

## MEETING AGENDA PLANNING AND ZONING BOARD CITY OF RIVIERA BEACH, FL

LOCAL PLANNING AGENCY

Development Services Department: (561)845-4060, www.rivierabch.com

Commencement – 6:30 PM Thursday, June 10, 2021 Riviera Beach – Event Center 190 E 13<sup>th</sup> Street, Riviera Beach, FL33404

Due to COVID-19, attendees must adhere to the City of Riviera Beach guidelines.

If you wish to speak on any item(s) on this agenda, please complete a public comment card and provide it to Planning and Zoning Staff. Cards must be submitted prior to Board discussion of an item. Thank you.

#### I. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE

#### II. ROLL CALL

Evelyn Harris Clark, Chairperson Anthony Brown, Board Member William Wyly, Board Member Vacancy, Board Member Moeti Ncube, 1<sup>St</sup> Alternate Rena Burgess, Vice-Chair Margaret Shepherd, Board Member James Gallon, Board Member

Vacant, 2<sup>nd</sup> Alternate

- III. ACKNOWLEDGEMENT OF BOARD MEMBER ABSENCE NOTIFICATION
- IV. ADDITIONS AND DELETIONS TO THE AGENDA
- V. DISCLOSURE BY BOARD MEMBERS AND ADOPTION OF THE AGENDA
- VI. APPROVAL OF MINUTES None
- VII. UNFINISHED BUSINESS -
- VIII. NEW BUSINESS
- A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-20-26) FROM SALT POND PROPERTY, TO OPERATE A CHILD CARE FACILITY (58 CHILDREN) OCCUPYING PORTION OF AN EXISTING 9,609 SQUARE FEET (SF) BUILDING, WITH APPROXIMATELY 3,886 SF IN BUILDING AREA DESIGNATED FOR THE CHILD CARE USE AND APPROXIMATELY 3,013 SF DESIGNATED FOR OUTDOOR PLAY AREA, ON A 0.89-ACRE PARCEL OF LAND, LOCATED ON THE NORTHWEST CORNER OF AVENUE E AND WEST 14<sup>TH</sup> STREET, WITH POSTAL ADDRESS 1401 AVENUE E, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-33-04-003-0011, HAVING A DOWNTOWN MIXED USE (DMU) FUTURE LAND USE DESIGNATION AND A DOWNTOWN GENERAL (DG) ZONING DESIGNATION, PROVIDING FOR CONDITIONS OF APPROVAL, AND PROVIDING FOR AN EFFECTIVE DATE.
- B. A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-21-05) FROM THE CITY OF RIVIERA BEACH TO ALLOW FOR THE CONSTRUCTION OF A TEMPORARY FIRE STATION FACILITY INCLUDING A 2,880 SQUARE FOOT TEMPORARY FIRE STATION 87, A 4,000 SQUARE FOOT APPARATUS BAY AND A 3,192

SQUARE FOOT STORAGE BUILDING WITH ASSOCIATED LANDSCAPING AND PARKING ON PROPERTY KNOWN AS 601 BLUE HERON, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-28-25-029-0000, HAVING A RECREATIONAL (REC) FUTURE LAND USE DESIGNATION AND A COMMUNITY FACILITIES (CF) ZONING DESIGNATION, PROVIDING FOR CONDITIONS OF APPROVAL, AND PROVIDING FOR AN EFFECTIVE DATE.

#### **IX. WORKSHOP ITEMS** – None.

#### X. GENERAL DISCUSSION

- A. PUBLIC COMMENTS
- B. CORRESPONDENCE
- C. PLANNING AND ZONING BOARD COMMENTS
  - A. Project Updates / Upcoming Projects
  - B. Upcoming P&Z Board Meetings June 24, 2021.

#### XI. ADJOURNMENT

<u>NOTICE</u>: In accordance with the Americans with Disabilities Act, persons in need of a special accommodation to participate in this proceeding shall, within a reasonable time prior to any proceeding, contact the City of Riviera Beach, 600 West Blue Heron Boulevard, Riviera Beach, Florida 33404, Telephone 561-845-4000 or TDD 561-840-3350, <u>www.rivierabch.com</u>.



#### CITY OF RIVIERA BEACH STAFF REPORT CASE NUMBER SP-20-26, CHILD CARE FACILITY PLANNING AND ZONING BOARD – JUNE 10, 2021

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-20-26) FROM SALT POND PROPERTY, TO OPERATE A CHILD CARE FACILITY (58 CHILDREN) OCCUPYING PORTIONS OF AN EXISTING 9,609 SQUARE FEET (SF) BUILDING, WITH APPROXIMATELY 3,886 SF IN BUILDING AREA DESIGNATED FOR THE CHILD CARE USE AND APPROXIMATELY 3,013 SF DESIGNATED FOR OUTDOOR PLAY AREA, ON A 0.89-ACRE PARCEL OF LAND, LOCATED ON THE NORTHWEST CORNER OF AVENUE E AND WEST 14TH STREET, WITH POSTAL ADDRESS 1401 AVENUE E, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-33-04-003-0011, HAVING A DOWNTOWN MIXED USE (DMU) FUTURE LAND USE DESIGNATION AND A DOWNTOWN GENERAL (DG) ZONING DESIGNATION, PROVIDING FOR CONDITIONS OF APPROVAL, AND PROVIDING FOR AN EFFECTIVE DATE.

**A. Applicants:** Salt Pond Property - Owner

**B. Request:** The applicant is requesting approval to operate a childcare facility (58 children) at an existing 9,609 square feet (SF) building, with approximately 3,886 SF (in building area) designated for the childcare use and approximately 3,013 SF for outdoor play area.

**C. Location:** The subject property is located, at the Northwest corner of Avenue E and W 14<sup>th</sup> Street, with postal address 1401 Avenue E, identified by parcel control number 56-43-42-33-04-003-0011.

**D. Property Description and Uses:** The subject property description and uses are as follows:

Parcel Control Numbers: 56-43-42-33-04-003-0011.

Parcel Size: 0.74 acres (affected area)

0.89 acres (overall parcel)

Existing Use: Church / Vacant

Zoning: Downtown General (DG) Zoning District

Future Land Use: Downtown Mixed Use (DMU)

E. Adjacent Property Description and Uses:

North: Downtown Residential (DR), Downtown General (DG) Zoning Districts:

residential use

South: DR, DG Zoning Districts: vacant lots, residential and commercial use

<u>East</u>: DG Zoning District: commercial use.

West: DR Zoning District: residential use

#### F. Background:

On January 6, 2021, Anthony M. Ziaja, authorized agent for New Beginning Global Outreach Ministry, submitted an application for site plan approval (SP-20-26). The subject property is a 0.89-acre parcel, but only approximately 0.74 acre being the affected area for this application proposal. The most northeastern portions (approximately 0.15-acre) of the lot is not part of this site plan approval (as indicated on the site plan). Therefore, all future improvements (structures, parking, and use) will require site plan review, and cannot be developed as a standalone property, unless a request is made to re-plat the property to ensure compliance with the Land Development Regulations. The proposed use encompasses the operation of a childcare facility (58 children) at an existing 9,609 square feet (SF) building, with approximately 3,886 SF (in building area) designated for the childcare use and approximately 3,013 SF for outdoor play area. The remaining (5,723 SF Building area) portions of the building is currently being used as a place of worship, and its' operations will continue to remain, as shown on the site plan. Pursuant to the Applicant's justification statement, the church operates on Sunday mornings, between the hours of 10:00 am and 11:30 am; and again on Thursday nights from 6:30 pm to 9:30 pm, and the daycare facility will operate only on weekdays, Monday thru Friday, between the hours of 7:00 am and 5:30 pm. Thus, the proposed daycare and the existing church schedules will not overlap to help alleviate potential traffic and parking impact of both use.

This site plan application if approved by Council will cause this site plan to be the controlling document to remain on record and must be adhere to or amended for any future redevelopment in accordance with the Land Development Regulations.

The site plan application for the subject property is scheduled to be heard by the Planning and Zoning Board on Thursday, June 10, 2021 at 06:30 P.M.

#### G. Staff Analysis:

**Proposed Use:** The proposed use is a childcare facility for a maximum of fifty-eight (58) children total.

**Zoning Regulations:** The Downtown General (DG) Zoning District highlights the requirements for developments / redevelopment within the District. The proposed use will not modify or expand the footprint of the existing building envelope. Thus, will not have any additional impact on existing setbacks.

Separation requirement: the subject property (proposed childcare facility) is located a minimum of 500 feet from other childcare facilities, and is at least 500 feet away from any package store, bar, nightclub, or adult entertainment establishment.

*Minimum floor area:* the proposed childcare facility complies with the minimum required floor area per child (35 SF per child).

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Outdoor play area: adequate screening is provided surrounding the outdoor play area (playground) as shown on the site plan. Since the proposed childcare facility consist of 30 students or more, the Applicant is proposing a split shift basis in order to comply with the minimum required outdoor play area per child (please refer to the Applicant's justification statement for more details).

**Comprehensive Plan:** The proposal is consistent with the City's Comprehensive Plan and the Future Land Use Element.

**Uses:** The proposed use is a permitted use per the Downtown General Zoning District code section 31-536 (b) (2) – Use Regulations.

**Levels of Service**: Customary services such as water, sewer, roads and garbage collection are available to the site.

**Landscaping:** The Applicant is proposing to improve the property with new Landscaping according to the landscape plan, to be consistent with the City's landscape code requirements. The landscape plan has been reviewed and is generally sufficient. A landscape bond will be required for 110% of the cost of the improvements to be submitted prior to the issuance of a certificate of use.

**Parking/Traffic:** Parking calculations has been reviewed as part of the Site Plan application in accordance to the parking section of the Zoning Code. The site plan shows a total of thirty-three (33) parking spaces proposed, where 30 spaces required by the strict application of the code considering both the church and childcare facility uses. The Applicant is proposing one Ingress / egress access point along the southern property line adjacent to W 14<sup>th</sup> Street.

The Applicant must provide the TPS approval letter from Palm Beach County, prior to approval by the City Council.

#### H. Recommendation:

Staff recommends approval of the subject application (SP-20-26) to operate a childcare facility at an existing 9,609 square feet (SF) building, with approximately 3,886 SF (in building area) designated for the childcare use and approximately 3,013 SF for outdoor play area, located, at the Northwest corner of Avenue E and W 14<sup>th</sup> Street, with postal address 1401 Avenue E, identified by parcel control number 56-43-42-33-04-003-0011, with the following conditions of approval:

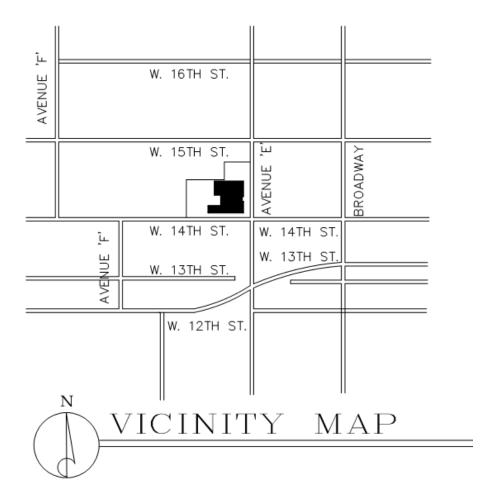
- 1. A two-year landscaping performance bond for 110% of the value of landscaping and irrigation shall be required before a Certificate of Occupancy or Certificate of Completion is issued.
- 2. Construction and landscaping improvements must be initiated within 18 months of the effective date of this Resolution in accordance with Section 31-60(b), of the City Code of Ordinances. Demolition, site preparation and/or land clearing shall not be considered construction. Building permit application and associated plans and documents shall be submitted in its entirety and shall not be accepted by City staff in a partial or incomplete manner.

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- 3. City council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than 5% from the originally approved site plan.
- 4. This development must receive final Certificate of Occupancy from the City for all uses approved within five years of the approval of the adopting resolution or the adopting resolution shall be considered null and void, requiring the applicant to resubmit application for site plan and special exception approval and re-initiate the site plan approval process.
- 5. All future advertising must state that the development is located in the City of Riviera Beach. Fees and penalties in accordance with City Code Sec. 31-554 will be levied against the property owner and/or business for violation of this condition.
- 6. Once approved, this resolution shall supersede any previous site plan approval resolutions associated with this property, causing previous site plan approval resolutions to be null and void.
- 7. The most northeastern portions (approximately 0.15-acre) of the lot is not part of this site plan approval (as indicated on the site plan). Therefore, all future improvements (structures, parking, and use) will require site plan review, and cannot be developed as a standalone property, unless a request is made to re-plat the property to ensure compliance with the Land Development Regulations.



#### **Location Map (N.T.S.)**



#### **Legal Description:** (pursuant to the applicant)

Lot 22 thru 26, and the south 64 feet of lots1 and 2, all in block 3, Inlet Grove, according to the plat thereof, as recorded in Plat Book 8, page 14, of the records of Palm Beach County, Florida.

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### John M. Nossal, Architect Florida

26 May 2021

City of Riviera Beach - Development Services 600 W. Blue Heron Blvd. Riviera Beach Florida 33404 Re: New Beginnings, 1401 Avenue 'E', Riviera Beach, Florida

#### **JUSTIFICATION**

- 1. The previous full time tenant at this facility was the Riviera Beach Police Department. In 2018, the current tenant leased the property, permitted and made numerous repairs and modifications to a portion of the interior space, to create a place of worship. No modifications to the exterior were made, or are anticipated. This portion of the building consists of meeting rooms, offices, a waiting area, a foyer, a break room, a lunch room, plus men's and women's toilet rooms. The church operates on Sunday mornings, between the hours of 10:00 am and 11:30 am; and again on Thursday nights from 6:30 pm to 9:30 pm.
- 2. The remaining portion of the building is to be used as a daycare facility. The total square footage of this building is 9,609 square feet. This daycare area will encompass 3,886.3 square feet (40.44%) of the entire building. The daycare facility will operate only on weekdays, Monday thru Friday, between the hours of 7:00 am and 5:30 pm.
- 3. The scheduling of this facility is such that the place of worship meets only on Sundays. This is the time when the most traffic will occur. The daycare area would be utilized Monday thru Friday only, and not on the weekends. The times of usage will be most conducive to the average daily schedule of the neighboring residence.
- 4. Being in a residential community, this facility will serve the local parents with small children by requiring shorter drive time for morning drop-offs and afternoon pick-ups. A traffic impact study was prepared, and the "Insignificant Traffic Impact Statement' is herewith attached.
- 5. The property owner has given their consent to the proposed usage of this facility.

#### 6. Zoning Table

	Exist Use	Future Use		
North	Downtown Residential Downtown General	Downtown Mixed Use Downtown Mixed Use		
East	Downtown General	Downtown Mixed Use		
South	Downtown Residential 15 Downtown General	Multi- Family 20 Downtown Mixed Use		
West	Downtown Residential	Multi-Family 20		

- 7. The interior improvements, as required to accommodate the daycare center, have been completed under previous permit. The existing building envelope will not be modified.
- 8. As per the Health Department, this daycare center was designed for a maximum of fifty-eight children, based on the thirty-five square feet per child requirement. The facility will provide three class rooms. All classes will have a student population of twenty-five students or less. The facility will accommodate up to a maximum of fifty-eight students. Approved signage has been displayed conspicuously by the door, inside the classroom, indicating the maximum child capacity for that room.

