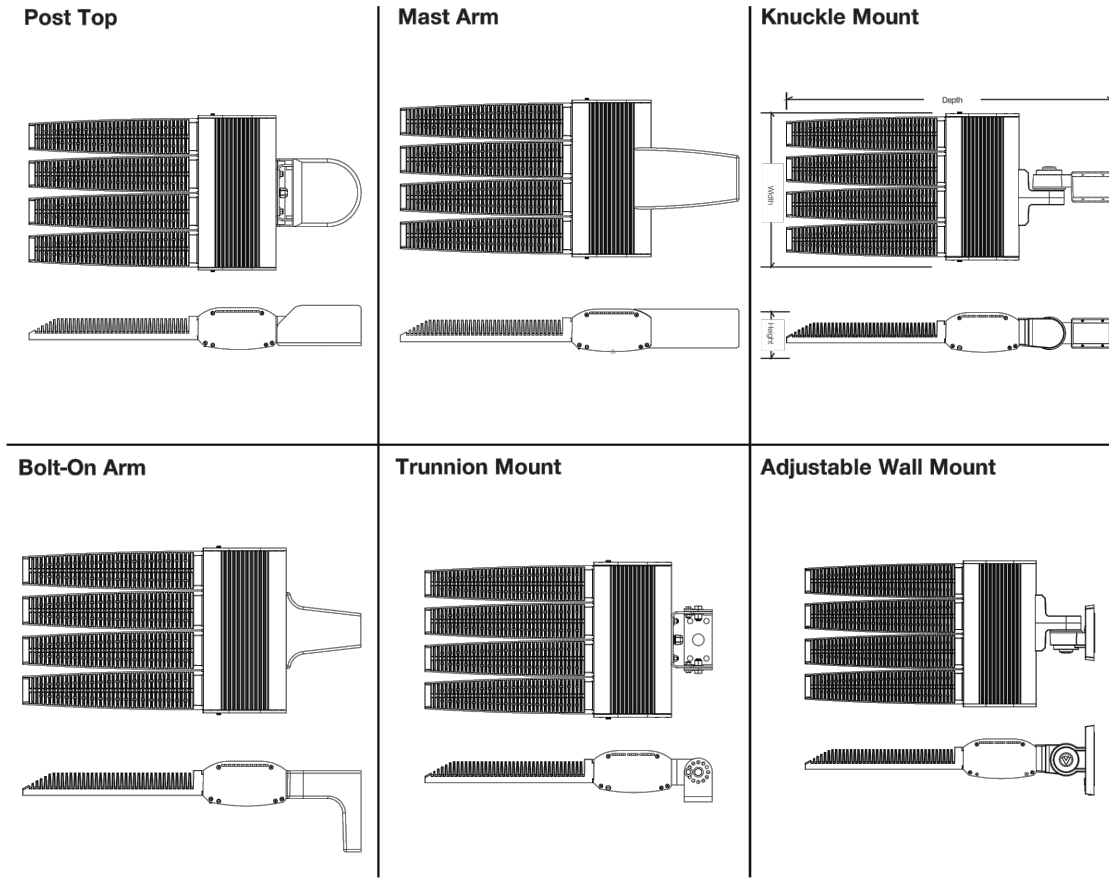
- An adjustable knuckle slip fits over a 2-3/8" tenon, and allows for up to 50° degrees of vertical adjustment in 10° degree increments from horizontal, as well as full side to side adjustment with the knuckle mount.
- The Bolt-On Arm (BOA) utilizes a 2-piece cleat system for easy installation. A Round Pole Plate Adaptor (RPP) is required for mounting to round poles.
- Must Arm Filter fits over a 2-3/8" tenon.
- Past Top fits over a 2-3/8" tenon and is adjustable up to 45°.
- Trunnion Mount is adjustable up to 50°
- Adjustable Wall Mount
- Both-On Arm Wall Plate
- Both-On Arm Wall Plate-XL



BLX-II LED Specifications

Photometric Optical Summary

T1	T2	T3	T4A	T4	T5	T5W	T5WR	FN	FM
Type 1	Type 2	Type 3	Type 4 Automotive	Type 4	Type 5	Type 5 Wide	Type 5 Round	Narrow	Medium
Width: BLX-II-3 15"	Width: BLX-II-4 15"	Width: BLX-II-6 15"	Width: BLX-II-8 17"	Width: BLX-II-10 17"	Width: BLX-II-12 17"	Width: BLX-II-15 17"	Width: BLX-II-17 17"	Width: BLX-II-20 17"	Width: BLX-II-25 17"
Depth: BLX-II-3 36"	Depth: BLX-II-4 36"	Depth: BLX-II-6 36"	Depth: BLX-II-8 37"	Depth: BLX-II-10 37"	Depth: BLX-II-12 37"	Depth: BLX-II-15 37"	Depth: BLX-II-17 37"	Depth: BLX-II-20 37"	Depth: BLX-II-25 37"
Height: BLX-II-3 6"	Height: BLX-II-4 6"	Height: BLX-II-6 6"	Height: BLX-II-8 6"	Height: BLX-II-10 6"	Height: BLX-II-12 6"	Height: BLX-II-15 6"	Height: BLX-II-17 6"	Height: BLX-II-20 6"	Height: BLX-II-25 6"



LED Specifications BLX-II

BLX-II 3K Lumen Data

LED's	mA	Type 1	Type 2	Type 3	Type 4	Type 4A	Type 5	Type 5W	Type 5WR	Type FN	Type FM	Watts
96	350	1934	1367	1006	1371	1308	1478	1439	1484	1690	1667	102
128	530	2948	2058	1506	2027	2040	2191	2163	2242	2593	2574	137
192	700	3922	2686	2007	2740	2701	2933	2851	3002	3448	3416	183
256	1000	5370	3630	2698	3747	3653	3974	3859	4039	4613	4567	249

LED's	mA	Type 1	Type 2	Type 3	Type 4	Type 4A	Type 5	Type 5W	Type 5WR	Type FN	Type FM	Watts
96	350	1934	1367	1006	1371	1308	1478	1439	1484	1690	1667	102
128	530	2948	2058	1506	2027	2040	2191	2163	2242	2593	2574	137
192	700	3922	2686	2007	2740	2701	2933	2851	3002	3448	3416	183
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BLX-II LED Specifications

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192	700	3922	2686	2007	2740	2701	2933	2851	3002	3448	3416	183
256	1000	5370	3630	2698	3747	3653	3974	3859	4039	4613	4567	249