#### **Playground Schedule**

100 square feet playground area is required per child. Our maximum student capacity will be 58 students. To accommodate all of the children in the playground area at the same time, would require 5800 square feet of playground area. We have a total of 3013.5 square feet available. Thus, the 'Split Shift' method of scheduling will allow us to accommodate a maximum of 30 students on the playground at any time. The total 3013.5 square feet provided playground area exceeds the minimum outdoor play area requirement, being greater than that required for 1/3 of the total enrollment.

The schedule would require three play periods. Class rooms 1&2 (infants) would be combined. One half of that population will be scheduled for the first playground time. The other half will be scheduled for the second playground time. The third playground time will schedule the children over three years of age. **SEC 31-544c(6)(b)** 

- 9. Toilets, lavatories, hand sinks and drinking fountains for the children, have been installed accordingly.
- 10. Eleven workers will be employed for the care of the children.
- 11. In order for the church leadership to apply for the required licensing, the site needs to be modified to bring it into compliance with the requirements of the City of Riviera Beach ordinances for a daycare facility. To achieve this, we have prepared a set of permit drawings, representing the playground area for the children. This playground area has an existing chain link fenced-in area that was enlarged to accommodate the student population. SEC 31-62 g
- 12. The site plan represents the organization of parking and the fenced- in trash removal dumpster location. Typical parking spaces are identified as 9'-0" wide by 18'-0" deep. Handicap parking spaces are identified as 12'-0" wide and 18'-0" deep. There are landscaped islands set periodically between the parking spaces for visual softness and appeal. There will be sufficient room in the parking area vehicles to enter and exist in a forward motion. There will be no need for any vehicle to exit the main parking and student drop-off area by means of backing out into traffic. The eleven parking spaces along the east property line were original approved and permitted by the municipality, and used extensively by the previous tenant, the Riviera Beach Police Department. These parking spaces will remain. This is a pre-existing non-conformity, and is exempt from obligation and liability imposed on others. **SEC 31-62 a,b, c**

- 13. The new light fixture in the rear parking area does not bleed onto the neighbor's property. Signage will be installed to designate parking for "Student Drop-off and Pick-up Weekends Only". **SEC 31-62 f**
- 14. There will be no modifications to the existing civil, utility or storm water drainage systems. **SEC 31-62 d**
- 15. The proposed landscape layout, with the installation of twenty-three new trees and one hundred thirty-eight hedge plants, meets the intent of the 2020 Florida Statute, Sec. 31-605 Plant Material Standards and Installation Requirements. This new planting will add softness to the property, as well as curb appeal to the neighborhood. There are no palm trees included in this proposal. **SEC 31-62 e**

This action was taken in accordance with the 2017 Florida Building Code, Section 105.1 Permits: Required; and Section 107.1 Submittal Documents: General; as well as Sections 31-61, 31-62 and 31-63 of the Code of Ordinances City of Riviera Beach, Florida.

If you have any questions, please telephone my associate Anthony Ziaja, at 561.624.0395, directly. Respectfully submitted,

AR0006528

#### **CIVIL**

There are to be no modifications to the existing structure, existing civil systems, existing site drainage systems or the existing utility systems.

Respectfully submitted,

John M. Nossal

Architect

AR0006528

#### **DRAINAGE SYSTEMS**

There are to be no modifications to the existing structure, existing civil systems, existing site drainage systems or the existing utility systems.

Respectfully submitted,

John M. Nossal

Architect

AR0006528

For Staff Use Only

City of Riviera Beach		Date: Case Number:		
Community Development Department		Project Title:		
600 W. Blue Heron Boulevard Riviera Beach, Florida 33404		Fee Paid: Notices Mailed:		
	ne: (561) 845-4060	1 <sup>st</sup> Hearing: 2 <sup>nd</sup> Hearing:		
	: (561) 845-4038	Publication Dates (if required)		
	UNIFORM LAND USE APPLICATION  (Please attach separate sheet of paper for required additional information)  Complete appropriate sections of Application and sign.			
		LT Poro Property - ROLFE E. Glover - AGENT		
TNA	Mailing Address: 515 E.	PARK AUE, UNIT'S SAVANAGH, GA 31401		
APPLICANT		lenve E RIVIERA BEACH, KLORIDA 33404		
Name of Applicant (if other than owner): NEW BegINNING GLOBAL OUTREACH A				
	Home: ( ) Work: (561) 676 - 548   Fax: ( )			
	E-mail Address: THMPERFUME @ AOL. COM			
PLI	EASE ATTACH LEGAL DES			
		DMLI Current Zoning Classification: DG-DOWNTOWN GENERAL		
	Square footage of site: 32, 250 Property Control Number (PCN): 56 43 42 33 04 003 0001			
	Type and gross area of any existing non residential uses on site: 9609 5Q, FT			
	Gross area of any proposed structure: NO CHANGE TO EXISTING STRUCTURE			
Ł	Is there a current or recent use of the property that is/was in violation of City Ordinance? [ ] Yes No			
PERTY	If yes, please describe:			
PRO	Have there been any land use applications concerning all or part of this property in the last 18 months? [ ] Yes [ No			
	If yes, indicate date, nature and applicant's name:			
	Briefly describe use of adjoining prop			
		South: Residential Commercial		
East: Commercial				
		West Residential		
	T T T T T T T T T T T T T T T T T T T	. /		
	Requested Zoning Classification:	N/A		
NE NE	Is the requested zoning classification	contiguous with existing?		
REZONE	Is a Special Exception necessary for	your intended use? [ ] No		
	Is a Variance necessary for your inte	nded use? [ ] Yes [XNo		

JSE	Existing Use: Down Town Gener	1 Proposed Use: POWNTOWN MIXED USE			
N N	Land Use Designation: DG	Requested Land Use: レドレ			
RE LA	Adjacent Land Uses: North: DMU	South: MF-20/ DML			
JTURE	East: DMU	West:			
3	Size of Property Requesting Land Use Change:				

Γ	
	Describe the intended use requiring a Special Exception: DAY CARE 58 CHILDREN MAY.
SPECIAL EXCEPTION	Provide specific LDR ordinance section number and page number:
	How does intended use meet the standards in the Land Development Code?
	Demonstrate that proposed location and site is appropriate for requested use:  TRAFFIC WOULD BE MINIMAL. SITE IS CURRENTLY USED AS A CHURCH- DAY CARE WOULD BE USED WEEKDAYS ONLY.
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and
	neighborhoods: NO CHANGES WILL BE MADE TO THE EXTERIOR ENJE lope
	Demonstrate any landscaping techniques to visually screen use from adjacent uses:  Landscape is Proposed to Meet City of Riviera Beach  Landscape Code
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:
	Demonstrate how utilities and other service requirements of the use can be met:  THERE WILL BE NO CHANGE TO THE EXISTING UTILITIES AND OTHER SERVICES
	Demonstrate how the impact of traffic generated will be handled:
	On-site: THERE WILL BE INSIGNIFICANT IMPACT TO TRAFFIC
	Off-Site: THERE WILL BE INSIGNIFICANT IMPACT TO + PAFFIC
	Other: SEE TRAFFIC REPORT

VARIANCE	Describe the Variance sought:		
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site:		
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open		
	space:		
	Other:		

	Describe proposed development: Existing Buliolog AND PARILING AREAS TO REMAIN SITE WILL BE ENHANCED WITH LANDSON PING THRUDOST. AN ENCLOSUS. WILL BE BUILT (FENCING) TO CONSENT THE DUMPSTER.
SITE PLAN	Demonstrate that proposed use is appropriate to site: THE EXISTING FACILITY IS CURRENTLY BEING USED AS A PLACE OF WORSHIP. OCCUPANCY WILL REMAIN ASSEMBLY AND BUSINESS!
	Demonstrate how drainage and paving requirement will be met: THE EXISTING PRAINAGE AND PAVING SYSTEMS WILL REMAIN
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: MARY SPECIES OF TREES ARE SELECTED THAT WILL GIVE THE NEIGHBORS VISUAL PRIVACY
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:  THE CHILDREN WILL BE SUPPRUISED AT ALL TIMES. THE PLAY YNRO IS  COMPLETELY FENCED IN. HOURS OF GERNTION CORRELATE WITH A TYPICAL
	Demonstrate how utilities and other service requirements of the use can be met.  THE EXISTING UTILITIES AND SURVICES WILL REMAIN.
	Demonstrate how the impact of traffic generated will be handled: SIGNIFICANTLY LESS TRAFFIC THAN THE PRENIOUS TENANT. THE POLICE DEPART MENT. PARKING IS ON SITO On-site: WITH DESIGNATED SPOTS FOR PICK UP AND DROP OFF  TRAFFIC TO THE SITE WILL BE INSIGNIFICAT. SEE ATTACHED Off-site: 'INSIGNIFICANT TRAFFIC IMPACT STATEMENT'

#### COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:

- Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit.
- Antenna manufacture cut sheets including antenna size and shape.
- · Zoning map of area with site clearly marked.
- Photos of existing building or tower and surrounding uses.
- Letter of non-interference and PCC compliance from applicant's Radio Frequency Professional.
- Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop.
- Letter of structural capacity and building code compliance.
- Notes on plan or letter demonstrating floor area coverage not in excess of restrictions
- Provide Photo Enhancements of proposal.
- · Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

#### **Confirmation of Information Accuracy**

I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.

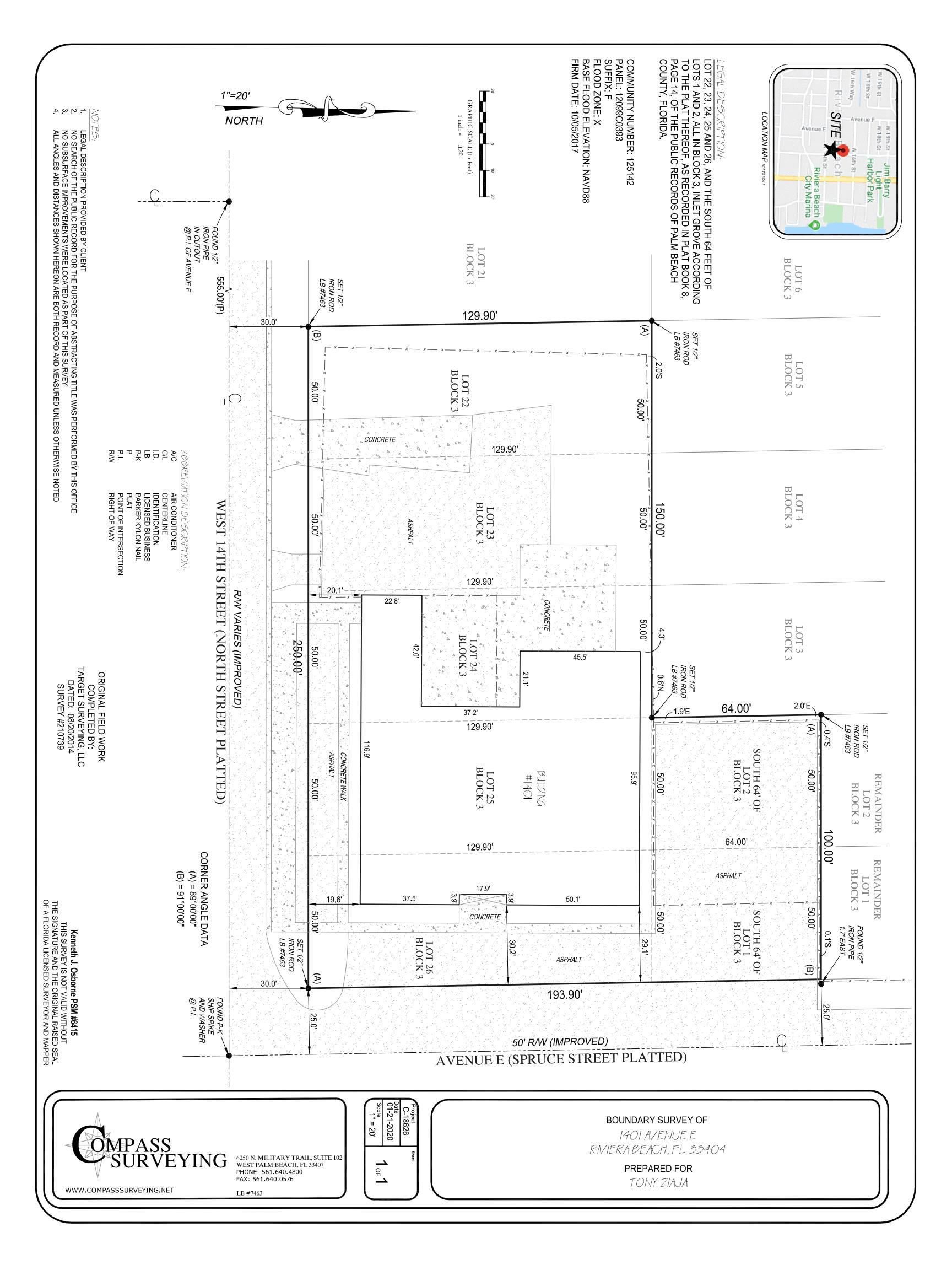
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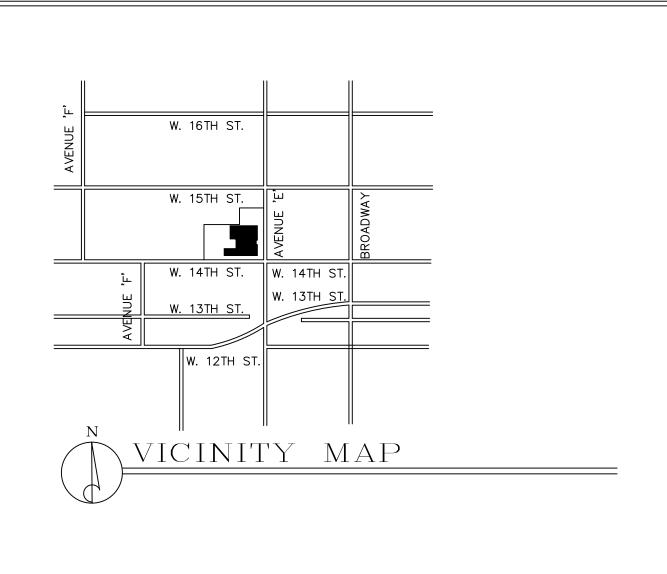
Signature

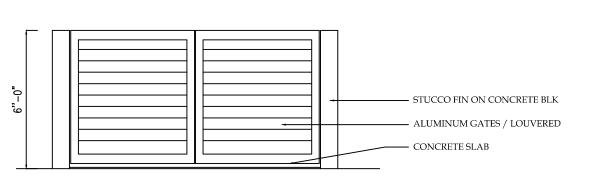
Date

# AGENT AUTHORIZATION FORM

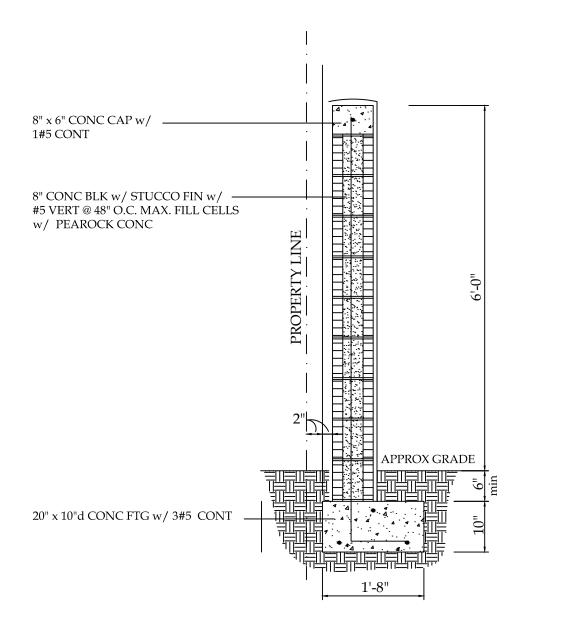
Owner(s) of Reco	ord: Solf John Troperty	
STATE OF FLOR		
COUNTY OF PA	LM BEACH	
BEFORE M	E, the undersigned authority personally appeared Isoff G/6	res
	g some solf sol	
who, being tirst of record of the follo	July sworn upon oath and personal knowledge say(s) that they are the owing described real property:	owner(s) of
1401	Avenue E, Riviera Beach	12
the street address		
and that we herek	y appoint:	
Name:	ANTHONY M. ZINIA	
		DETERMINATION OF THE PARTY.
Address:	4375 PAFFODIL CIRCLE NORTH	<del></del>
	FALM BRACH GARDENS, FLA 33410	
Telephone:	161-624-0395	
ightesettt tile (n2)	agent, to file applications and papers with the City of Riviera Bead at any Hearing regarding my (our) interest. In Impagree ments	ch, and to
for a day	care fic. 1.ty.	7
		(Seal)
		(Seal)
		(Seal)
Curara to and auk	scribed before me this $2^{nd}$ day of $5^{nd}$ . $2021$ .	(Ocal)
owom to and sub:	scribed before me this day of,,	
	WILLIAMES SINGILL	
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Uniform Land Line Asstract	ET. PUBLIC S. VE	
Uniform Land Use Applicat	5.2.04-01 2022: OS	A







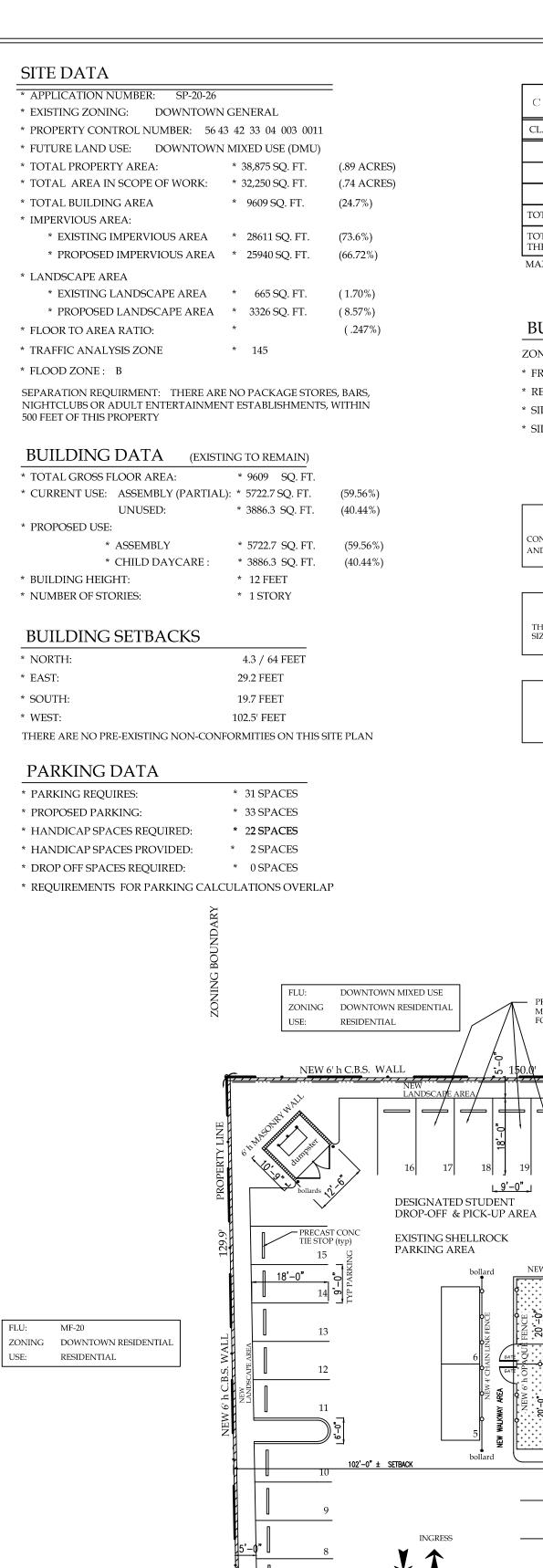
ELEV @ DUMPSTER DOORS



GARDEN WALL



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1		<u>:</u>				
NUMBER: SP-20-26 ING: DOWNTOWN	CENIEDAI			CHILD OCC	CUPANCY P	ER ROC
NTROL NUMBER: 56 43				CLASSROOM	MAXIMUM CHIL	D OCCUPAN
	MIXED USE (DMU)			1	22 CHIL	
RTY AREA:	* 38,875 SQ. FT.	(.89 ACRES)		2	11 CHIL	
IN SCOPE OF WORK:	* 32,250 SQ. FT.	(.74 ACRES)			<del> </del>	
NG AREA	* 9609 SQ. FT.	(24.7%)		3	25 CHIL	
AREA:				TOTAL PROVIDED		
IMPERVIOUS AREA	* 28611 SQ. FT.	(73.6%)		TOTAL ALLOWED THE FACILITY:	AT 58 CHIL	DREN
D IMPERVIOUS AREA	* 25940 SQ. FT.	(66.72%)		MAX OCCUPANCY	CALCULATED @ 35	SQ. FT PER C
REA		(00)				
G LANDSCAPE AREA	* 665 SQ. FT.	(1.70%)				
D LANDSCAPE AREA	* 3326 SQ. FT.	(8.57%)		BLIII DINIC	CETRACVO	
EA RATIO:	*	( .247%)		DUILDING	SETBACKS	
LYSIS ZONE	* 145			ZONING: DOWN	TOWN GENERAL	(req'd)
В				* FRONT (EAST):		10.0
QUIRMENT: THERE ARE		· ·		* REAR (WEST):		29.2
ADULT ENTERTAINMEN PROPERTY	I ESTABLISHMENTS,	WIIHIN		* SIDE (NORTH):		-0-
				* SIDE (SOUTH - S	SIDE STREET):	10.0
G DATA (EXISTII	NG TO REMAIN)					
FLOOR AREA:	* 9609 SQ. FT.					
: ASSEMBLY (PARTIAL)	): * 5722.7 SQ. FT.	(59.56%)				
UNUSED:	* 3886.3 SQ. FT.	(40.44%)		CONCUI	RRENCY STATEMENT	
E:					.PPROVED FOR THE AB	OVETICES
* ASSEMBLY	* 5722.7 SQ. FT.	(59.56%)		AND AMOUNTS SHO		OVE USES
* CHILD DAYCARE:	* 3886.3 SQ. FT.	(40.44%)				
GHT: FORIES:	* 12 FEET * 1 STORY					
TORIES.	1310K1				C.R.A.	
				THERE ARE NO MOI	DIFICATIONS TO THE B	UILDING
G SETBACKS				SIZE, SHAPE OR HEI	GHI.	
	4.3 / 64 FEET					_
	29.2 FEET			HEAL	LTH DEPARTMENT	
	19.7 FEET					
	102.5' FEET			NO MODIFICA THE STRUCTU	ATIONS TO THE NTERIC JRE	OR OF
RE-EXISTING NON-CONF	ORMITIES ON THIS SI	TE PLAN				
DATA						
	* 21 CD A CEC				•	
UIRES:	* 31 SPACES					
RKING:	* 33 SPACES					
ACES REQUIRED: ACES PROVIDED:	* 22 SPACES * 2 SPACES					
ACES PROVIDED:	* 0 SPACES				≿	
IS FOR PARKING CALC		0			₽AF	
	CLATIONS OVERLAI				2	
ARY					. BO	
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NO.					ZONING BOUNDARY	
JG E			_		17	
ZONING BOUNDARY	FLU:	DOWNTOWN MIXED USE		— PROVIDE APPR'D S	IGNAGE ON	
ZC	ZONING USE:	DOWNTOWN RESIDENTIAL RESIDENTIAL		METAL POST SIGNI FOUR AREAS AS DI	IFYING THESE	
	331.		۱ / / ۲	\	1	
			/ /p			
g	NEW 6	h C.B.S. WALL	/ in 15	50.0 PROPERTY L		h WOOD F

NEW 6' h OPAQUE FENCE

PROPOSED AREA

LANDSCAPE

--- NEW

W. 14th STREET (NORTH STREET PLATTED)

MF-20

RESIDENTIAL

ZONING DR-15

LANDSCAPE

·PLAYGROUND -:

EGRESS

LOT 22 THRU 26, AND THE SOUTH 64 FEET OF LOTS 1 AND 2, ALL IN

BLOCK 3, INLET GROVE, ACCORDING TO THE PLAT THEREOF, AS

LEGAL DESCRIPTION

PROPOSED AREA

CEMENT SLAB.

3013.5 SQ. FT.

PROPOSED TOTAL

PLAYGROUND AREA

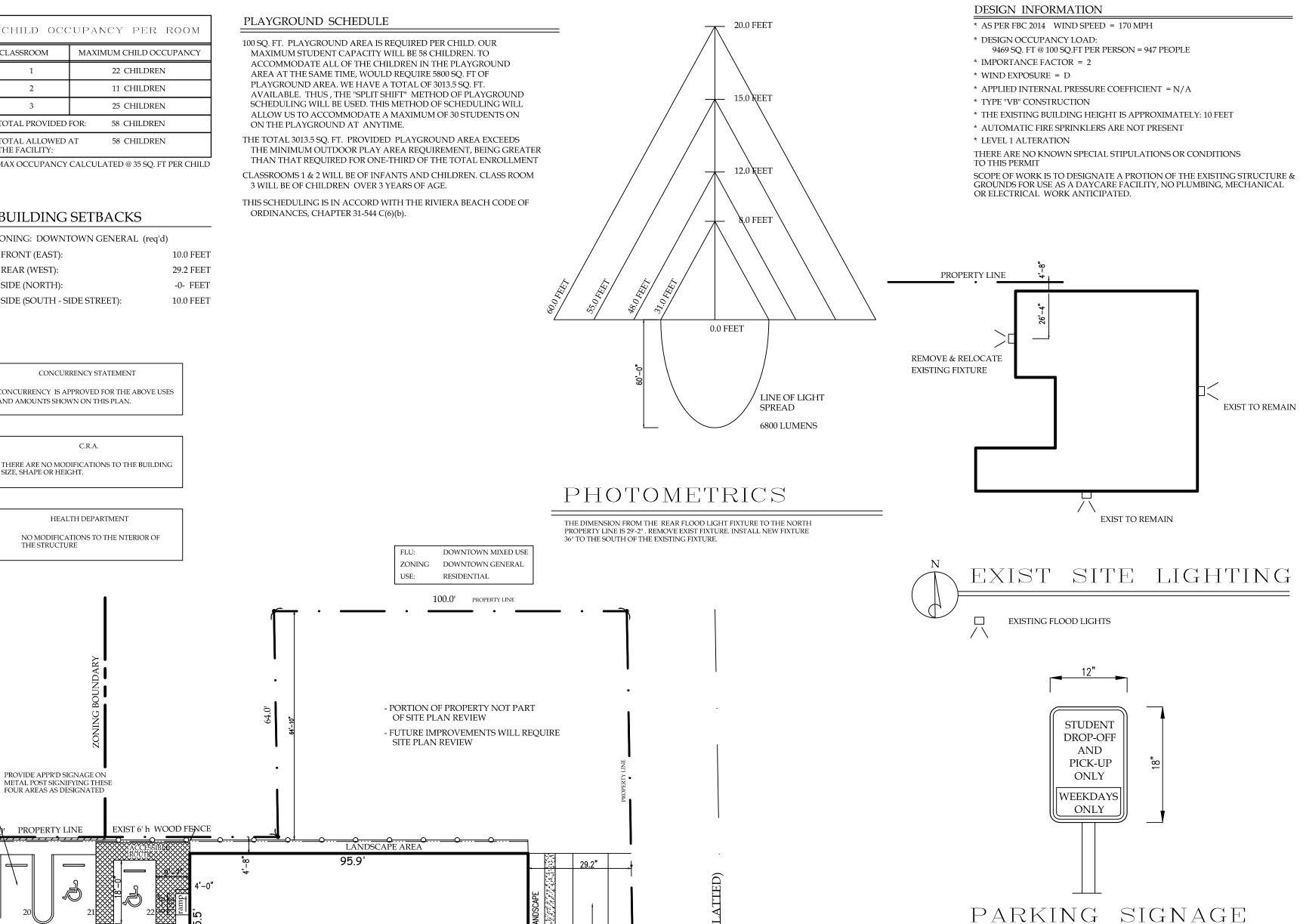
DOWNTOWN MIXED USE

SITE PLAN 1" = 20'-0"

ZONING DOWNTOWN GENERAL

USE: COMMERCIAL

PLAYGROUND



NEW LANDSCAPING

EXISTING: LANDSCAPE

BASE INFORMATION FOR THIS SITE WAS OBTAINED FROM A

SURVEY PREPARED BY TARGET SURVEYING JOB #: 210739

NOTE:

EXIST AREA

PROPOSED AREA - DAYCARE

- DAYCARE 3886.3 SQ. FT.

EXISTING LANDSCAPE

EXISTING CONCRETE WALKWAY

29 NEW PARALLEL PARKING 28

250.0' PROPERTY LINE

- ASSEMBLY 5722.7 SQ. FT.

\* EXISTING BUILDING FOOTPRINT

EXISTING NON-CONFORMITY CHART THERE ARE NO NON-CONFORMITIES KNOWN AT THIS TIME.

VERIFY MOUNTING HEIGHT AS PER CITY ORDINANCE

SITE PLAN SCOPE OF WORK

DOWNTOWN MIXED

ZONING DOWNTOWN GENERAL

COMMERCIAL

THE EXISTING BUILDING ENVELOPE AND CONCRETE WALKWAYS ARE TO REMAIN. THERE ARE NO NEW EXTERIOR DOORS OR WINDOWS. THE EXISTING SHELLROCK PARKING AREA IS TO REMAIN AND CONCRETE'

CONCRETE TIRE STOPS. PARKING AREA TO RECEIVE NEW PERIMETER LANDSCAPING AS WELL AS TREES. THE EXISTING FENCED AREA, ATTACHED TO THE STRUCTURE, TO BE ENLARGED TO PROVIDE ADEQUATE PLATGROUND AREA, WITH PARTIAL MULCH AREA.

AN AREA HAS BEEN DESIGNATED FOR THE USE , AND CONSEALMENT OF A DUMPSTER, WITH CONCRETE BLOCK WALLS AND METAL GATES

THERE ARE NO MODIFICATIONS TO THE EXISTING DRAINAGE SYSTEM OR

THERE ARE NO MODIFICATIONS TO THE EXISTING UTILITY SERVICES LOCATIONS OR METHOD OF DISTRBUTION.