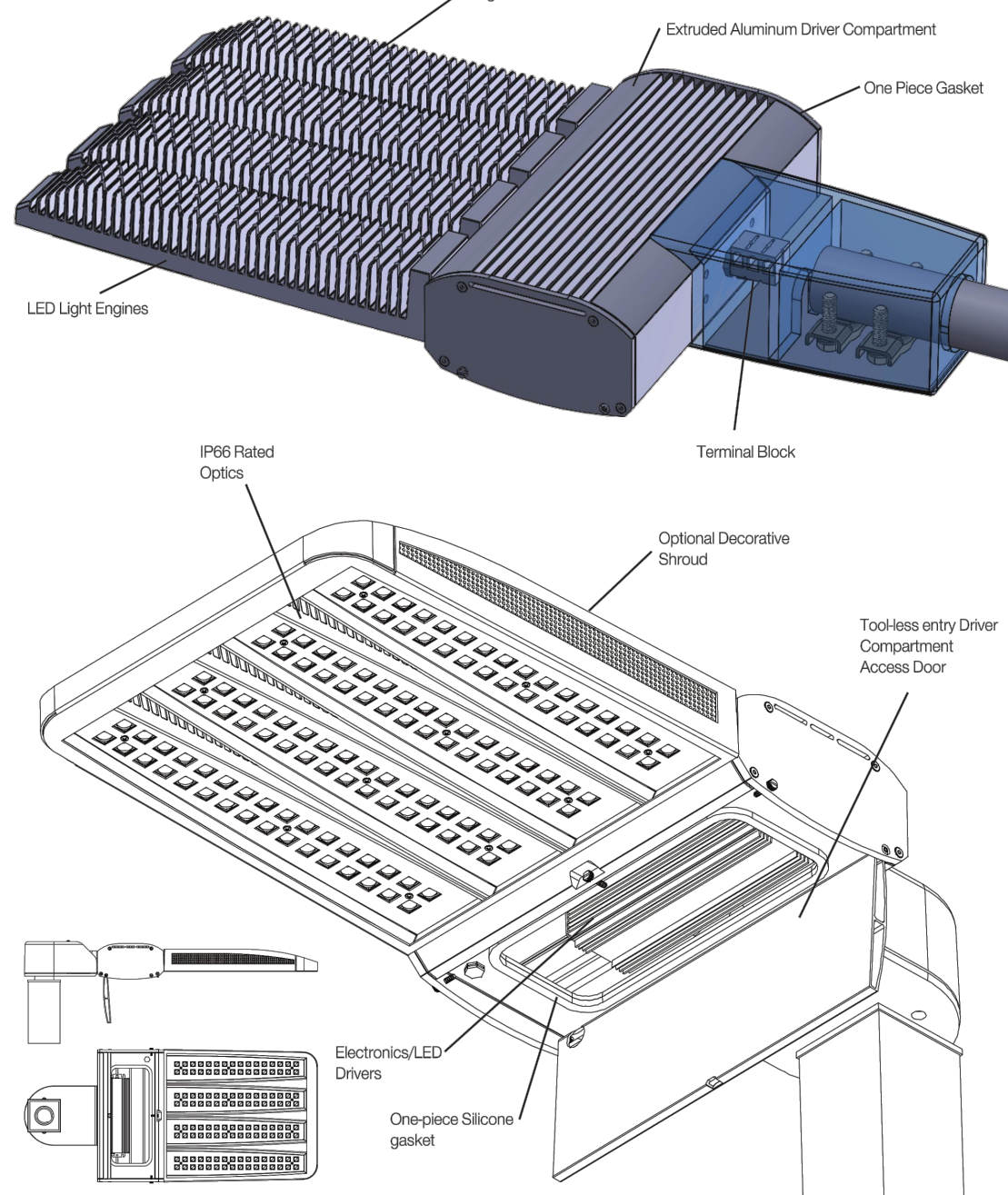
LED Specifications BLX-II

LED's	mA	Type 1	Type 2	Type 3	Type 4	Type 4A	Type 5	Type 5W	Type 5WR	Type FN	Type FM	Watts
96	350	1934	1367	1006	1371	1308	1478	1439	1484	1690	1667	102
128	530	2948	2058	1506	2027	2040	2191	2163	2242	2593	2574	137
192	700	3922	2686	2007	2740	2701	2933	2851	3002	3448	3416	183
256	1000	5370	3630	2698	3747	3653	3974	3859	4039	4613	4567	249



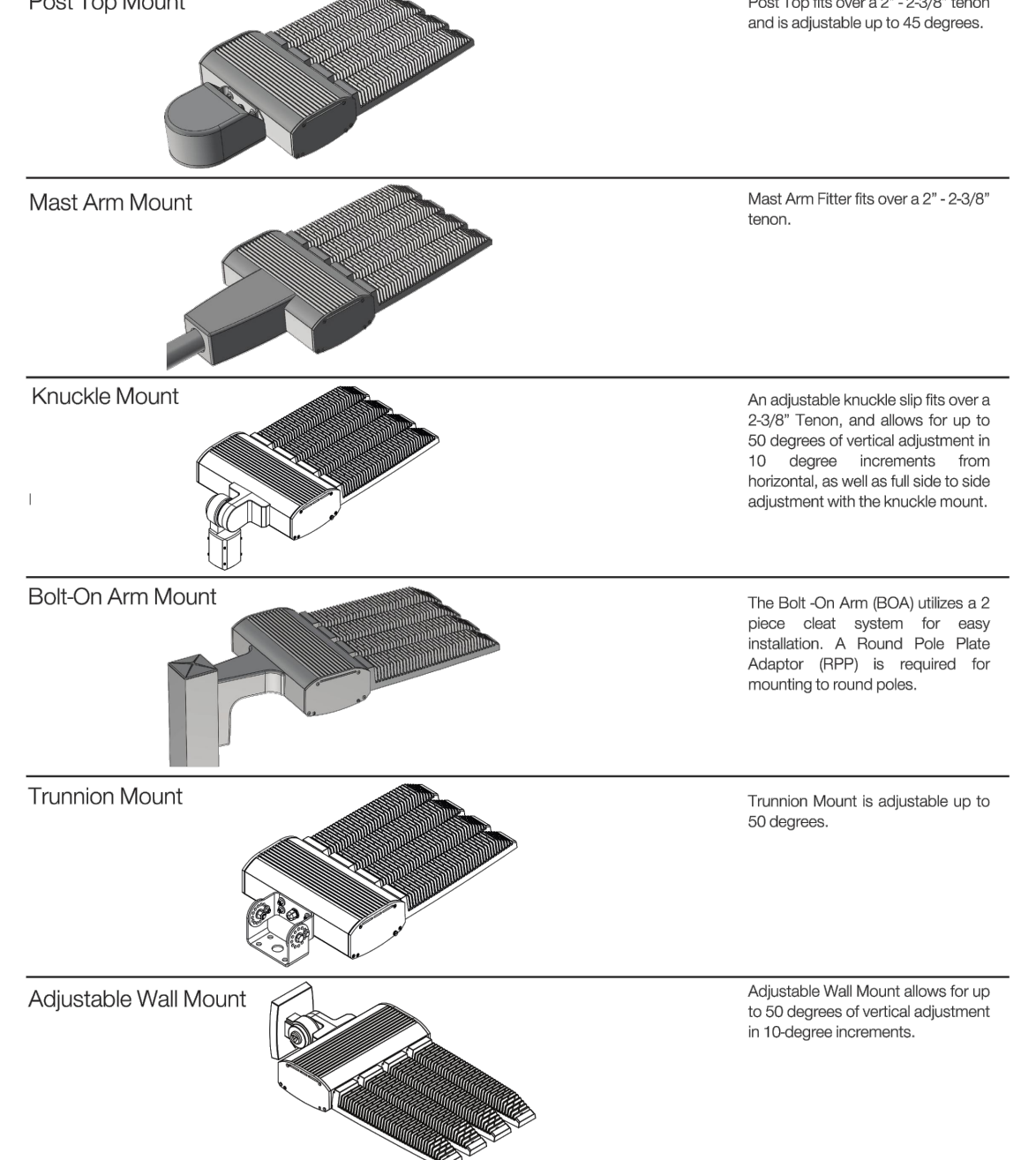
BLX-II LED Specifications

BLX Features



LED Specifications BLX-II

BLX-II Mounting Options



AS
ASSOC

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SUNSTAR LOGISTICS

FIXTURE SA AND SB CUT SHEET

REVISIONS			
No.	Date	Dr.	Ck.

VSX-II Array LED Specifications



Form for Project Name, Catalog Number, and Type.

The new VSX-II Array LED Series offers clean, functional styling that is achieved by its sleek bezel design and rugged construction...

Ordering Information

Table with columns: MODEL, OPTICS, T2, LUMENS, KELVIN, VOLTAGE, MOUNTING, FINISH, OPTIONS, OPTIONS, CLS. Lists various configurations like VSX-II T1, T2, T3, etc.



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Features & Specifications

VSX-II Array

Housing Cast aluminum LED housing with integral cooling fins for thermal management.

Mounting Arm/Driver Compartment Durable two-piece die cast aluminum driver compartment utilizes stainless steel hardware and sealed with a one-piece silicone gasket.

Thermal Management The VSX-II Array LED series provides excellent thermal management by mounting the LED arrays to the substantial heat sink of the housing...

Optical System The highest lumen output LED Arrays are utilized in the VSX-II series. IES distribution Types I, II, III, IV, IVL, IVA, VSR, VLR, and VLS are available...

New LED Array Technology 4 Diodes now replace a single Led chip and operate at 25% of the drive current allowing for higher efficiency, less heat and longer life (10 Year Warranty)...