☐ AMENDMENT STAMP ☐ ZONING STAMP

SHEET No

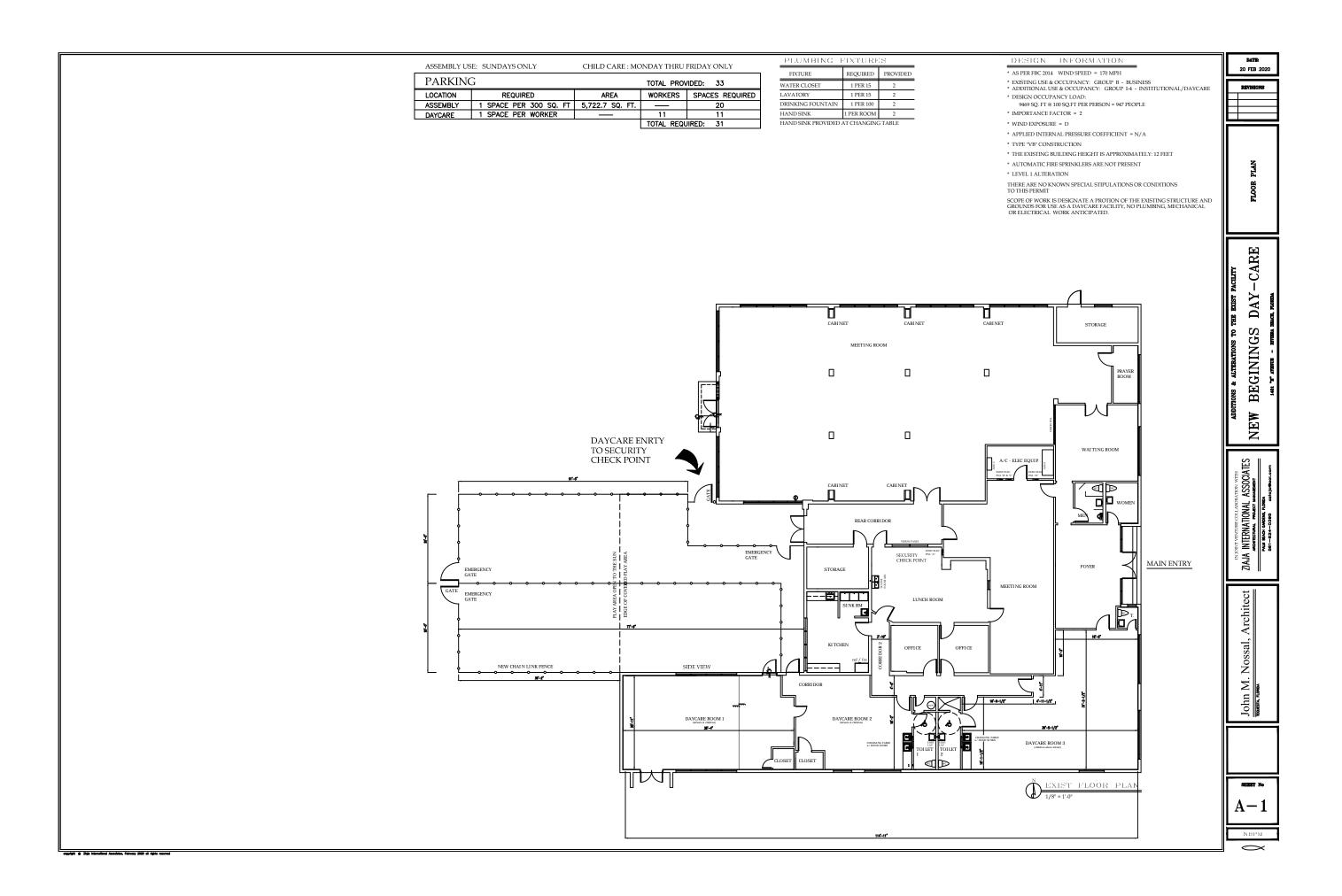
15 APRIL 2021

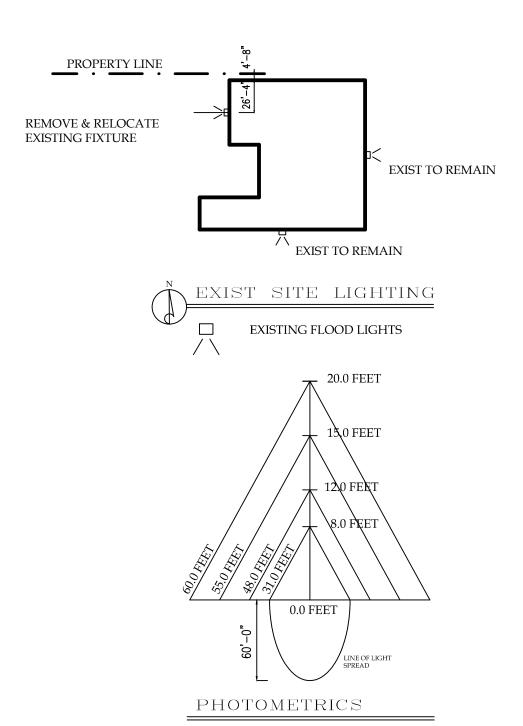
REVISIONS

NEW BEGININGS GLOBAL OUTREACH MINISTRIES

28 MAY 2021

RECORDED IN PLAT BOOK 8, PAGE 14, OF THE RECORDS OF PALM BEACH COUNTY, FLORIDA





THE DIMENSION FROM THE REAR FLOOD LIGHT FIXTURE TO THE NORTH PROPERTY LINE IS 29'-2" . REMOVE EXIST FIXTURE. INSTALL NEW FIXTURE 36" TO THE SOUTH OF THE EXISTING FIXTURE.

ADDITIONS & ALTERATIONS TO THE EXIST FACILITY

NEW BEGININGS GLOBAL
OUTREACH MINISTRIES

1401 AVENUE "B" - RIVIERA BEACH, FLORIDA

#### Leger, Josue

From: Grimm, Michael

**Sent:** Tuesday, May 11, 2021 8:39 AM

**To:** Leger, Josue

**Subject:** RE: SP-20-26 - New Beginning Daycare (1401 Avenue E) - Public Hearing - Site Plan Review Comments Request!

Follow Up Flag: Follow up Flag Status: Flagged

#### No Comments

#### Michael Grimm, CBO, CFM

Building Official City of Riviera Beach 600 W. Blue Heron Blvd. Riviera Beach, FL 33404 Office: (561) 845-4008

Cell: (561) 329-5667

Email: mgrimm@rivierabeach.org

From: Leger, Josue <JLeger@rivierabeach.org>

Sent: Friday, April 16, 2021 3:05 PM

To: Scott Evans <sevans@rbcra.com>; alewis@rbcra.com; Bailey, Terrence <TBailey@rivierabeach.org>; Frank Stallworth (fstallworth42@gmail.com)

<fstallworth42@gmail.com>; Grimm, Michael <MGrimm@rivierabeach.org>

Cc: Savage-Dunham, Mary <msavagedunham@rivierabeach.org>; Davidson, Simone <SDavidson@rivierabeach.org>; Bostic, Cheryl <CBostic@rivierabeach.org>

Subject: SP-20-26 - New Beginning Daycare (1401 Avenue E) - Public Hearing - Site Plan Review Comments Request!

Good afternoon,

RE-SUBMITTAL – PUBLIC HEARING SITE PLAN APPLICATION (SP-20-26): Attached please find the plans and documents associated with the aforementioned site plan application (Hard copies sent via Interoffice). It is imperative that all projects follow a structured and proficient review process. In our continued efforts to streamline the process, please review in your area of expertise and provide your comments by email no later than Thursday, April 29, 2021. (Individuals copied in this email are not required to Comment, unless you deem it's necessary)

#### Leger, Josue

From: Scott Evans <sevans@rbcra.com>
Sent: Thursday, February 4, 2021 10:09 AM
To: Bailey, Terrence; Evans, Jonathan
Cc: Sirmons, Clarence; Leger, Josue

Subject: RE: ---EXTERNAL EMAIL--- RE: SP-20-26 - New Beginning Daycare (1401 Avenue E) - Public Hearing - Site Plan Review

Comments Request!

Good Morning Terrence, I sent Josue the following comment

The CRA would like the applicant to modify the site plan to eliminate parking on Avenue E or convert it to parallel spaces along the roadway.



#### **Scott Evans, AICP**

#### **Planning and Development Director**

2001 Broadway, Suite 300 | Riviera Beach, FL 33404

**P**. 561.844.3408 | **F**. 561.881.8043 <u>www.rbcra.com</u>





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From: Bailey, Terrence <TBailey@rivierabeach.org>

Sent: Thursday, February 4, 2021 9:54 AM

**To:** Evans, Jonathan <jevans@rivierabeach.org>; Scott Evans <sevans@rbcra.com>

Cc: Sirmons, Clarence <CSirmons@rivierabeach.org>; Leger, Josue <JLeger@rivierabeach.org>

Subject: ---EXTERNAL EMAIL--- RE: SP-20-26 - New Beginning Daycare (1401 Avenue E) - Public Hearing - Site Plan Review Comments Request!

#### CITY OF RIVIERA BEACH RIVIERA BEACH, FLORIDA 33419

P. O. Drawer 10682

DEPARTMENT OF PUBLIC WORKS

INTER-DEPARTMENTAL COMMUNICATION

Tel. (561) 845-4080

Fax (561) 840-4845

#### **MEMORANDUM**

TO:

Clarence Sirmons, Director Development Services

FROM:

Terrence N. Bailey, PE, City Engineer,

DATE:

4/27/2021

RE:

Site Plan Review – SP-20-26 New Beginning Daycare (1401 Avenue E)

Engineering and Public Works comments are provided below:

#### 1. General –

*a.* A small portion of asphalt along Avenue E & 14th Street will need to be stripped between the edge of pavement and parallel parking stalls. This can be addressed during building permit review.

#### Leger, Josue

From: Armstrong, John

Sent: Monday, January 25, 2021 6:43 PM

To: Leger, Josue

**Subject:** RE: SP-20-26 - New Beginning Daycare (1401 Avenue E) - Public Hearing - Site Plan Review Comments Request!

Mr. Leger,

I have no objection to the site plan.

Sincerely,

#### John A. Armstrong, P.E.

Senior Utilities Engineer City of Riviera Beach | Utility Special District 600 West Blue Heron Boulevard Riviera Beach, FL 33404

Office: (561) 845-3457

Email: <u>Jarmstrong@rivierabeach.org</u>

From: Leger, Josue <JLeger@rivierabeach.org>
Sent: Thursday, January 7, 2021 12:21 PM

To: Bailey, Terrence <TBailey@rivierabeach.org>; Frank Stallworth <fstallworth42@gmail.com>; Armstrong, John <JArmstrong@rivierabeach.org>; Batista,

Jonathan <JBatista@rivierabeach.org>; Steve Thomas <sthomas@rbpublicsafety.org>; Grimm, Michael <MGrimm@rivierabeach.org>

Cc: Tom Hughes <thughes@rbpublicsafety.org>; Davidson, Simone <SDavidson@rivierabeach.org>; Bostic, Cheryl <CBostic@rivierabeach.org>

**Subject:** SP-20-26 - New Beginning Daycare (1401 Avenue E) - Public Hearing - Site Plan Review Comments Request!

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**PROJECT SUMMARY:** New daycare (58 students) proposed at the existing property mentioned above, currently use as a place of worship (New Beginning Global Outreach Ministry).

#### Team Drive link for Documents / Plans: Click Here

Thank you!

#### Josue Leger

Senior Planner / GIS Specialist Development Services Department City of Riviera Beach 600 W. Blue Heron Blvd. Riviera Beach, FL 33404 Office: (561)845-4060 Direct: (561)845-4021

jleger@rivierabeach.org www.rivierabeach.org From: Steven Thomas
To: Leger, Josue

Subject: RE: !!!REMINDER!!! SP-20-26 - New Beginning Daycare (1401 Avenue E) - Public Hearing - Site Plan Review

Comments Request!

**Date:** Tuesday, February 16, 2021 5:42:38 PM

#### Police has no objection.

**From:** Leger, Josue <JLeger@rivierabeach.org> **Sent:** Tuesday, February 16, 2021 11:39 AM

**To:** Bailey, Terrence <TBailey@rivierabeach.org>; Frank Stallworth <fstallworth42@gmail.com>; Grimm, Michael <MGrimm@rivierabeach.org>; Steven Thomas <sthomas@rbpublicsafety.org>

**Cc:** Savage-Dunham, Mary <msavagedunham@rivierabeach.org>

**Subject:** !!!REMINDER!!! SP-20-26 - New Beginning Daycare (1401 Avenue E) - Public Hearing - Site Plan Review Comments Request!

#### Good morning,

This is a reminder to submit your comments ASAP. The applicant is anxious about the status of the review.

#### Kind Regards,

Josue Leger Principal Planner Development Services Department City of Riviera Beach 600 W. Blue Heron Blvd. Riviera Beach, FL 33404 Office: (561)845-4060 Direct: (561)845-4021 ileger@rivierabeach.org

From: Leger, Josue

www.rivierabeach.org

Sent: Thursday, January 7, 2021 12:21 PM

**To:** Bailey, Terrence <a href="mailto:TBailey@rivierabeach.org">TBailey@rivierabeach.org</a>; Frank Stallworth <a href="mailto:fstallworth42@gmail.com">fstallworth42@gmail.com</a>; Armstrong, John <a href="mailto:JArmstrong@rivierabeach.org">JArmstrong@rivierabeach.org</a>; Jonathan Batista (<a href="mailto:JBatista@rivierabeach.org">JBatista@rivierabeach.org</a>; Steve Thomas <a href="mailto:sthomas@rbpublicsafety.org">sthomas@rbpublicsafety.org</a>; Grimm, Michael <a href="mailto:MGrimm@rivierabeach.org">MGrimm@rivierabeach.org</a>>

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Josue Leger Senior Planner / GIS Specialist Development Services Department City of Riviera Beach 600 W. Blue Heron Blvd. Riviera Beach, FL 33404 Office: (561)845-4060 Direct: (561)845-4021

Direct: (561)845-4021 jleger@rivierabeach.org www.rivierabeach.org

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#### EXTERNAL SENDER

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Sent: Monday, January 25, 2021 6:43 PM

To: Leger, Josue

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Sincerely,

#### John A. Armstrong, P.E.

Senior Utilities Engineer City of Riviera Beach | Utility Special District 600 West Blue Heron Boulevard Riviera Beach, FL 33404

Office: (561) 845-3457

Email: <u>Jarmstrong@rivierabeach.org</u>

From: Leger, Josue <JLeger@rivierabeach.org>
Sent: Thursday, January 7, 2021 12:21 PM

To: Bailey, Terrence <TBailey@rivierabeach.org>; Frank Stallworth <fstallworth42@gmail.com>; Armstrong, John <JArmstrong@rivierabeach.org>; Batista,

Jonathan <JBatista@rivierabeach.org>; Steve Thomas <sthomas@rbpublicsafety.org>; Grimm, Michael <MGrimm@rivierabeach.org>

Cc: Tom Hughes <thughes@rbpublicsafety.org>; Davidson, Simone <SDavidson@rivierabeach.org>; Bostic, Cheryl <CBostic@rivierabeach.org>

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#### Team Drive link for Documents / Plans: Click Here

Thank you!

#### Josue Leger

Senior Planner / GIS Specialist Development Services Department City of Riviera Beach 600 W. Blue Heron Blvd. Riviera Beach, FL 33404 Office: (561)845-4060 Direct: (561)845-4021

jleger@rivierabeach.org www.rivierabeach.org

#### Leger, Josue

From: Leger, Josue

**Sent:** Monday, March 8, 2021 5:58 PM

To: aziaja@aol.com

**Subject:** SP-20-26 - Daycare Facility (1401 Avenue E) - Staff Comments

**Attachments:** CRA Comments.pdf; Fire Comments.pdf; Police.pdf

Good afternoon,

Below please find staff comments and status:

Engineering: Pending.

Building Division: Pending.

#### Zoning:

1. Application: Please revise the application to reflect "Downtown Mixed Use" (DMU) as the Future Land Use Designation.

- 2. **Application:** Please signed and notarize the agent authorization (must be completely filled out).
- 3. **Application:** Revise the justification statement to reflect the correct Adjacent Zoning District and Future Land Use (Official Interactive Zoning and Future Land Use Map)
- 4. **Separation requirement:** Measured from parcel to parcel, there shall be a minimum of 500 feet between child care facilities. No child care facility shall be permitted within 500 feet of any package store, bar, nightclub, or adult entertainment establishment. (please provide any map or identify within the justification statement.
- 5. Site Plan: Please dimension the access point (ingress/egress).
- 6. **Site Plan:** Revise the bolded letters and dimensions on the graphic of the plan, to be legible (very hard to read).
- 7. **Site Plan:** Revise the boxes on adjacent properties to reflect the correct Adjacent Zoning District and Future Land Use (Official Interactive Zoning and Future Land Use Map).
- 8. **Site Plan:** Please identify the dimension of the adjacent roads center lines to the property line (delineate leader line).
- 9. **Site Plan:** Consider providing additional parking on the northern portion of the property to mitigate for additional required parking spaces as a result of any potential removal of the existing parking spaces that directly back-out on the street.
- 10. Site Plan: Dimension the driveway behind the ADA spaces (must be a minimum of 24 feet).
- 11. Site Plan: Please revise the site data to reflect only the Future Land Use as Downtown Mixed Use (DMU), and delete the existing land use.
- 12. **Site Plan:** Please identify the current use and proposed use under the site data.
- 13. **Site Plan:** Please provide the Traffic analysis zone under the site data.
- 14. Site Plan: Please identify all existing nonconformities on the site plan (i.e. setbacks, etc.)
- 15. **Site Plan:** Please label the site plan sheet SP-1 at the bottom right corner under the title block.

- 16. Site Plan: Please identify the Application Number under the site data: (SP-20-26)
- 17. Landscape Plan: Staff will coordinate a meeting to discuss the submitted landscape plan.

Please be advise that additional comments may be applicable as a result of future corrections to the site plan.

Kind Regards,

#### Josue Leger

Principal Planner
Development Services Department
City of Riviera Beach
600 W. Blue Heron Blvd.
Riviera Beach, FL 33404
Office: (561)845-4060
Direct: (561)845-4021

jleger@rivierabeach.org www.rivierabeach.org



#### CITY OF RIVIERA BEACH STAFF REPORT CASE NUMBER SP-21-05 TEMPORARY FIRE STATION 87 601 BLUE HERON JUNE 10, 2021

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-21-05) FROM THE CITY OF RIVIERA BEACH TO ALLOW FOR THE CONSTRUCTION OF A TEMPORARY FIRE STATION FACILITY INCLUDING A 2,880 SQUARE FOOT TEMPORARY FIRE STATION 87, A 4,000 SQUARE FOOT APPARATUS BAY AND A 3,192 SOUARE FOOT STORAGE BUILDING WITH ASSOCIATED LANDSCAPING AND PARKING ON PROPERTY KNOWN AS 601 BLUE HERON, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-28-25-029-0000, HAVING A RECREATIONAL (REC) FUTURE LAND USE **FACILITIES DESIGNATION** AND  $\mathbf{A}$ COMMUNITY (CF) DESIGNATION, PROVIDING FOR CONDITIONS OF APPROVAL, AND PROVIDING FOR AN EFFECTIVE DATE.

**A. Applicant:** City of Riviera Beach

**B. Request:** The application is for Site Plan Approval for the development of a temporary Fire Station facility including a 2,880 square foot temporary Fire Station 87, a 4,000 square foot apparatus bay and a 3,192 square foot storage building with associated landscaping and parking on property known as 601 Blue Heron, identified by Parcel Control Number 56-43-42-28-25-029-0000, having a recreational (REC) Future Land Use designation and a Community Facilities (CF) zoning designation.

**C. Location:** The subject property is located at 601 Blue Heron, also known as PCN 56-43-42-28-25-029-0000 and also has frontage on Avenue H W. (See also Location Map at end of document.)

#### **D. Property Description and Uses:**

<u>Parcel Control Numbers</u>: 56-43-42-28-25-029-0000

Parcel Size: 8.81 acres (The affected area of the site is .91 acres)

Existing Use: Recreation

Zoning: Community Facilities (CF) Zoning District

Future Land Use: Recreational (REC)

E. Adjacent Property Description and Uses:

North: Community Facilities (CF) Zoning District; Municipal Complex (Town

Hall/Library/Police).

<u>South</u>: Community Facilities (CF) Zoning District; Municipal property.

East: Downtown General (DG) and RS-6 Single Family Dwelling (RS-6) Zoning

Districts; Single family residential properties.

West: Utility (U) Zoning District; Utility property.

#### F. Background:

The Applicant submitted Site Plan Application (SP-21-05) for approval for the development of a temporary Fire Station facility including a 2,880 square foot temporary Fire Station 87, a 4,000 square foot apparatus bay and a 3,192 square foot storage building with associated landscaping and parking on a .91 acre portion in the northwest corner of the property known as 601 Blue Heron, identified by Parcel Control Number 56-43-42-28-25-029-0000, having a recreational (REC) Future Land Use designation and a Community Facilities (CF) zoning designation.

The existing Fire Station #87 has reached the end of its useful life and the new location for a permanent Fire Station #87 will be determined as part of the placement of the new City Hall complex. For these reasons an interim Fire Station that meets current standards is needed to serve the City Hall area while the permanent location is being decided to ensure continuity of services.

#### G. Staff Analysis:

**Proposed Use:** The proposed use is a temporary Fire Station facility and is a permitted use per Section 31-422 (a) (1) a. The facility is being called temporary because it is only expected to be in service for approximately 5-7 years.

**Zoning Regulations:** The Community Facility (CF) Zoning District (Section 31-421) is intended to encompass land owned and/or administered by the city or other governmental or public agencies for purposes of providing public service.

**Comprehensive Plan:** The proposed project is consistent with the City's Comprehensive Plan and an interim Fire Station that meets current standards is needed to serve the City Hall area while the permanent location is being decided to ensure continuity of services.

**Uses:** The proposed use is a permitted use per Section 31-422 (a) (1) a."

**Compatibility:** The proposed development of this property is compatible with adjacent development. The immediate area has a cluster of municipal uses and there is an existing fire station directly across the street so this is not a new use for this location.

**Levels of Service**: Customary services such as water, sewer, roads and garbage collection are available to the site.

**Landscaping:** This site is in the Principal arterial design standards overlay district. As such decorative fencing and enhanced landscape plantings have been incorporated into the site design.

**Lighting:** Lighting proposed is as required for the operations of the facility.

**Parking/Traffic:** Site access is proposed via an ingress-only driveway connection to W Blue Heron Boulevard and an egress-only driveway connection to Avenue H West. Parking for the firefighters is provided internal to the site and public parking for visitors to the fire station will be provided in the existing parking lot at Wells immediately to the south of the fire station, where the handicapped accessible entrance is located.

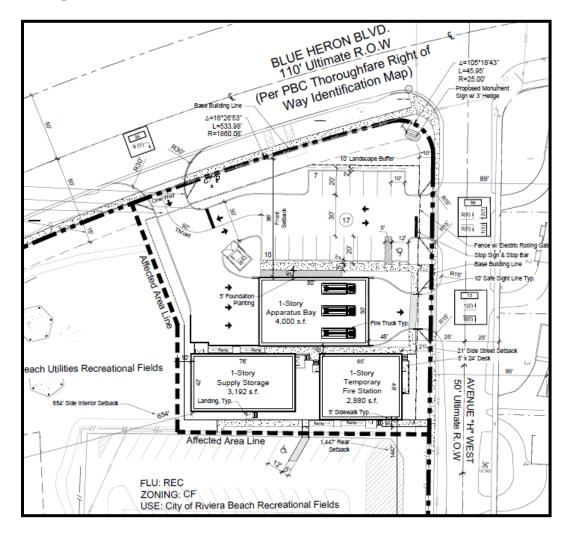
#### H. Recommendation:

#### **SP-21-05:**

Staff recommends approval of the Site Plan application SP-21-05 from the City of Riviera Beach to allow for the construction of a temporary Fire Station facility including a 2,880 square foot temporary Fire Station 87, a 4,000 square foot apparatus bay and a 3,192 square foot storage building with associated landscaping and parking on property known as 601 Blue Heron, identified by Parcel Control Number 56-43-42-28-25-029-0000, having a recreational (REC) Future land Use designation and a Community Facilities (CF) zoning designation, providing for conditions of approval, and providing for an effective date, subject to the following conditions:

- 1. Construction must be initiated within 18 months of the effective date of this Resolution in accordance with Section 31-60(b), of the City Code of Ordinances. Demolition, site preparation and/or land clearing shall not be considered construction. Building permit application and associated plans and documents shall be submitted in its entirety and shall not be accepted by City staff in a partial or incomplete manner.
- 2. The City Council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than 5% from the originally approved site plan.
- 3. This development must receive final Certificate of Occupancy from the City for all buildings and/or units approved within five years of the approval of the adopting resolution or the adopting resolution shall be considered null and void, requiring the applicant to resubmit application for site plan approval and re-initiate the site plan approval process.
- 4. A change of use for these buildings in the future requires a modification of this Site Plan.
- 5. The landscaping must be completed within 45 days of the Certificate of Occupancy.

#### **Location Map**



#### **Legal Description**

THAT PORTION OF SECTION 28, TOWNSHIP 42 SOUTH, RANGE 43 EAST THAT LIES SOUTH OF BLUE HERON BOULEVARD, EAST OF THE FLORIDA EAST COAST RAILWAY, AND WEST OF AVENUE "H" WEST (AS SHOWN IN PLAT BOOK 26, PAGES 72-75, PALM BEACH COUNTY RECORDS AND LABELED AS "NOT INCLUDED"), ALONG WITH TRACT "C" OF PLAT NO. 1, PARK MANOR AS RECORDED IN PLAT BOOK 26, PAGES 72-75 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LANDS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHWESTERLY CORNER OF SAID TRACT "C"; THENCE ALONG THE NORTHERLY LINE OF SAID TRACT "C" NORTH 59°02'57" EAST, 156.79 FEET TO THE BEGINNING OF A TANGENT CURVE BEING CONCAVE TO THE

SOUTHEAST, HAVING A RADIUS OF 1860.08 FEET; THENCE CONTINUE NORTHEASTERLY ALONG THE ARC OF SAID NORTHERLY LINE THROUGH A CENTRAL ANGLE OF 16°26'53" FOR AN ARC LENGTH OF 533.98 FEET TO THE BEGINNING OF A COMPOUND CURVE BEING CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 25.00 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 105°18'43" FOR AN ARC LENGTH OF 45.95 FEET TO A TANGENT LINE BEING THE EAST LINE OF SAID TRACT "C"; THENCE ALONG SAID EAST LINE SOUTH 00°48'33" WEST, 1640.20 FEET TO THE NORTHERLY LINE OF TRACT "A" OF SAID PLAT NO. 1, PARK MANOR; THENCE ALONG SAID NORTHERLY LINE SOUTH 69°05'07" WEST, 274.61 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE NORTH 20°54'53" WEST, 1482.69 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF BLUE HERON BOULEVARD; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE NORTH 59°02'57" EAST, 177.72 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING IN THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA. CONTAINING 898,107 SQUARE FEET (20.62 ACRES) MORE OR LESS.

### Savage-Dunham, Mary

From: Grimm, Michael

**Sent:** Monday, May 10, 2021 5:47 PM

**To:** Savage-Dunham, Mary

**Subject:** RE: SP-21-05 Temporary Fire Station #87

I do not understand the Handicap accessibility for this site

- o It appears that There is no access to the Fire Station from the public way as the walkway from Ave H W, on the south side of the station, ends at the stairs
- The ADA parking space on the south side of the station provides nice access to the station but to nowhere else on the site
- There is a nice ramp on the supply storage building but no way to get to it from the station
- If area of disturbed soil reaches 1 acre the site will be subject to NPDES regulations and require the submittal of Notice of Intent to use Generic Permit
  - O SP-2 shows an affected area of .91 acres but there are areas affected outside of the "affected area line" shown on plans
- There is only 6' between buildings and we will assume a property line between them per the FBC therefore 1 to 2 hr ratings for the exterior walls will be required depending upon the occupancy types of the buildings, and there may be limitations on projections and openings unless all considered 1 building per Exception contained in 705.3

### Michael Grimm, CBO, CFM

Building Official City of Riviera Beach 600 W. Blue Heron Blvd. Riviera Beach, FL 33404

Office: (561) 845-4008 Cell: (561) 329-5667

Email: mgrimm@rivierabeach.org

From: Savage-Dunham, Mary <msavagedunham@rivierabeach.org>

Sent: Wednesday, May 5, 2021 9:36 AM

To: Steve Thomas <sthomas@rbpublicsafety.org>; Frank Stallworth <fstallworth42@gmail.com>; Bailey, Terrence

<TBailey@rivierabeach.org>; Armstrong, John <JArmstrong@rivierabeach.org>; Grimm, Michael

<MGrimm@rivierabeach.org>

Cc: Reyes, Paula <PReyes@rivierabeach.org>; Leger, Josue <JLeger@rivierabeach.org>; Sirmons, Clarence

<CSirmons@rivierabeach.org>; Batista, Jonathan <JBatista@rivierabeach.org>; Davidson, Simone

<SDavidson@rivierabeach.org>

Subject: SP-21-05 Temporary Fire Station #87

Importance: High

Good afternoon,

Attached please find the submittals for SP-21-05 Temporary Fire Station 87. Due to the urgency of this project and the interest in expediting construction I am asking that you Please complete your review ASAP, and not later than noon on May 10<sup>th</sup>, 2021. Hardcopies are being distributed today.

P. O. Drawer 10682

DEPARTMENT OF PUBLIC WORKS

INTER-DEPARTMENTAL COMMUNICATION

Tel. (561) 845-4080

Fax (561) 840-4845

### **MEMORANDUM**

TO:

Clarence Sirmons, Director Development Services

FROM:

Terrence N. Bailey, PE, City Engineer

DATE:

5/11/2021

RE:

Temporary Fire Station 87 at Wells SP-21-05

Engineering and Public Works comments are provided below:

### 1. SP1 -

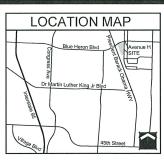
- a. Please show the relocated playground equipment to south of the existing parking lot.
- b. Please show the relocated mulch path to the west of the impacted area.
- c. Please show the proposed monument sign with an additional wing so that it is visible from both approaches. As well, the existing community sign shall remain in its current location.
- d. Please show the generator on the site plan.
- e. The fence and gate must be realigned to provide 55' of clearance from the edge of the travel lane to the gate to allow the apparatus to pull in and activate gate.

### 2. LP-1

- a. Please show the existing two trees to the west of the impacted area.
- b. Please adjust the landscaping around the two signs at the NE corner of the impacted area.
- c. Please change the sod to mulch between the station and storage building to minimize maintenance of this area.

### 3. Civil

- a. Please show a new fire hydrant adjacent to the storage building.
- b. Please show cleanouts at locations where the storm piping changes direction.
- c. Please consider placing the storage building 12"-18" above grade to shorten the ramps and allow a pallet jack to move bulk items into the storage building.