Quali-Guard® Finish The finish is a Quali-Guard® textured, chemically pretreated through a multiple-stage washer, electrostatically applied, thermoset polyester powder coat finish...

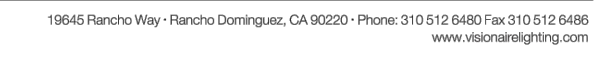
Electrical Assembly The VSX-II Array LED series is supplied with a choice of 350, 530, 700, 1050, 1200 or 1400 mA high-performance LED drivers that accept 120v rms @ 60 Hz, input. Power factor of 90%. Rated for >40° C operations.

Warranty Ten (10) Year Limited Warranty on electrical components (Driver & LED Boards), Five (5) year on finish. For full warranty information, please visit visionairelighting.com.

Options Photocell & Photoeye, Photo Receptacle and Shorting Cap, Motion Sensor, Wireless Control, Round pole plate adapter, Universal Pole Mount Adapter, Cast Wall Plate, Rotated Optics.

Listings The VSX-II Series is cUL Listed, IP65 Rated Housing, ANSICertification, Powder Coated Tough, ENEC Certification, DLC Listed.

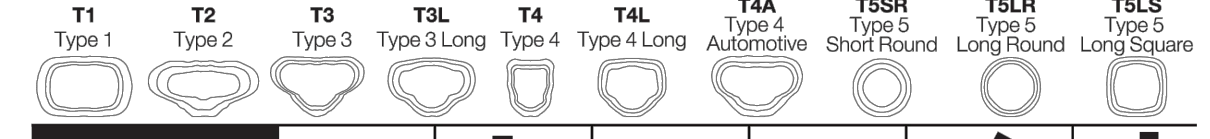
VSX-II ARRAY - ELECTRICAL LOAD (A) table showing wattages and currents for various configurations.



331

VSX-II Array LED Specifications

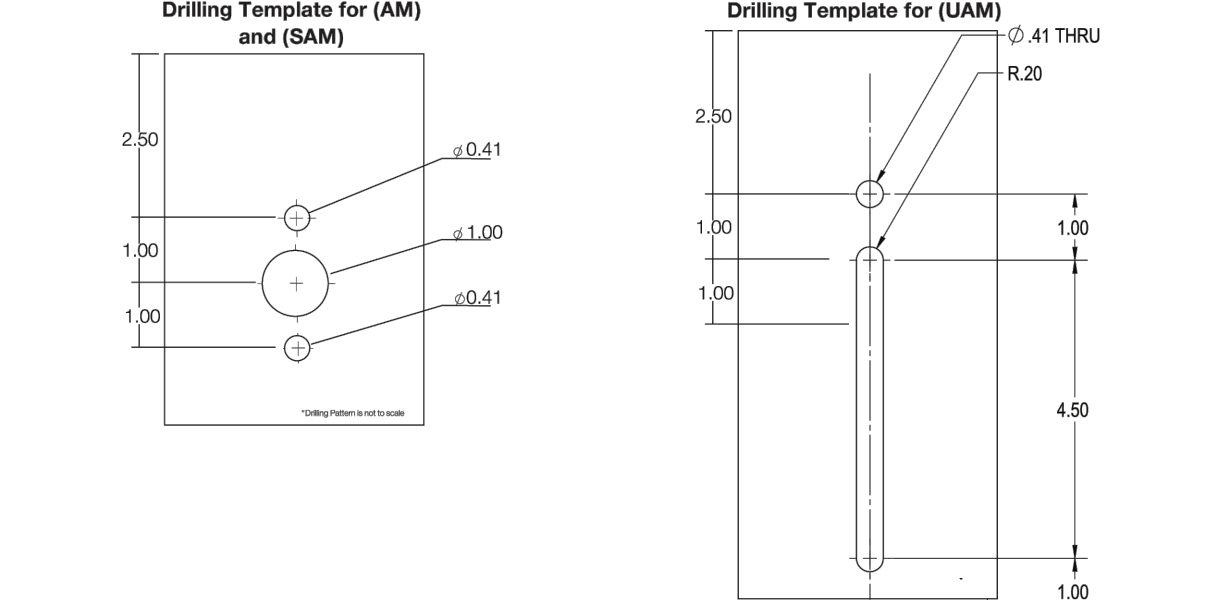
Photometric Optical Summary



EPA Data table showing beam spread and illuminance values for different beam types.

VSX-II-KM EPA DATA table showing degree of tilt and EPA values for different beam types.

Dimensions: Width: VSX-II: 12.5", Depth: VSX-II: 2.3", Height: VSX-II: 4", Overall Height: VSX-II: 8", Weight: 25 LBS



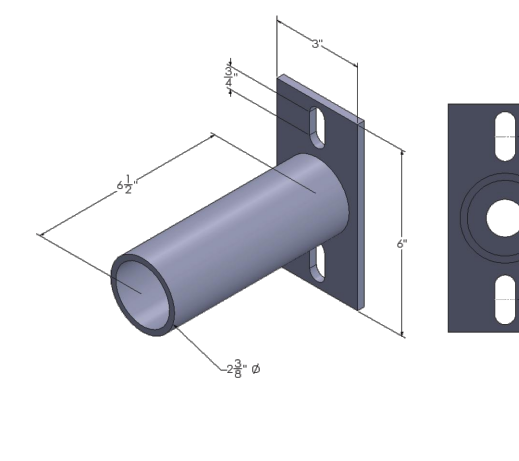
332

LED Specifications VSX-II Array

VSX-II Options

Universal Mast Arm Fitter

U MAP - The Universal Mast Arm Fitter is a simple solution for retrofit applications where a fixture needs to mount to an existing pole...



Adjustable Louver Light Shield



Barn Door Light Shield

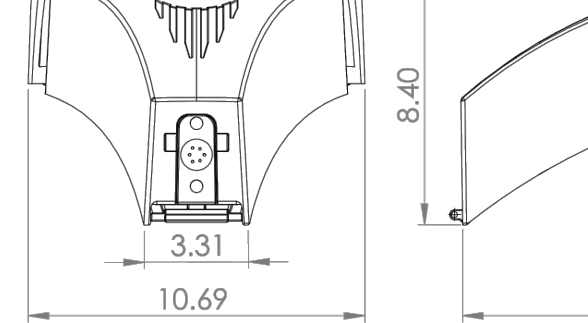


333

VSX-II ARRAY LED Specifications

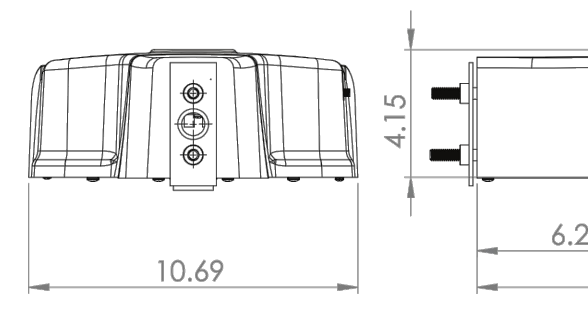
Arm Mount (AM)

The Arm Mount (AM) utilizes a 2 piece cast system for easy installation, a terminal block is supplied as standard. A Round Pole Plate Adapter (RPP) is required for mounting to round poles.



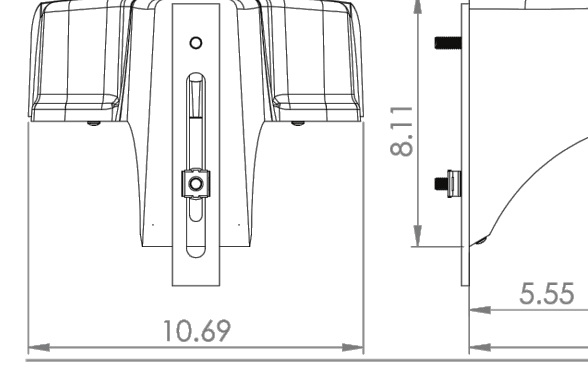
Straight Arm Mount (SAM)

The Straight Arm Mount (SAM) uses a 2 piece mounting system, a terminal block is supplied as standard. A Round Pole Plate Adapter (RPP) is required for mounting to round poles.