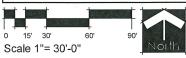


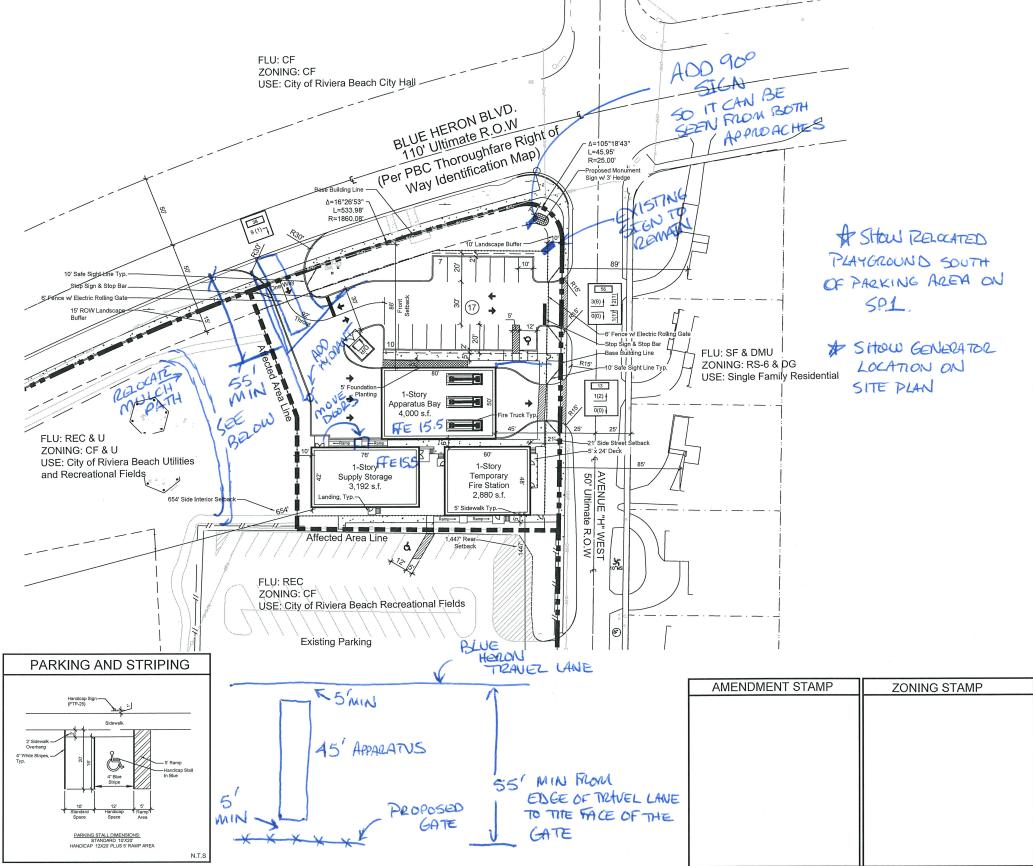
SITE TABULAR DATA				
Application Name	Temporary FS 87 at Wells Res 21-21			
Application Number	SP-			
Future Land Use Designation	Recreational (REC			
Zoning District	Community Facility (CF			
Property Control Number	56-43-42-28-25-029-0000			
Applicable Overlay(s)	Principal Arteria			
Section, Township, Range	28/42/43			
Existing Use	Recreational Park			
Proposed Use	Apparatus Bay, Supply Storage, Temporary Fire Station			
Total Site Area	8,81 AC. (383,764 s.f.)			
Total Affected Area	0.91 AC. (39,554 s.f.			
Total Gross Floor Area	10,072 s.f.			
Apparatus Bay	4,000 s.f.			
Supply Storage	3,192 s.f.			
Temporary Fire Station	2,880 s.f.			
Total Floor Area Ratio	0.03			
Total Building Coverage	3%			
Impervious Area (Total Site Area)	7%			
Buildings	10,072 s.f.			
Pavement/Walks	17,571 s.f.			
Pervious Area (Total Site Area)	93%			
Open Space	355,911 s.f.			
Number of Stories				
Parking Required (Peak Shift)	9 SPACES			
Proposed Parking	17 SPACES			
Handicap Spaces Required				
Handicap Spaces Proposed				
Traffic Analysis Zone	145			
Apj Sup Tempor	oncurrency Approval* aratus Bay 4,000 s.f. ply Storage 3,192 s.f. ary Fire Station 2,880 s.f.			
*Concurrency is approved for	the above uses and amounts shown on this plan			

I	CF PROPERTY DEVELOPMENT REQUIREMENTS												
Ì		ZONING	MINIMUM LOT DIMENSIONS			мах	MIN.	SETBACKS/SEPARATIONS					
ı		DISTRICT	SIZE	мотн	FRONTAGE	DEPTH	MAX FAR	COVER	PERVIOUS	FRONT	SIDE INTERIOR	SIDE STREET	REAR
Г	CODE	CF		-	-	-	-	-	-	-	-	-	-
Г	PROP	CF	S.S1 AC.	704.72"	704.72"	\$72.15°	0.03	37.	93%	\$0.	654"	21'	1,447"

DEVELOPMENT TEAM			
DEVELOPER:	CITY OF RIVIERA BEACH		
	600 W BLUE HERON BLVD		
	RIVIERA BEACH, FL 33404		
	(561) 845-4060		
ARCHITECT:	ADVANCED MODULAR STRUCTURES, INC.		
	1911 NW 15TH STREET		
	POMPANO BEACH, FL 33069		
	(954) 960-1550		
CIVIL ENGINEER:	DOUG WINTER COMPANIES, INC.		
	4047 OKEECHOBEE BLVD, SUITE 222		
	WEST PALM BEACH, FL 33409		
	(561) 471-9863		
TRAFFIC ENGINEER:	PTC TRANSPORTATION CONSULTANTS		
	2005 VISTA PARKWAY, SUITE 111		
	WEST PALM BEACH, FL 33411		
	(561) 296-9698		
PLANNER:	SCHMIDT NICHOLS		
	1551 N FLAGLER DRIVE, SUITE 102		
	WEST PALM BEACH, FL 33401		
	(561) 684-6141		
SURVEYOR:	KCI TECHNOLOGIES, INC.		
	1425 W. CYPRESS CREEK ROAD, SUITE 101		
	FORT LAUDERDALE, FL 33309		
	(954) 776-1616		

NOTES
BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY KCI TECHNOLOGIES, INC. DATED 03/31/21
D/R DUMPSTER WITH ENCLOSURES







LANDSCAPE ARCHITECTURE AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684.6141 Emil: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

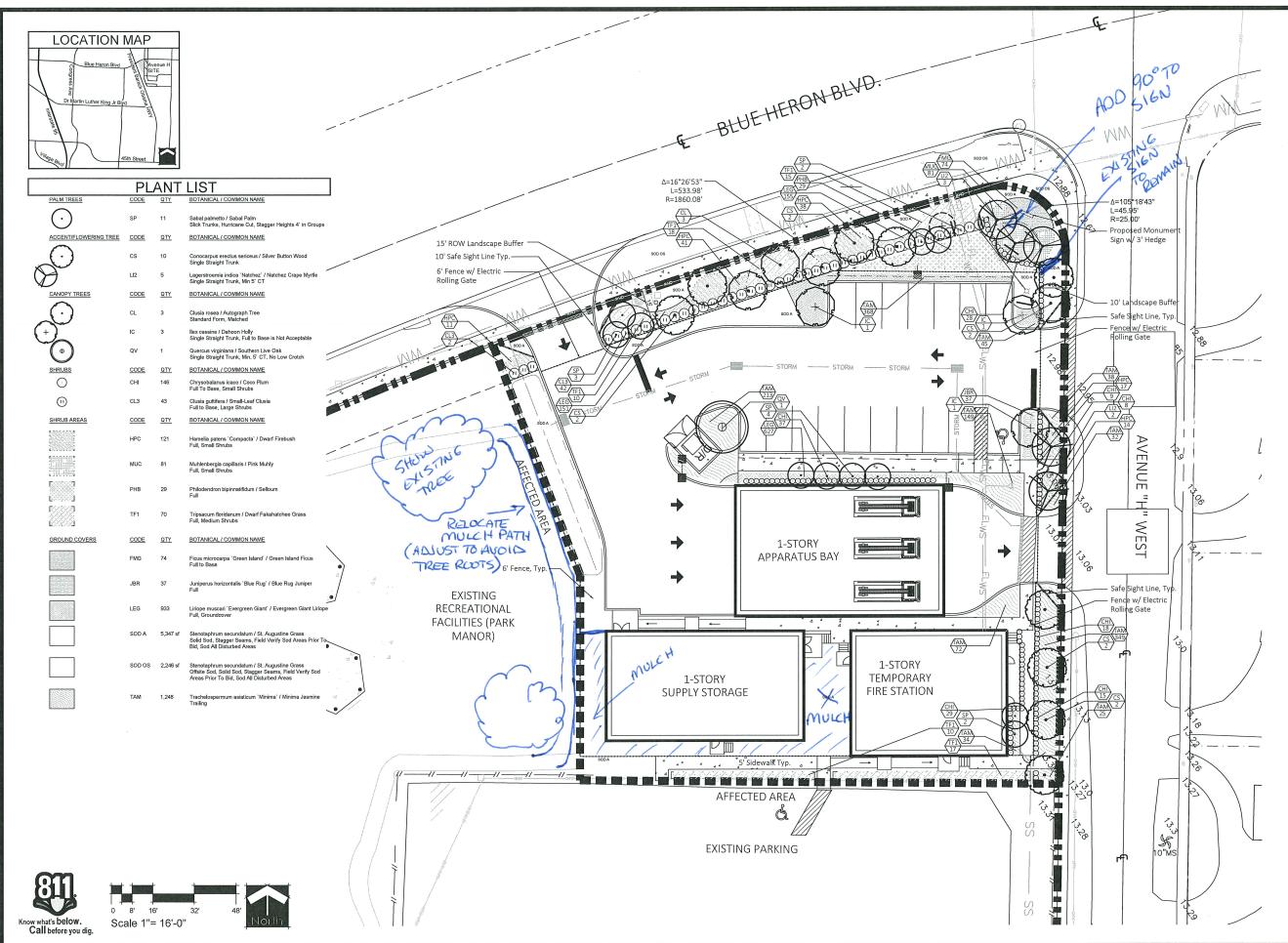
# Temporary FS 87 at Wells Res 21-21

Date:	05/04/
Scale:	1" = 30
Design By:	JS
Drawn By:	AH
Checked By:	JS
File No.	1020.0
Job No.	20-08

REVISIONS / SUBMISSIONS

Site Plan

SP-2 o





LANDSCAPE ARCHITECTURE AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684,6141 Email: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

Temporary FS 87 at Wells Res 21-21

Riviera Beach,

City of I

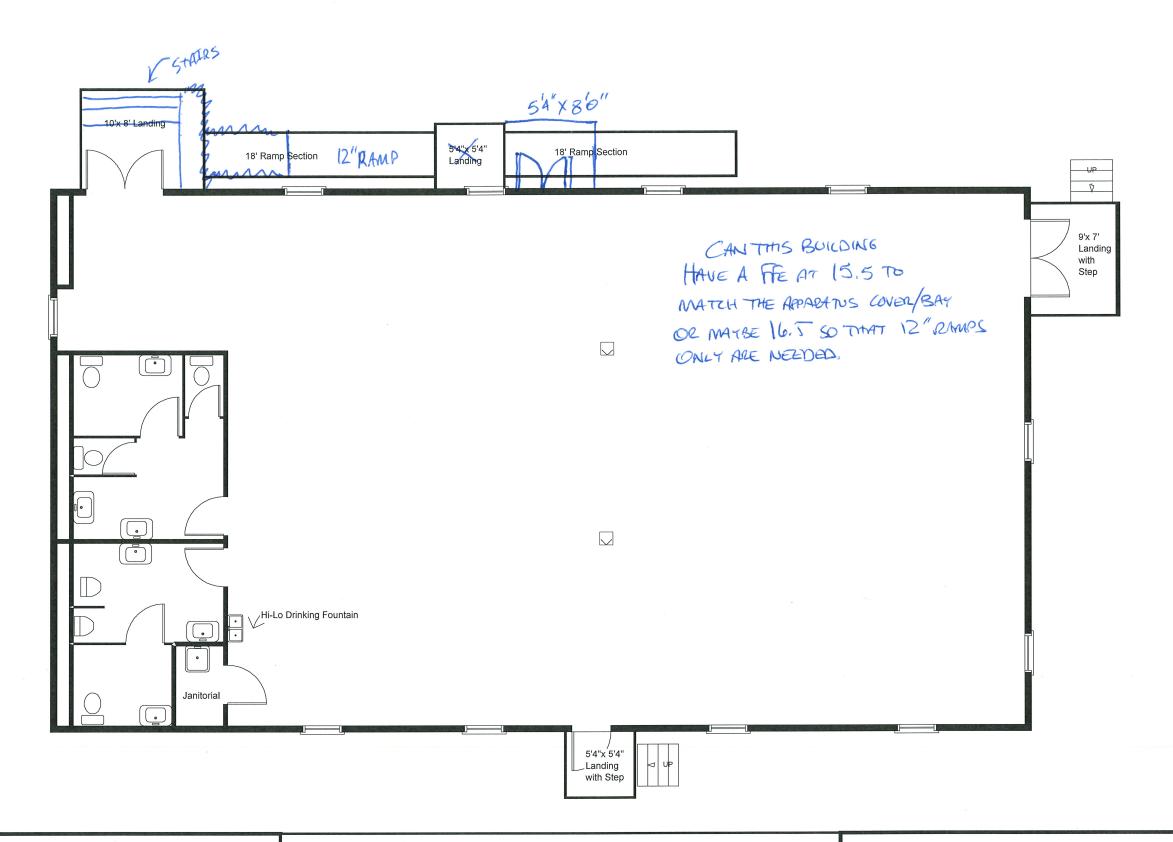
05/03/21

esign By: rawn By: hecked By: le No. bb No.	MLD MLD JES 1020.01 20-08
EVISIONS / S	SUBMISSIONS
	NATURE AND ORIGINAL RAISED LED LANDSCAPE ARCHITECT.

Printed name LA 6667416 FLORIDA REGISTRATION NO. LA 0001638

Landscape Plan

\_P-1 。





1911 N.W. 15<sup>TH</sup> STREET POMPANO BEACH, FLORIDA 33069 954-960-1550 www.advancedmodular.com Temporary FS 87 at Wells Res 21-21

42'x 76' Modular Office/Supply Storage Building

3,192 Nominal SF

### Ownership of Documents

This document and the ideas and designs incorporated herein, as an instrument of service, is the property of Advanced Modular Structures, Inc and is NOT to be used, in whole or in part, for any other project or use without the written permission of Advanced Modular.



# Riviera Beach Fire Rescue

### Bureau of Fire Prevention

600 W Blue Heron Boulevard • Riviera Beach, Florida 33404 Telephone: 561-845-4106 • Facsimile: 561-845-4137

TO:

Mary F. Savage Dunham, AICP, CFM Assistant Director of Development Services

FROM:

Frank Stallworth, Fire Plan Reviewer

DATE:

May 7, 2021

SUBJECT:

1st submittal (SP-21-05) Temporary Fire Station 87 located at 2904 Ave. "H" West

The Fire Prevention Bureau has received and reviewed the site plans for Fire Station 87. The project consists of constructing three buildings: (1) 4,000sqft. Apparatus Bay (2) 2,880sqft 1-story Temporary Fire Station (3) 3,192sqft 1-story Supply Storage building PC#56-43-42-28-25-029-0000.