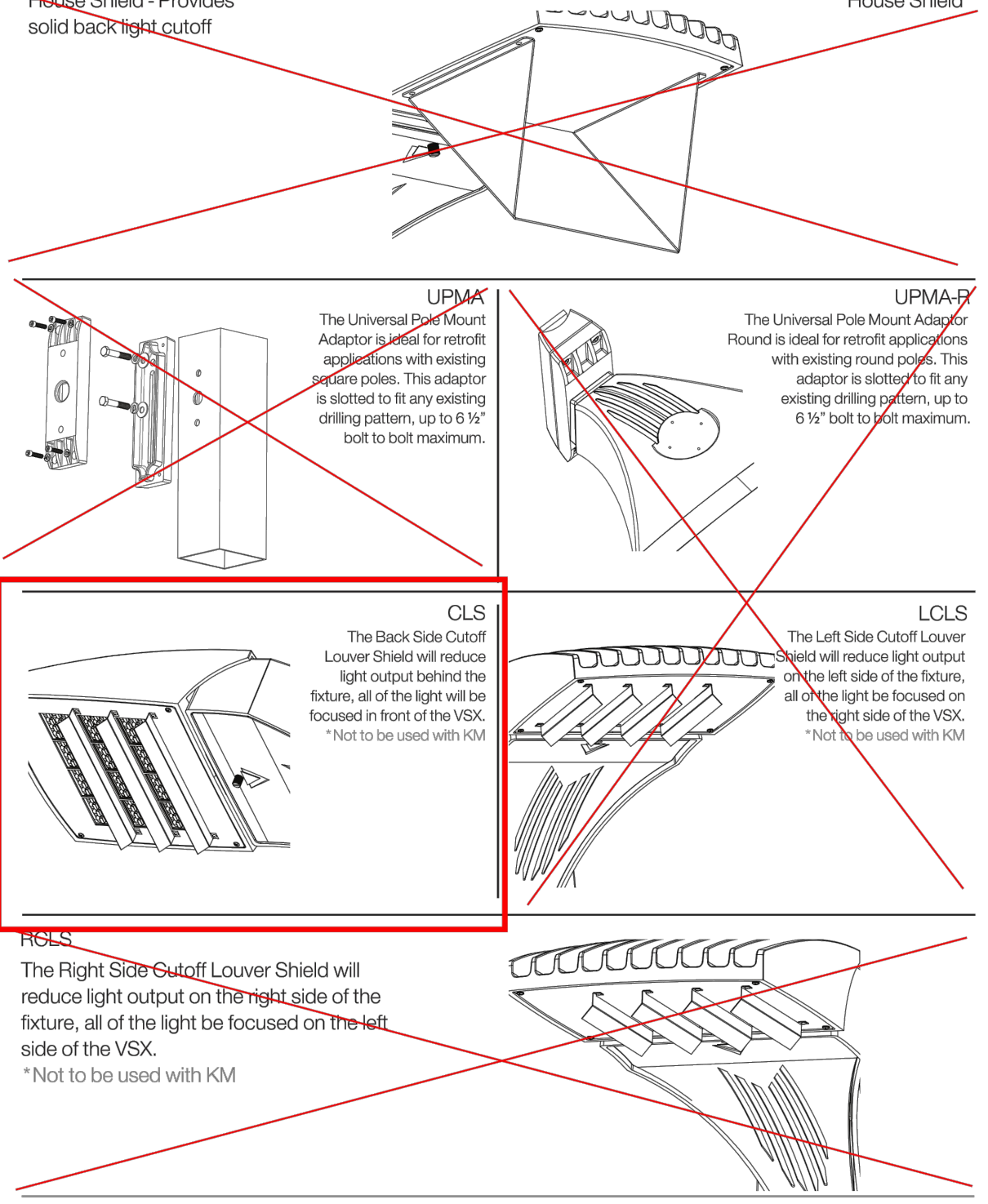
Universal Arm Mount (UAM)

The Universal Arm Mount (UAM) is meant for retrofit Applications and has a drilling template ranging from 3" to 5.5". A Round Pole Plate Adapter (RPP) is required for mounting to round poles.



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LED Specifications VSX-II ARRAY



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VSX-II Array LED Specifications

VSX-II ARRAY - HOUSE SHIELD 3K LUMEN DATA and VSX-II ARRAY - HOUSE SHIELD 4K LUMEN DATA tables showing beam types, lumens, and watts.

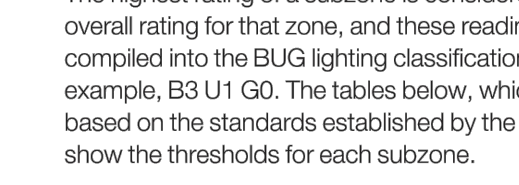


342

LED Specifications VSX-II Array

Bug Rating -

The subzones are individually rated on a scale from 0 to 5, going from lowest to highest luminous flux.



VSX-II ARRAY - HOUSE SHIELD 3K BUG DATA and VSX-II ARRAY - HOUSE SHIELD 4K BUG DATA tables showing beam types, bug ratings, and watts.



343

Logo for Alan Gerwig & Associates, Inc. with contact information: Ph: (661) 792-9000, Fax: (661) 792-9901, 12798 W. Forest Hill Blvd., Suite 201, Wellington, FL 33414, CA #7969, Civil and Structural Engineers.

Logo for SUNSTAR LOGISTICS and FIXTURE SC CUT SHEET. Includes a table for REVISIONS with columns for No., Date, Dr., and Ck., and fields for Appr., Scale, AS, NOTED, Dr., PH, Chk., LMS, Drawing Date, Proj. No., No., 19-025, and Sheet E4 of E4.

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DATE: March 3rd, 2021

TO: Josue Leger, Principal Planner, City of Riviera Beach

FROM: Michelle Duchene, Schmidt Nichols

SUBJECT: SUNSTAR LOGISTICS

MEMORANDUM

BACKGROUND

The 3.966 acre subject property is located at East Port Road and Avenue E located within the Port of Palm Beach. This property is partially encumbered with the US-1 flyover bridge and is currently zoned IG, General Industrial Zoning District. The applicant seeks approval of the construction of material storage containers, an equipment building, and an office building with associated parking lot to be located under the US-1 fly over bridge.

RESEARCH

Utilizing the proposed Site Plan for the property as prepared by Alan Gerwig & Associates, Inc. and dated 2.15.21, a preliminary cost estimate of construction prior to actual design has been prepared. Methodology to prepare the cost estimate included analysis of the proposed Site Plan and analysis of the City of Riviera Beach’s Code of Ordinances Supplement 50. Utilizing requirements in Article VII, the below Landscape Requirements Chart has been prepared to indicate exact quantities that the cost estimate has been based on.

Utilizing the Site Plan, a portion of the site contains parking, therefore Section 31-610 has been applied to the portion of the east property line that contains the parking lot. Additionally, Section 31-609, Development Landscape Standards, has been applied to the entire developed site. The associated quantities can be found below:

LANDSCAPE REQUIREMENTS CHART			
PARKING LOT BUFFERS (Sec. 31-610)			
TREES:		REQUIREMENT	NO. REQUIRED
East Property Line Adjacent to Parking	100 L.F.	20 L.F.	5
TOTAL TREES:			5
SHRUBS:		REQUIREMENT	NO. REQUIRED
East Property Line Adjacent to Parking	268 L.F.	2' O.C.	134
TOTAL SHRUBS:			134
GROUNDCOVER:		REQUIREMENT	NO. REQUIRED
East Property Line Adjacent to Parking	100 L.F.	25%	25 L.F.
		25 L.F / 12" O.C.	25
TOTAL GROUNDCOVER:			25

LANDSCAPE REQUIREMENTS CHART			
INTERIOR (Sec. 31-609)			
INTERIOR		REQUIREMENT	NO. REQUIRED
Site Landscape Area	172,993 S.F.	20% Min.	34,599 S.F.
Site Interior Trees	34,599 S.F.	1/1,500 S.F.	17
Interior Landscape Area	34,599 S.F.	50% Min.	17,299 S.F.
Addt. Landscape Area	9	10 S.F./Space	90 S.F.
Addt. Area Trees	90 S.F.	1/100 S.F.	1
Parking Island Trees	4	1 / Island	4
Turf Grass	34,599 S.F.	45% Max.	15,569 S.F.
Foundation Trees	399 L.F.	1 / 20 L.F.	20
Foundation Shrubs	399 L.F.	2' O.C	200
OVERALL			
		REQUIREMENT	NO. REQUIRED
Native Plants	406	70 % of Required	243
Canopy Trees	47	60 % Min.	29
Accent Trees	47	20% Max.	9
Palm Trees	47	20% Max.	9
TOTAL TREES			47
TOTAL SHRUBS			334
TOTAL GROUNDCOVER			25

In addition to the cost of the landscape material, an estimate for the cost of the irrigation system required for the potential material is included. The cost of design and post design services during construction is included in the estimate as well.