All construction and installations shall come into compliance with the 2017 Florida Fire Prevention, Code, Federal, State and City of Riviera Beach Ordinances.

Structures undergoing construction, alterations or demolition operations shall come into compliance with NFPA 241.

Commercial cooking equipment shall come into compliance with NFPA 96, 17 and 17A.

Licensed fire alarm contractors are required to submit shop drawings that include a stamped approval by the engineer of records, voltage calculations, battery calculations, all wire sizes and types, and all device types and locations for approval prior to the installation of any part of the system. Fire alarm installations shall come into compliance with NFPA 70 and 72, state and local ordinances.

Licensed fire sprinkler contractors are required to submit shop drawings that include a stamped approval by the engineer of records. Fire sprinkler installations shall come into compliance with NFPA 13.

NFPA 58: Equipment using fuel gas and related gas piping shall be installed in accordance with NFPA 54, National Fuel Gas Code, or NFPA 58, Liquefied Petroleum Gas Code. (See Chapter 69 for LP-Gas fuel supply and storage installations.)

Emergency and standby power shall come into compliance with NFPA 110.

NFPA 1500-9.1.3: All existing and new fire stations shall be provided with smoke detectors in work, sleeping, and general storage areas. When activated, these detectors shall sound an alarm throughout the fire station. Activation of apparatus bay detectors shall, automatic ventilation Carbon Monoxide gases.

NFPA 1500-A.9.1.4: The intent is to ensure that members assigned to these fire department facilities are protected by carbon monoxide detectors, especially in areas where the members are sleeping. NFPA 720, Standard for the Installation of Carbon Monoxide (CO).

NFPA 1500-A.9.1.5: As new stations are constructed, or existing stations are renovated, a separation between the apparatus floor and living quarters should be provided.

New buildings housing emergency fire, rescue, or ambulance services shall be protected throughout by approved automatic fire sprinkler system.

City Ordinance 2911: All new buildings totaling 5,000 square feet or more of gross floor area shall be protected throughout by an approved automatic sprinkler system in accordance with 7-3.1.1. For the purposes of this section, gross floor area shall be computed by determining the entire square footage of floor area under roofs, coverings or permanent awnings, regardless of any separations. The square footage of each floor level shall be counted separately and combined to achieve a total gross floor area.

Fire department access roads shall be 20'-00" width and 13'-06" height

If there are any questions regarding these requirements, please feel free to contact me at 561-845-4106.



### **MEMORANDUM**

To: Mary F. Savage Dunham, AICP, CFM, Assistant Director of Development Service

From: John Armstrong, P.E., Senior Utility Engineer

Date: May 10, 2021

Re: SP-21-05 Temporary Fire Station 87 Site Plan

The Utility District <u>does not approve</u> the Site Plan Application with comments for resubmittal as follows:

- 1. Please revise the water & sewer plan to show only one wet tap and valve on the existing water main. Please show all three water pipes connecting after the aforementioned water tap and valve.
- 2. Please revise the water & sewer plan to show cleanouts at the proposed wye connection to the existing sewer pipe.



### Development Services Department City of Riviera Beach, Florida 600 W. Blue Heron Blvd. Riviera Beach, FL 33404

### **MEMO**

To:

Applicant

From:

Mary F Savage-Dunham,

Assistant Director of Develo

Date:

11 May 2021

Re:

SP-21-05: Site Plan Application

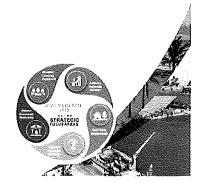
**Temporary Fire Station** 

I have reviewed the materials submitted and offer the following comments and questions:

- 1. Is the playground being relocated? Please show on the site plan.
- 2. It appears that the affected area may be larger than you are indicating as the public access is from the rear of the buildings and will be utilizing a different driveway. Please adjust your affected area statistics and extent accordingly.
- 3. Will the front parking area not be for the public?
- 4. There is a fence around the entire facility? Is this necessary? It is a public facility so do you think the fence will discourage public access? Does there have to be automatic gates at the driveways?
- 5. Sec. 31-551 (f) (3) states that Chain-link or similar fencing adjacent to a designated arterial roadway is prohibited. Please provide a detail for the proposed fencing for the file. The regulations also state that "Where such fencing can be viewed from a designated arterial, landscaping or berms shall be provided to minimize visibility from the designated arterial." This means that a fence treatment other than chain link should be provided along the side yards of the area that is going to be fenced in also.
- 6. Where is the loading zone?
- 7. I saw the elevations of the structures as submitted. Do you have a elevation of the site from the street? Do you have a color elevation or renderings of the structures? Please review Sec. 31-551 Principal arterial design standards overlay (e) Appearance. (1) (12) and verify that your project meets these criteria. If your project does not meet any of these criteria please list the exceptions and why they don't comply.

8. The regulations require that "One hundred percent of the buffer length shall be composed of a continuous opaque vertical landscape screen at least two feet in height, and composed of the shrub types listed in table 31-551(f)(2)b, Shrub Planting Requirements. The area of the buffer not planted with trees and shrubs shall be landscaped with ground treatment according to Florida friendly landscape provisions." This applies to the Blue Heron Blvd. frontage. Does your design meet this standard?

Written responses to comments are required.



### For Staff Use Only

City of Riviera Beach		Date: Case Number:					
Community Development Department 600 W. Blue Heron Boulevard Riviera Beach, Florida 33404		Project Title:					
		Fee Paid: Notices Mailed:					
	ne: (561) 845-4060	1 <sup>st</sup> Hearing: 2 <sup>nd</sup> Hearing:					
	: (561) 845-4038	Publication Dates (if required)					
	UNIFORM LAND USE APPLICATION  (Please attach separate sheet of paper for required additional information)  Complete appropriate sections of Application and sign.						
	Name of Property Owner(s): City of	Riviera Beach					
ļ		32, West Palm Beach, FL 33419					
APPLICANT	Property Address: 600 W Blue H	leron Blvd # 214C, Riviera Beach, FL 33404					
PPL	Name of Applicant (if other than owne	er): N/A					
⋖	Home: ( )	Work: ( ) Fax: ( )					
	E-mail Address: contact agent						
PLI	EASE ATTACH LEGAL DES	CRIPTION					
	Future Land Use Map Designation: RE	C ("Affected Area")  Current Zoning Classification: CF ("Affected Area")					
	Square footage of site: 390,557 s.f.	Property Control Number (PCN): 56-43-42-28-25-029-0000					
	Type and gross area of any existing non residential uses on site: Recreational Park						
	Gross area of any proposed structure: Proposed 2,880 s.f. Temporary Fire Station, 4,000 s.f. Apparatus Bay, and 3,192 s.f. Supply Storage building						
<b> </b>		property that is/was in violation of City Ordinance? [ ] Yes [ / ] No					
ERTY	If yes, please describe: N/A						
PROPE		ations concerning all or part of this property in the last 18 months? [ ] Yes [ / ] No					
Δ.	If yes, indicate date, nature and applicant's name:						
	Briefly describe use of adjoining property: North: City of Riviera Beach City Hall, W Blue Heron Blvd ROW						
		South: City of Riviera Beach Recreational Fields					
		East: Single Family Residential					
		West: City of Riviera Beach Utilities & Recreational Field					
	Requested Zoning Classification:						
N H	Is the requested zoning classification	contiguous with existing?					
REZONE	Is a Special Exception necessary for y	your intended use? [ ] Yes [ ] No					
	Is a Variance necessary for your intended use? [ ] Yes [ ] No						

JSE	Existing Use:	Proposed Use:
ND U	Land Use Designation:	Requested Land Use:
E LA	Adjacent Land Uses: North:	South:
ITUR	East:	West:
FU	Size of Property Requesting Land Use Change:	

	Describe the intended use requiring a Special Exception:				
	Provide specific LDR ordinance section number and page number:				
	How does intended use meet the standards in the Land Development Code?				
	Demonstrate that proposed location and site is appropriate for requested use:				
EXCEPTION	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and				
(CEF	neighborhoods:  Demonstrate any landscaping techniques to visually screen use from adjacent uses:				
	Demonstrate any landscaping teeninques to visually screen use from adjacent uses.				
SPECIAL	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:				
	Demonstrate how utilities and other service requirements of the use can be met:				
	Demonstrate how the impact of traffic generated will be handled:				
	On-site:				
	Off-Site:				
	Other:				

ANCE	Describe the Variance sought:
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site:
VARIANCE	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space:
	Other:

Describe proposed development:

Major Site Plan Amendment for a proposed 2,880 s.f. Temporary Fire Station, 4,000 s.f. Apparatus Bay, and 3,192 s.f. Supply Storage building

Demonstrate that proposed use is appropriate to site:

See Justification Statement.

Demonstrate how drainage and paving requirement will be met:

See Justification Statement for details.

SITE PLAN

Demonstrate any landscaping techniques to visually screen use from adjacent uses:

See Justification Statement and Landscape Plans for details.

Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:

See Justification Statement.

Demonstrate how utilities and other service requirements of the use can be met:

See Justification Statement for details.

Demonstrate how the impact of traffic generated will be handled:

On-site:

Off-site:

### **COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:**

- Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit.
- Antenna manufacture cut sheets including antenna size and shape.
- Zoning map of area with site clearly marked.
- Photos of existing building or tower and surrounding uses.
- Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional.
- Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop.
- Letter of structural capacity and building code compliance.
- Notes on plan or letter demonstrating floor area coverage not in excess of restrictions
- Provide Photo Enhancements of proposal.
- Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

### **Confirmation of Information Accuracy**

I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.

rdan Sperling
Signature

05.04.21

Date

### **AGENT AUTHORIZATION FORM**

Owner(s) of Recor	d: City of Riviera Beach				
P.O. Box 10682					
West Palm Bead	ch, FL 33419				
STATE OF FLORI COUNTY OF PAL					
BEFORE ME	E, the undersigned authority	personally appeared the City of Riviera Beach			
	uly sworn upon oath and poverty	ersonal knowledge say(s) that they are the owner(s) o			
See attached Le	gal Description				
the street address	of which is: 600 W Blue H	leron Blvd # 214C, Riviera Beach, FL 33404			
and that we hereb	y appoint:				
Name:	Jon Schmidt, Schmidt N	lichols			
Address:	1551 N Flagler Drive, Suite 102				
	West Palm Beach, FL 3	3401			
Telephone:	(561) 684-6141				
	I agent, to file applications at any Hearing regarding m	s and papers with the City of Riviera Beach, and to y (our) interest.			
		(Seal)			
		(Seal)			
		(Seal)			
Sworn to and subs	scribed before me this	day of			
Notary Public	<del></del>				

Uniform Land Use Application



# Justification Statement Formal Site Plan Approval Request Temporary FS 87 at Wells Res 21-21 City of Riviera Beach Original Submittal May 2, 2021

Original Submittal: May 3, 2021

### **Description of Request**

Schmidt Nichols ("Agent"), on behalf of the Applicant and Property Owner, City of Riviera Beach ("Applicant") respectfully requests approval of the Site Plan for the Temporary FS 87 at Wells Res 21-21 project in the City of Riviera Beach. The +/- 0.91-acre subject site ("affected area"), which is part of the larger 8.81-acre site, is located at 2409 Avenue H West on the southwest quadrant of Blue Heron Boulevard and Avenue H West in the City of Riviera Beach, Florida ("subject property"). Please refer to the graphic below with the overall 8.81-acre site in "red" and the +/- 0.91-acre subject site ("affected area") in "yellow". Proposed site development will consist of a 10,072 s.f. fire station, including the 2,880 s.f. temporary firehouse proper along with a 4,000 s.f. apparatus bay, and a 3,192 s.f. supply storage building. The proposed development is an excellent fit for the City of Riviera Beach as it will be a temporary fire-station that will directly serve the local Riviera Beach community.



Proposed Temporary FS 87 at Wells Res 21-21 = Site Aerial

Site access is proposed via an ingress-only driveway connection to W Blue Heron Boulevard and an egress-only driveway connection to Avenue H West. The buildout of for this proposed project is projected to be December 2021. The current use requested is "Fire Station", which is a permitted by right use in the Community Facility – CF zoning district. The subject property supports a Future Land Use (FLU) designation of

Justification Statement Temporary FS 87 at Wells Res 21-21 City of Riviera Beach Zoning Application Original Submittal: May 3, 2021 Page 2 of 7

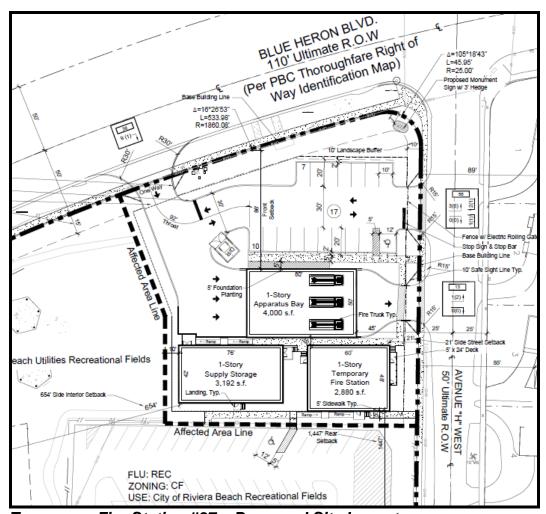
Recreational (REC) and is located within the Community Facility (CF) zoning district. The subject property is located within the Principal Arterial Design Standards Overlay. Below is a chart of the surrounding property information:

Adjacent Lands	FLU	Zoning	Uses
Subject Property (Proposed)	REC	CF	Temporary Fire Station, Apparatus Bay, Supply Storage
North	CF	CF	City of Riviera Beach City Hall, W Blue Heron Blvd ROW
South	REC	CF	City of Riviera Beach Recreational Fields
East	SF & DMU	RS-6 & DG	Single Family Residential
West	REC & U	CF & U	City of Riviera Beach Utilities & Recreational Field

This application is a request for Formal Site Plan Approval to repurpose a +/- 0.91-acre area of the larger 8.81-acre parcel to include a 10,072 s.f. fire station, including the 2,880 s.f. temporary firehouse proper along with a 4,000 s.f. apparatus bay, and a 3,192 s.f. supply storage building.

### Site Design and Layout

To the north of the subject property is the W Blue Heron Boulevard right-of-way and the City of Riviera Beach City Hall. To the west is City of Riviera Beach Utilities & a Recreational Field. To the east is the single-family residential homes. The subject site has frontage along W Blue Heron Boulevard to the north. The proposed use is compatible and consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development. The proposed site was designed so that minimal impacts were imposed on surrounding properties.



Temporary Fire Station #87 – Proposed Site Layout

Per Objective 1.8, Future Land Use Categories, of the City of Riviera Beach Comprehensive Plan the maximum floor area (FAR) permitted is 0.60.

Based on the maximum floor area ratio (0.60), the maximum square footage that could be developed on the property is 230,258 square-feet:

8.81 acres  $(383,764 \text{ sf}) \times 0.60 = 230,258 \text{ square-feet}$ 

Pursuant to Objective 1.8 of the City of Riviera Beach's Comprehensive Plan, the maximum square footage that could be developed on the property is 230,258 square-feet and the applicant is proposing 10,072 s.f., which is 23x less intensive than the maximum floor area ratio.