Thank you for your consideration; please let me know if you have any questions.

Respectfully,



Michelle L. Duchene
 Project Manager + Landscape Architect
 Schmidt Nichols

Attachment



SUNSTAR LOGISTICS
Preliminary Cost Estimate of Construction

Prepared: 03.03.2021

MATERIAL COST OF LANDSCAPE PLAN											
TREES	SPECIES EXAMPLE	DETAILS	DBH	HEIGHT	SPREAD	C.T.	QTY.	MATERIAL COST	TOTAL COST		
Native Canopy Tree	Live Oak, Green Buttonwood, Gumbo Limbo	Single Straight Trunk	2" DBH	12'	5'	6'	29	\$ 250.00	\$ 7,250.00		
Native Accent Tree	East Palatka Holly, Clusia, Gieger, Silver Buttonwood	Single Straight Trunk	1.5" DBH	10'	5'	5'	9	\$ 150.00	\$ 1,350.00		
Native Palm Tree	Sabal Palm	Hurricane Cut, Slick Trunk	N/A	8' CT	N/A	8'	9	\$ 100.00	\$ 900.00		
									TREES SUBTOTAL:	\$ 9,500.00	

SHRUBS	SPECIES EXAMPLE	REMARKS	HEIGHT	SPREAD	QTY.	MATERIAL COST	TOTAL COST
Hedges	Cocoplum, Simpson's Stopper, Clusia	Full	24"	24"	50	\$ 4.00	\$ 200.00
						SHRUBS SUBTOTAL:	\$ 200.00

GROUNDCOVER	SPECIES EXAMPLE	REMARKS	HEIGHT	SPREAD	QTY.	MATERIAL COST	TOTAL COST
Low Groundcover in Buffers	Green Island Ficus, Juniper, Liriope, Dwarf Fakahatchee Grass	Full	12"	12"	25	\$ 2.00	\$ 50.00
Groundcover (to Reduce Turf Area to 45%)	Green Island Ficus, Juniper, Liriope, Dwarf Fakahatchee Grass	Full	12"	12"	5,293	\$ 2.00	\$ 10,586.00
Turf Grass (45% Max.)	St. Augustine Grass	Solid Sod, Stagger Seams, Field Verify	N/A	N/A	15,569	\$ 0.35	\$ 5,449.15
						GROUNDCOVER SUBTOTAL:	\$ 16,085.15

LANDSCAPE TOTAL: \$ 25,785.15

IRRIGATION PLAN			
System	Qty.	Unit Cost	Total Cost
Irrigation System Install	1	\$ 12,500.00	\$ 12,500.00
		IRRIGATION TOTAL:	\$ 12,500.00

PROFESSIONAL FEES

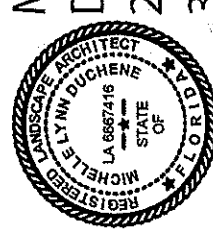
Preparation of Landscape and Irrigation Plan, Construction Administration

\$ 7,000.00

PROFESSIONAL FEES TOTAL: \$ 7,000.00

GRAND TOTAL: \$ 45,285.15

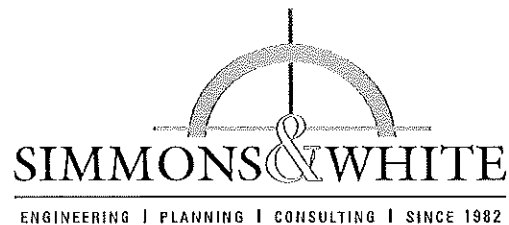
Signed _____
 License No.: LC26000232
 Florida Registration No. LA6661764



The Seal Appearing On This Document Was Authorized By Michelle Lynn Duchene On The Date Noted In The Electronic Seal.

3 19:10:15 -05'00'

SIMMONS & WHITE
2581 Metrocentre Blvd West, Suite 3, West Palm Beach, Florida 33407
O 561.478.7848 | F 561.478.3738 www.simmonsandwhite.com
Certificate of Authorization Number 3452



TRAFFIC GENERATION STATEMENT

**SUNSTAR LOGISTICS
CITY OF RIVIERA BEACH, FLORIDA**

Prepared for:

Alan Gerwig & Associates, Inc.
12798 W. Forest Hill Boulevard
Suite 201
Wellington, Florida 33414

Job No. 21-032

Date: February 24, 2021

Digitally signed by Anna Lai
Date: 2021.02.24 11:37:40
-05'00'

Anna Lai, P.E., PTOE
FL Reg. No. 78138

**Anna Lai, P.E., State of Florida, Professional Engineer,
License No. 78138**

**This item has been electronically signed and sealed
by Anna Lai, P.E. on 02/24/2021 using a SHA-1
Authentication Code.**

**Printed copies of this document are not considered signed
and sealed and the SHA-1 Authentication Code must
be verified on any electronic copies.**

1.0 SITE DATA

The subject parcel is located on the northwest corner of E. Port Road and US Highway One in the City of Riviera Beach, Florida and contains approximately 3.97 acres. The Property Control Number (PCN) for the subject parcel is 56-43-42-33-29-000-0020. Proposed site development consists of a port cement terminal with a project build-out of 2023. The port terminal is proposed to be an import and storage facility. Site access is proposed at the designated Port of Palm Beach security checkpoint at the east terminus of Martin Luther King Jr. Boulevard. For additional information concerning site location and layout, please refer to the approved Site Plan prepared by Alan Gerwig & Associates, Inc.

2.0 TRAFFIC GENERATION

The traffic to be generated by the proposed development has been calculated based on the estimated truck and employee trips provided by Sunstar Logistics, as shown in Tables 1, 2, and 3. Table 1 shows the daily traffic generation associated with the proposed development in trips per day (tpd). Tables 2 and 3 show the AM and PM peak hour traffic generation, respectively, in peak hour trips (pht). The traffic to be generated by the proposed plan of development may be summarized as follows:

Proposed Plan of Development

Daily Traffic Generation	=	170 tpd
AM Peak Hour Traffic Generation (In/Out)	=	18 pht (9 In/9 Out)
PM Peak Hour Traffic Generation (In/Out)	=	18 pht (9 In/9 Out)

3.0 CONCLUSION

The attached tables document the daily, AM, and PM peak hour traffic generation associated with the proposed port cement terminal. The proposed development has been estimated to generate 170 new trips per day, 18 new AM peak hour trips, and 18 new PM peak hour trips at project build-out in 2023. Per the Palm Beach County Traffic Performance Standards, projects with a peak hour increase of 20 net trips or less are not required to submit a full traffic impact statement.

PROPOSED DEVELOPMENT

TABLE 1 - Daily Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization			External Trips			Pass-by			Net Trips		
				In	Out	In	Out	Total	%	Total	In	Out	Total	%	Total	In	Out	Total		
Port Cement Terminal		3.97	See Note n.			170		0	0.0%	0	170	0	0	0	0.0%	0	170	0	0	170
Grand Totals:						170		0	0.0%	0	170	0	0	0	0.0%	0	170	0	0	170

TABLE 2 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization			External Trips			Pass-by			Net Trips			
				In	Out	In	Out	Total	%	Total	In	Out	Total	%	Total	In	Out	Total			
Port Cement Terminal		3.97	See Note n.	0.50	0.50	9	9	18	0.0%	0	9	9	18	0.0%	0	9	9	18	0	0	18
Grand Totals:				0.50	0.50	9	9	18	0.0%	0	9	9	18	0.0%	0	9	9	18	0	0	18

TABLE 3 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization			External Trips			Pass-by			Net Trips			
				In	Out	In	Out	Total	%	Total	In	Out	Total	%	Total	In	Out	Total			
Port Cement Terminal		3.97	See Note n.	0.50	0.50	9	9	18	0.0%	0	9	9	18	0.0%	0	9	9	18	0	0	18
Grand Totals:				0.50	0.50	9	9	18	0.0%	0	9	9	18	0.0%	0	9	9	18	0	0	18

Notes:

n.) The port cement terminal is estimated to have 100 truck trips and 70 employee trips per day, 4 trucks loaded out during the AM and PM peak hours, and a shift change of 5 employees during the AM and PM peak hours.





Board of Commissioners

Joseph D. Anderson
Blair J. Ciklin
Jean L. Enright
Wayne M. Richards
Katherine M. Waldron

Executive Director
Manuel Almira, PPM®

January 28, 2021

Ms. Amy Galvez, P.E.
Project Engineer
12758 W. Forest Hill Blvd. Suite 201
Wellington, Florida 33414

RE: Florida Sunstar Logistics Site Plan, Port of Palm Beach

Dear Ms. Galvez,

In accordance with our discussion, the Florida Sunstar Logistics proposed site plan is covered under the Port of Palm Beach Master Drainage Plan. The Master Drainage Plan is authorized under the *Notice of Intent to Use Multi-Sector Generic Permit for Stormwater Discharge Associated with Industrial Activity (NOI)*.

This permitted use is authorized by Florida Department of Environmental Protection Facility ID: FLR05H716-002. I have attached a copy of this authorization from FDEP.

Please advise if further information or documentation is required at this time.

Sincerely,

Ronald J. Coddington, P.E.
Port Engineer
Florida PE # 31928



FLORIDA DEPARTMENT OF Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, FL 32399-2400

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

July 25, 2019

Manuel Almira
Port Palm Beach
1 E 11th St
Riviera Beach, FL 33404

RE: **Facility ID: FLR05H716-002**
Port of Palm Beach
County: Palm Beach

Dear Permittee:

The Florida Department of Environmental Protection has received and processed your *Notice of Intent to Use Multi-Sector Generic Permit for Stormwater Discharge Associated with Industrial Activity* (NOI) and the accompanying processing fee. This letter acknowledges that:

- your NOI is complete;
- your processing fee is paid-in-full; and
- you are covered under the *Multi-Sector Generic Permit for Stormwater Discharge Associated with Industrial Activity* (MSGP).

Your facility identification number is **FLR05H716-002**. Please include this number on all future correspondence to the Department regarding this permit.

This letter is **not** your permit; however, it does serve as **verification of permit coverage**. A copy of the sector-specific permit language is available [online](#) or by contacting the NPDES Stormwater Notices Center. Your facility falls under **Sector P, N, Q** of the MSGP.

Your permit coverage becomes effective **7/27/2019** and will expire **7/26/2024**. To terminate coverage prior to this expiration date, you must file a *National Pollutant Discharge Elimination System (NPDES) Stormwater Notice of Termination*, DEP Form 62-621.300(6). To renew your coverage beyond the expiration date, you must submit a new NOI and processing fee to the Department no later than two days before coverage expires.

Until your permit coverage is terminated, modified, or revoked, you are authorized to discharge stormwater from your facility to surface waters in accordance with the terms and conditions of the MSGP. Three key conditions of the MSGP are:

- implementing your stormwater pollution prevention plan (SWPPP);
- retaining the records required by the permit (including your SWPPP) at your facility; and
- conducting your required monitoring.

Required Monitoring:

Analytical Monitoring

Analytical samples of your stormwater discharge(s) must be collected and analyzed at least once each calendar quarter after a qualifying rain event during the periods of January through March, April through June, July through September, and October through December during years **two** and **four** of your permit cycle for the parameters specified in your Sector(s).

Analytical monitoring must be conducted in accordance with the following schedule:

- Year **two monitoring period** begins January 1, 2020 and ends December 31, 2020
- Year **four monitoring period** begins January 1, 2022 and ends December 31, 2022

The samples must be analyzed by a laboratory that has been certified by the Department of Health Environmental Laboratory Certification Program (DOH ELCP). At the end of the monitoring year, you must average your quarterly Discharge Monitoring Report (DMR) results and record the quarterly average on an annual DMR form. If there is no stormwater discharged from your facility after a qualifying rain event during a calendar quarter, you must still complete and sign a DMR form for that quarter indicating “No Discharge” by checking the box at the top of the form.

DMR Submission Requirements

The permittee shall use the electronic DMR system approved by the Department (EzDMR) and shall electronically submit the completed DMR forms using the [DEP Business Portal](#), unless the permittee has a waiver from the Department in accordance with 40 CFR 127.15. These requirements were adopted on November 16, 2017 in [Rule 62-621.250, F.A.C.](#) Reports shall be submitted to the Department by March 31st of the year following your monitoring period or year. For example, analytical monitoring results for 2014 would be due no later than March 31, 2015.

If you have any questions concerning this acknowledgment letter, please contact the NPDES Stormwater Notices Center at (866) 336-6312.

Sincerely,



Krishna Baral
NPDES Stormwater Program
Florida Department of Environmental Protection

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within **14** days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within **14** days of publication of the notice or within **14** days of receipt of the written notice, whichever occurs first. The failure to file a petition within the

appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

EXECUTION AND CLERKING

Executed in Tallahassee, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Borja Crane-Amores
Environmental Administrator

Attachment(s):

1.

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Robin Babin, Florida Department of Environmental Protection,
Robin.Babin@floridadep.gov

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F. S., with the designated Department Clerk, receipt of which is hereby acknowledged.



Clerk

July 25, 2019

Date

Jose Soler

From: Baral, Krishna <Krishna.Baral@dep.state.fl.us>
Sent: Tuesday, August 06, 2019 12:23 PM
To: Gary Bosco; Jose Soler
Cc: NPDES, Stormwater
Subject: NPDES Acknowledgement Letter
Attachments: Sector N.pdf; Sector Q.pdf; Sector P.pdf; MSGP_Permit Language Ammended.pdf; EzDMR_Guide.pdf; MSGP Monitoring Guide.pdf; FLR05H716_Ack.pdf

Importance: High

This email was received from a sender OUTSIDE the Port of Palm Beach Network.

Please use extreme caution when replying to unknown senders.

- Port of Palm Beach IT Support

Dear Permittee,

Attached is your respective FDEP Acknowledgment Letter for your completed submittal. The attached will be the only documentation you receive in regards to your permit coverage. Please keep this e-mail for your records.

Should you have any questions, please do not hesitate to contact the NPDES Stormwater Notices Center at 1-866-336-6312 (toll-free) or via email at npdes-stormwater@dep.state.fl.us.

Thank you and have a great day!



Krishna P Baral

Computer Operator II | NPDES Stormwater Program
2600 Blair Stone Rd #3585
Tallahassee, FL 32399
(850) 245-7610 Phone | (850) 245-7524 Fax

Please consider the environment before printing this email. 

Please [register](#) to file your NOIs/NOTs [online](#).

-- Note: Please ensure the appropriate signatory obtains a PIN. --

[Click here](#) for guidance on how to apply for a PIN.



Jeremy B. Shir, Esq.
Attorney at Law
Phone: (954) 364-6028 Fax: (954) 985-4176
jshir@beckerlawyers.com



Becker & Poliakoff
1 East Broward Blvd., Suite 1800
Ft. Lauderdale, FL 33301

Via Email: MSavagedunham@Rivierabeach.org

Mary Savage Dunham
Assistant Director of Development Services
Development Services Department
City of Riviera Beach
600 W. Blue Heron Blvd.
Riviera Beach, FL 33404

Re: **Florida Sunstar Logistics (SP-21-01; ZA-21-01) Response to City Comments received 3/10/2021**

Dear Ms. Dunham,

We respectfully submit responses to your comments as follows:

Response to Planning Comments

1. The distance from the proposed cement storage dome and the nearest boundary described in the text amendment (“central area”) is 70.5 ft.

The dome structure is a fully designed structure in accordance with all of the latest building codes. The safety factors used in the design of the dome come from the same code source as those used in any high rise metal frame residential structure. These safety factors are developed and used by structural engineers to preclude the need for a “fall zone” or safety clearance. Those terms are applied to parts of structures during construction that are being temporarily braced to resist a load sufficient to safely construct the building, but less than the full code required strength. In the case of the dome, the structure is designed to resist the full code required loading. The dome is also structurally designed to safely support 100 million pounds of cement.

Additionally, from an observational perspective, the dome is very low compared to its diameter (aspect ratio of 150’ height/120’ width = 1.25). Considering the weight of the structure it is simply impossible for the dome to “topple over”.

2. Please see attached letter from Ron Coddington, Port Engineer.
3. We estimate over 100 temporary construction jobs during the course of the build. These jobs will include both skilled and unskilled jobs from laborers, carpenters, excavators, pipefitters, welders, electricians, ironmen and data technicians. We are estimating

approximately 110 full time jobs once construction is complete. Approximately 10-12 of these positions will be onsite with varying degrees of skill sets and experience. Job titles include Site Manager, Site Operators, Administrative Assistant, Deckhands, Mechanics, etc. All other positions will be related to truck drivers loading material from the Port and delivering to the local market.

4. Florida Sunstar Logistics, and our parent company, have a legacy of serving and making a positive impact in the areas we live, work and play. We seek opportunities to work together to build our families and communities. Through donations and charitable contributions we look to make a positive impact on individuals, their families and the community for generations. The steps taken are often unique to each community where some communities have been more organized than others. We would be open to participating in some way with Riviera Beach in the establishment of a network and foundations that can provide outreach and support to local residents.
5. Sunstar understands that a negotiated settlement to the question of landscaping is required as part of this project.
6. Municode Section 26-5 Table III offers bonuses for the IG district: Reduction in spaces or size (no limit) based on demonstrated use or alternative plan. It must be demonstrated that the requirement is unrealistic for a particular use (i.e., based on number of employees) or that an alternative plan, such as park and ride, is available. The parking calculation utilized is per the maximum number of employees that would be at the site in one shift, which is 16 employees for the site (not just the office building).
7. Please see revisions to site plan showing safe pedestrian access from parking to office meeting ADA requirements.
8. Please see revisions to site plan showing truck travel route out of the site.
9. The lighting will be installed approximately 10 feet below the top of the bridge. Also the lighting will have the Barn Door Light Shield as shown on Sheet E-4.
10. Lighting was design to minimize the number of poles on the site that could be in conflict with the trucks. By minimizing the spill, the lighting levels on the site would decrease and cause a possible personnel safety issue with the trucks moving on the site. The lighting fixtures selected meets the IDA dark sky certification as shown on the cut sheet on E-3 and E-4.

March 16, 2021

Page 3

11. Please see revisions to site plan North and South Elevations detailing signage for Riviera Beach.
12. The location of the dome structure, bridge and intersection of Access Rd. & Broadway offer a unique opportunity to visually invite residents, businesses and the public into the City of Riviera Beach. Florida Sunstar Logistics would be open to participating with the City and other area businesses in efforts to enhance and beautify the bridge and south gateway leading into the City.
13. Yes, this text amendment will create a new subsection "a" into Section 31-383(2), raising the allowable height in the IG general industrial district Central Area to 150 feet; Central Area is defined as being bordered by W Port Road & Broadway Ave, Avenue E, and Dr. Martin Luther King Jr. Blvd.
14. Noted. We would like to thank staff for all of their hard work and assistance in bring this project to fruition.

Response to Engineering and Public Works Comments

Noted. Please see response to Planning Comment #5.

Sincerely,
Jeremy Shir



For the Firm



Development Services Department
City of Riviera Beach, Florida
600 W. Blue Heron Blvd.
Riviera Beach, FL 33404

March 11, 2021

Jeremy Shir, Becker Law
1 East Broward Blvd., Suite #1800
Fort Lauderdale, Florida 33301

Re: Florida Sunstar Logistics (SP-21-01; ZA-21-01)

Dear Mr. Shir:

We have reviewed your submittals and offer comments and questions for your consideration and response, as follows:

Engineering/Public Works comments: attached.
Fire Prevention comments: attached.
Police comments: pending.

Planning Comments:

1. How far is the proposed structure to the closest boundary of this "central area" of the IG district? What is the industry standard for a fall zone or clearance for a dome of this height and design?
2. What is the total area and total number of parcels that would be subject to this zoning text amendment and do all affected parties support the applications? Have the adjacent businesses or tenants been advised of this pending project and if so have there been any concerns or objections? Do you have documentation that notice has been provided?
3. We take note of and appreciate your stated commitment to provide temporary as well as permanent employment opportunities to local residents. Can you provide any additional information about the number and types of jobs to be created? Will the employment opportunities span the range of jobs on site as opposed to being all truck driver or construction positions?
4. Has Florida Sunstar ever engaged with a local community without a great deal of established networks and foundations with whom to work with and if yes, what steps did you take to help establish a framework for charitable foundations, local outreach and support systems for community residents.

"The Best Waterfront City in Which to Live, Work And Play."



5. Because we understand that there is not a practical opportunity to provide landscaping on site we asked that you calculate the landscape requirement for this project and as discussed the city will partner with you to have it installed off-site to mitigate the impact of the development. We have received your landscape analysis and provided it to the Administration for their information and review.
6. Parking has been provided for the office use but not for the industrial storage use. Please review the parking requirements in Chapter 31 Section VIII and determine if the principal use is a wholesale/warehousing establishment or industrial plant or something else. The parking table should reflect the parking required for the site in accordance with the uses on site. ARTICLE VII. - OFF-STREET PARKING AND LOADING | Code of Ordinances | Riviera Beach, FL | Municode Library.
7. Please revise site plan to show a safe pedestrian access from the parking to the proposed office including ADA provisions.
8. Please delineate truck travel route after being loaded both circumnavigating the site and exiting the site.
9. Is the lighting to be installed shielded so as to not create glare for vehicular traffic on the overpass?
10. On the photometric plan there are in some instances high light spill at the boundaries of this parcel (although still well within the overall IG district). Are there opportunities to reduce the lighting or better shield or focus it to reduce spill over while still providing sufficient light levels for operations? Is the lighting dark sky compliant?
11. The renderings of the dome show a proposed dolphin mural and the words "Riviera Beach" are to decorate the structure, and illustrate how it will appear when it is illuminated and how it will appear during the day. Can the text be placed so as to be visible to traffic traveling in either direction over the bridge, or, could you have "Riviera Beach" appear twice to achieve this goal? Please add a detail to the site plan incorporating the proposed artwork on the structure into the plans. We will look to see the artwork is completed per your proposal as approved by the City Council prior to Certificate of Occupancy.
12. The adjacent bridge and the "Welcome to Riviera Beach" sign comprise one of the more critical gateways to the city and at the same time it is the gateway most in need of beautification and enhancement. The City is interested in securing a design for enhancements to the bridge and gateway and we are hoping adjacent businesses such as Florida Sunstar would be interested in partnering with the City on this important effort. What are your thoughts about this gateway beautification concept?
13. For the text amendment, are you proposing to insert into Section 31-383 (2) a new subsection "a", which would state "within the central area of the IG district, defined as



that area bordered by W Port Rd & Broadway Ave, Avenue E, and Dr. Martin Luther King Jr Blvd., the Maximum Building Height is 150 feet.” ?

14. Written responses to comments are required. Resubmittals are received on the first and third Thursday by appointment coordinated with Ms. Weathers in our office. Our goal is to have this project on the April 8th PZB meeting. At this point I see no substantive issues that would delay that schedule.

Please do not hesitate to contact me with any questions or concerns.

Respectfully,



Mary F. Savage Dunham, AICP, CFM
Assistant Director of Development Services
City of Riviera Beach
600 W. Blue Heron Blvd.
Riviera Beach, FL 33404
Office: (561) 845-4037
msavagedunham@rivierabeach.org
www.rivierabeach.org

"The Best Waterfront City in Which to Live, Work And Play."



CITY OF RIVIERA BEACH
RIVIERA BEACH, FLORIDA 33419

• P. O. Drawer 10682 •

DEPARTMENT OF PUBLIC WORKS


INTER-DEPARTMENTAL COMMUNICATION

Tel. (561) 845-4080

Fax (561) 840-4845

MEMORANDUM

TO: Clarence Simons, Director Development Services

FROM: Terrence N. Bailey, PE, Public Works Director 

DATE: 3/10/2021

RE: Site Plan Review – SP-21-01 Site Plan Application & ZA-21-01 Text Amendment Florida Sunstar Logistics, LLC-Port of Palm Beach

Engineering and Public Works comments are provided below:

1. Please be reminded that any mitigation proposed for required landscaping should not include additional maintenance obligation on the City.



Riviera Beach Fire Rescue

Bureau of Fire Prevention

600 W Blue Heron Boulevard • Riviera Beach, Florida 33404

Telephone: 561-845-4106 • Facsimile: 561-845-4137

TO: Mary F. Savage Dunham, AICP, CFM Assistant Director of Development Services

FROM: Frank Stallworth, Fire Plan Reviewer

DATE: March 8, 2021

SUBJECT: SP-21-01 fire site review for Florida Sunstar Logistics 1 East 11th Street
Port Palm Beach. PC# 56-43-42-33-29-000-0020.

Comments

The applicant is proposing to construct one cement storage dome 150' feet in height, with stair-tower, one office building and parking area.

The Fire Prevention Bureau has no comments at this time.

Savage-Dunham, Mary

From: Grimm, Michael
Sent: Friday, March 12, 2021 9:15 AM
To: Savage-Dunham, Mary
Subject: RE: New Applications: Florida Sunstar Logistics- Port of Palm Beach

No comments.

Michael Grimm, CBO, CFM
Building Official
City of Riviera Beach
600 W. Blue Heron Blvd.
Riviera Beach, FL 33404
Office: (561) 845-4008
Cell: (561) 329-5667
Email: mgrimm@rivierabeach.org

From: Savage-Dunham, Mary <msavagedunham@rivierabeach.org>
Sent: Monday, February 22, 2021 2:19 PM
To: fstallworth42@gmail.com; Bailey, Terrence <TBailey@rivierabeach.org>; Grimm, Michael <MGrimm@rivierabeach.org>; Steve Thomas <sthomas@rbpublicsafety.org>; Armstrong, John <JArmstrong@rivierabeach.org>
Cc: Sirmons, Clarence <CSirmons@rivierabeach.org>; Leger, Josue <JLeger@rivierabeach.org>; Davidson, Simone <SDavidson@rivierabeach.org>; Joyce, Grace <GJoyce@rivierabeach.org>
Subject: New Applications: Florida Sunstar Logistics- Port of Palm Beach

Good afternoon,

Development Services has received two new applications for **Florida Sunstar Logistics, LLC – Port of Palm Beach: SP-21-01 Site Plan Application & ZA-21-01 Text Amendment**. We are distributing the hardcopies this afternoon in the office and bringing PW and UD copies to the DRC meeting tomorrow. **Please provide any comments you have in writing by March 9, 2021.**

Project Summary:

This project involves a +/- 3.97 acre parcel located at the Port of Palm Beach east of Avenue E and north of W. Port Rd. The parcel is zoned IG. The project includes construction of a 150' structure to store and transfer cement products and related site improvements. The text amendment is related to the desired height which exceeds our current regulations. While no landscaping is shown on this site the applicant intends to discuss with the administration opportunities to improve nearby corridors with the commensurate quantity of landscape material. Any agreement reached would ultimately be captured in the resolution for the project.

Please do not hesitate to reach out with any questions.

Respectfully,

Mary F. Savage Dunham, AICP, CFM
Assistant Director of Development Services
City of Riviera Beach
600 W. Blue Heron Blvd.



Riviera Beach Fire Rescue

Bureau of Fire Prevention

600 W Blue Heron Boulevard • Riviera Beach, Florida 33404

Telephone: 561-845-4106 • Facsimile: 561-845-4137

TO: Mary F. Savage Dunham, AICP, CFM Assistant Director of Development Services

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DATE: March 8, 2021

SUBJECT: SP-21-01 fire site review for Florida Sunstar Logistics 1 East 11th Street
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Comments

The applicant is proposing to construct one cement storage dome 150' feet in height, with stair-tower, one office building and parking area.

The Fire Prevention Bureau has no comments at this time.

Savage-Dunham, Mary

From: Armstrong, John
Sent: Thursday, March 11, 2021 5:58 PM
To: Savage-Dunham, Mary
Subject: RE: New Applications: Florida Sunstar Logistics- Port of Palm Beach

Ms. Dunham,

Hi, the USD has no objection to the Site Plan.

Sincerely,

John A. Armstrong, P.E.
Senior Utilities Engineer
City of Riviera Beach | Utility Special District
600 West Blue Heron Boulevard
Riviera Beach, FL 33404
Office: (561) 845-3457
Email: Jarmstrong@rivierabeach.org

From: Savage-Dunham, Mary <msavagedunham@rivierabeach.org>
Sent: Friday, March 5, 2021 7:52 AM
To: fstallworth42@gmail.com; Bailey, Terrence <TBailey@rivierabeach.org>; Grimm, Michael <MGrimm@rivierabeach.org>; Steve Thomas <sthomas@rbpublicsafety.org>; Armstrong, John <JArmstrong@rivierabeach.org>
Cc: Sirmons, Clarence <CSirmons@rivierabeach.org>; Leger, Josue <JLeger@rivierabeach.org>; Davidson, Simone <SDavidson@rivierabeach.org>; Joyce, Grace <GJoyce@rivierabeach.org>
Subject: RE: New Applications: Florida Sunstar Logistics- Port of Palm Beach

Good morning,

Development Services has received two supplements to the original application, attached:

- A memo on the landscape required for this project per code and Dev. Services is considering a financial contribution towards landscape projects off site in lieu of the on-site installation;
- The traffic statement.

We will distribute hardcopies for your use and information. As a reminder staff comments on the project are requested **by March 9, 2021**.

Thank you,

Mary Savage Dunham

From: Savage-Dunham, Mary
Sent: Monday, February 22, 2021 2:19 PM
To: fstallworth42@gmail.com; Bailey, Terrence <TBailey@rivierabeach.org>; Grimm, Michael <MGrimm@rivierabeach.org>; Steve Thomas <sthomas@rbpublicsafety.org>; Armstrong, John

<JArmstrong@rivierabeach.org>

Cc: Sirmons, Clarence <CSirmons@rivierabeach.org>; Leger, Josue <JLeger@rivierabeach.org>; Davidson, Simone <SDavidson@rivierabeach.org>; Joyce, Grace <GJoyce@rivierabeach.org>

Subject: New Applications: Florida Sunstar Logistics- Port of Palm Beach

Good afternoon,

Development Services has received two new applications for **Florida Sunstar Logistics, LLC – Port of Palm Beach: SP-21-01** Site Plan Application & **ZA-21-01** Text Amendment. We are distributing the hardcopies this afternoon in the office and bringing PW and UD copies to the DRC meeting tomorrow. **Please provide any comments you have in writing by March 9, 2021.**

Project Summary:

This project involves a +/- 3.97 acre parcel located at the Port of Palm Beach east of Avenue E and north of W. Port Rd. The parcel is zoned IG. The project includes construction of a 150' structure to store and transfer cement products and related site improvements. The text amendment is related to the desired height which exceeds our current regulations. While no landscaping is shown on this site the applicant intends to discuss with the administration opportunities to improve nearby corridors with the commensurate quantity of landscape material. Any agreement reached would ultimately be captured in the resolution for the project.

Please do not hesitate to reach out with any questions.

Respectfully,

Mary F. Savage Dunham, AICP, CFM
Assistant Director of Development Services
City of Riviera Beach
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