Based on the total lot coverage proposed (10,072 square-feet), the lot coverage is (3%):  $10,072 \text{ sf} \div 8.81 \text{ acres} (383,764 \text{ sf}) = 3\% \text{ Lot Coverage}$ 

Pursuant to Sec. 31-423 (CF Property Development Standards), because of the

Justification Statement
Temporary FS 87 at Wells Res 21-21
City of Riviera Beach Zoning Application
Original Submittal: May 3, 2021
Page 4 of 7

nature of uses involved and the variety of arrangement of uses and facilities on the site plan of development, the maximum lot coverage cannot be specified. However, the subject property is proposing 10,072 s.f.

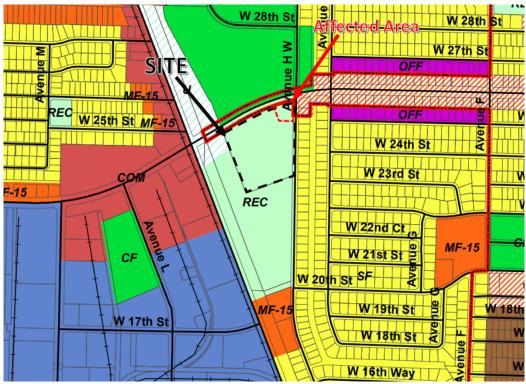
### <u>Standards of Code Compliance – Site Plan Approval Request:</u>

Per Section (Sec.) 31-482, General Classification, of the City of RB Code of Ordinances a property within the IG Zoning District that is greater than one acre is subject to site plan review and must take the following standards into consideration:

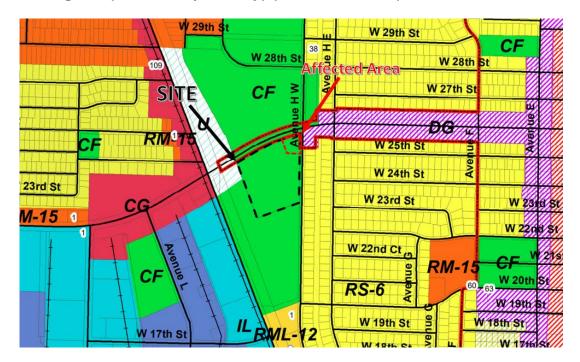
1. Demonstrate that proposed use is appropriate to site:

Response: The use requested, Fire Station, is a permitted by right use in the Community Facility - CF zoning district. The proposed use is compatible and consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development. To the north of the subject property is the W Blue Heron Boulevard right-ofway and the City of Riviera Beach City Hall. To the west is City of Riviera Beach Utilities & a Recreational Field. To the east is the single-family residential homes. The subject site has frontage along W Blue Heron Boulevard to the north. The proposed site design and layout was planned so that minimal impacts were imposed on surrounding properties. Pursuant to Objective 1.8 of the City of Riviera Beach's Comprehensive Plan, the maximum square footage that could be developed on the property is 230,258 square-feet and the applicant is proposing 10,072 s.f., which is 23x less intensive than the maximum floor area ratio. Pursuant to Sec. 31-423 (CF Property Development Standards), because of the nature of uses involved and the variety of arrangement of uses and facilities on the site plan of development, the maximum lot coverage cannot be specified. However, the subject property is proposing 10,072 s.f.

FLU: REC (Recreation) ("Affected Area")



Zoning: CF (Community Facility) ("Affected Area")



Justification Statement Temporary FS 87 at Wells Res 21-21 City of Riviera Beach Zoning Application Original Submittal: May 3, 2021 Page 6 of 7

2. Demonstrate how drainage and paving requirement will be met:

Response: The proposed site plan and associated paving and drainage plans have been designed to control all stormwater on-site and discharge meeting State and local requirements. The site will utilize a combination of infiltration trenches and on-site dry detention area for stormwater run-off.

3. Demonstrate any landscaping techniques to visually screen use from adjacent uses:

Response: The proposed development is not anticipated to create any adverse impacts. The submittal package includes a landscape plan that identifies proposed perimeter buffers and plantings. The perimeter of the site will include native trees installed so that they provide adequate screening from adjacent rights-of-ways and surrounding properties. The proposed landscaping will serve to provide a visual screen from adjacent uses. Please see enclosed Landscape Plans prepared by Schmidt Nichols.

4. Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:

Response: Properties to the south and west support similar recreational type uses. The proposed use is not expected to generate any potential hazards, problems, or public nuisances to this property. A six-foot (6') chain link fence will be installed around the perimeter, as well as an electric rolling gate for security.

5. Demonstrate how utilities and other service requirements of the use can be met:

Response: All necessary utilities currently service this site due to the location along two major roadways. Water/sewer and electrical are available to the site and will be connected as indicated on the paving, drainage, water and sewer plans prepared by Doug Winter Companies, Inc. that have been submitted with this application.

6. Demonstrate how the impact of traffic generated will be handled:

Response: The maximum net peak hour trip generation is 16 trips. Because the project generates fewer than 21 peak hour trips, a traffic study is not required. The project has an insignificant impact on area thoroughfare roadways. Therefore, the proposed project is in compliance with the Palm Beach County Traffic Performance Standards. Please see attached traffic report from Pinder Troutman Consulting.

Justification Statement Temporary FS 87 at Wells Res 21-21 City of Riviera Beach Zoning Application Original Submittal: May 3, 2021 Page 7 of 7

On behalf of the Applicant and Property Owner, City of Riviera Beach., ("Applicant"), Schmidt Nichols respectfully requests your approval of this Major Site Plan Amendment application for Temporary FS 87 at Wells Res 21-21.





Re-Submittal DRC Response To Comments: June 3, 2021

Planning & Zoning Department 600 W Blue Heron Blvd #214C Riviera Beach, FL 33404

RE: SITE PLAN COMMENTS: TEMPORY FS 87 AT WELLS RES 21-21 APPLICATION

We have received your 1st Round of review comments on the above-referenced project and will submit the following response to comments:

### **MAJOR SITE PLAN MODIFICATION (APP NO. SP-21-05)**

### ZONING: MARY SAVAGE-DUNHAM, MDUNHAM@ RIVIERABEACH.COM

1. Is the playground being relocated? Please show on the site plan.

Response: Sheet SP-1 has been revised to show the relocated playground to the south of the existing parking lot in this resubmittal.

2. It appears that the affected area may be larger than you are indicating as the public access is from the rear of the buildings and will be utilizing a different driveway. Please adjust your affected area statistics and extent accordingly.

Response: Sheet SP-1 has been revised to show the relocated playground to the south of the existing parking lot, but the relocated playground is not part of the project, so the 0.91-acres is the correct "affected area".

3. Will the front parking area not be for the public?

Response: No, the front parking area is a secured area for fire staff only.

4. There is a fence around the entire facility? Is this necessary? It is a public facility, so do you think the fence will discourage public access? Does there have to be automatic gates at the driveways?

Response: As discussed with the City Engineer, public safety facilities are completely secured except the limited public access area.

5. Sec. 31-551 (f) (3) states that Chain-link or similar fencing adjacent to a designated arterial roadway is prohibited. Please provide a detail for the proposed fencing for the file. The regulations also state that "Where such fencing can be viewed from a designated arterial, landscaping or berms shall be provided to minimize visibility from the designated arterial." This means that a fence treatment other than chain link should be provided along the side yards of the area that is going to be fenced in also.

Response: Sheet SP-1 & SP-2 have been revised to provide a 6' ht. black aluminum picket fence along Blue Heron Boulevard with a detail of the proposed fencing in this resubmittal.

6. Where is the loading zone?

Response: As discussed with the City Engineer, the subject site does not need a loading zone.



7. I saw the elevations of the structures as submitted. Do you have an elevation of the site from the street? Do you have a color elevation or renderings of the structures? Please review Sec. 31-551 - Principal arterial design standards overlay (e) *Appearance*. (I)-(12) and verify that your project meets these criteria. If your project does not meet any of these criteria, please list the exceptions and why they don't comply

Response: Please refer to the colored rendering of the proposed temporary fire station and supply storage buildings that has been provided in this resubmittal. The applicant is diligently working with City staff on the apparatus bay elevation design. As discussed with the City Engineer, the Appearance standards per Sec. 31-551 are not applicable for the proposed site development.

8. The regulations require that "One hundred percent of the buffer length shall be composed of a continuous opaque vertical landscape screen at least two feet in height, and composed of the shrub types listed in Table 31-551 (f)(2)b, Shrub Planting Requirements. The area of the buffer not planted with trees and shrubs shall be landscaped with ground treatment according to Florida friendly landscape provisions." This applies to the Blue Heron Blvd. frontage. Does your design meet this standard?

Response: Complies. Please refer to the "Landscape Requirements Chart" on Sheet LP-2, which indicates the subject site is in compliance with Table 31-551 (f)(2) b.

### ENGINEERING: TERRENCE BAILEY, TBAILEY@RIVIERABEACH.COM

1. Please show the relocated playground equipment to south of the existing parking lot.

Response: Sheet SP-1 has been revised to show the relocated playground equipment to south of the existing parking lot in this resubmittal.

2. Please show the relocated mulch path to the west of the impacted area.

Response: All plans have been revised to show the relocated mulch path to the west of the impacted area in this resubmittal.

3. Please show the proposed monument sign with an additional wing so that it is visible from both approaches. As well, the existing community sign shall remain in its current location. Please show the generator on the site plan.

Response: All plans have been revised to show the proposed monument sign with an additional wing so that it is visible from both approaches. Additionally, the existing community sign has been shown and the proposed generator is shown between the 3,192 s.f. supply storage building and 2,880 s.f. temporary fire station building.

4. The fence and gate must be realigned to provide 55' of clearance from the edge of the travel lane to the gate to allow the apparatus to pull in and activate gate.

Response: As discussed with the City Engineer, the plans have been updated with 6' aluminum picket swing gates at the project entrance with an electric rolling gate for vehicles leaving the site onto Avenue H West. Additionally, the plans have been updated to provide a 6' ht aluminum picket fence along Blue Heron Boulevard and a 6' ht. black vinyl-coated chain link fence along the remainder of the "affected area".



5. Please show the existing two trees to the west of the impacted area.

Response: The landscape plans have been revised to show the existing two trees to the west of the impacted area in this resubmittal.

6. Please adjust the landscaping around the two signs at the NE comer of the impacted area.

Response: The landscape plans have been revised to adjust the landscaping around the two signs at the NE comer of the impacted area in this resubmittal.

7. Please change the sod to mulch between the station and storage building to minimize maintenance of this area.

Response: The landscape plans have been revised to change the sod to mulch between the station and storage building to minimize maintenance of this area in this resubmittal.

8. Please show a new fire hydrant adjacent to the storage building.

Response: As discussed with the City's Fire Department, the civil plans have been revised to relocate the fire hydrant to the northeast of the proposed temporary fire station in this resubmittal.

9. Please show cleanouts at locations where the storm piping changes direction.

Response: The civil plans have been revised to show cleanouts at locations where the storm piping changes direction in this resubmittal.

10. Please consider placing the storage building 12"-18" above grade to shorten the ramps and allow a pallet jack to move bulk items into the storage building.

Response: Comment Acknowledged. The applicant is further discussing this resubmittal comment with City staff.

### BUILDING: MICHAEL GRIMM, MGRIMM@RIVIERABEACH.COM

- 1. I do not understand the Handicap accessibility for this site:
  - a. It appears that There is no access to the Fire Station from the public way as the walkway from Ave H W, on the south side of the station, ends at the stairs

Response: Correct, the only public access to this area is to the lobby on the south side of the building.

b. The ADA parking space on the south side of the station provides nice access to the station , but to nowhere else on the site

Response: This is a secured site and not open to the public.

c. There is a nice ramp on the supply storage building, but no way to get to it from the station

Response: The proposed sidewalk between the storage building and apparatus bay provides connectivity.



- 2. If area of disturbed soil reaches 1 acre the site will be subject to NPDES regulations and require the submittal of Notice of Intent to use Generic Permit
  - a. SP-2 shows an affected area of .91 acres but there are areas affected outside of the "affected area line" shown on plans

Response: Sheet SP-1 has been revised to show the relocated playground to the south of the existing parking lot, but the relocated playground is not part of the project, so the 0.91-acres is the correct "affected area".

3. There is only 6' between buildings and we will assume a property line between them per the FBC therefore 1-to-2-hour ratings for the exterior walls will be required depending upon the occupancy types of the buildings, and there may be limitations on projections and openings unless all considered 1 building per Exception contained in 705.3

Response: There will be no additional property lines between buildings, but the comment will be reviewed in the building structural design.

### UTILITIES: JOHN ARMSTRONG, JARMSTRONG@RIVIERABEACH.COM

1. Please revise the water & sewer plan to show only one wet tap and valve on the existing water main. Please show all three water pipes connecting after the aforementioned water tap and valve.

Response: The civil plans have been revised to show only one wet tap and valve on the existing water main. Additionally, the civil plans have been updated to show all three water pipes connecting after the aforementioned water tap and valve in this resubmittal.

2. Please revise the water & sewer plans to show cleanouts at the proposed wye connection to the existing sewer pipe.

Response: The civil plans have been revised to show cleanouts at the proposed wye connection to the existing sewer pipe in this resubmittal.

### FIRE: FRANK STALLWORTH, FSTALLWORTH@RIVIERABEACH.COM

1. All construction and installations shall come into compliance with the 2017 Florida Fire Prevention, Code, Federal, State and City of Riviera Beach Ordinances.

Response: Comment Acknowledged.

2. Structures undergoing construction, alterations or demolition operations shall come into compliance with NFPA 241.

Response: Comment Acknowledged.

3. Commercial cooking equipment shall come into compliance with NFPA 96, 17 and 17A.

Response: Comment Acknowledged.

4. Licensed fire alarm contractors are required to submit shop drawings that include a stamped approval by the engineer of records, voltage calculations, battery calculations, all wire sizes and types, and all device types and locations for approval prior to the installation of any part of the system. Fire alarm installations shall come into compliance with NFPA 70 and 72, state and local ordinances.



Response: Comment Acknowledged. Fire alarm installed within 2 years at the existing fire station #87 will be relocated by a licensed fire alarm contractor.

Licensed fire sprinkler contractors are required to submit shop drawings that include a stamped approval by the engineer of records. Fire sprinkler installations shall come into compliance with NFPA 13.

Response: Comment Acknowledged.

6. NFPA 58: Equipment using fuel gas and related gas piping shall be installed in accordance with NFPA 54, National Fuel Gas Code, or NFPA 58, Liquefied Petroleum Gas Code. (See Chapter 69 for LP-Gas fuel supply and storage installations.)

Response: Comment Acknowledged.

7. Emergency and standby power shall come into compliance with NFPA 110.

Response: Comment Acknowledged.

8. NFPA 1500-9.1.3: All existing and new fire stations shall be provided with smoke detectors in work, sleeping, and general storage areas. When activated, these detectors shall sound an alarm throughout the fire station. Activation of apparatus bay detectors shall, automatic ventilation Carbon Monoxide gases.

Response: Comment Acknowledged.

9. NFPA 1500-A.9.1.4: The intent is to ensure that members assigned to these fire department facilities are protected by carbon monoxide detectors, especially in areas where the members are sleeping. NFPA 720, Standard for the Installation of Carbon Monoxide (CO).

Response: Comment Acknowledged.

10. NFPA 1500-A.9.1.5: As new stations are constructed, or existing stations are renovated, a separation between the apparatus floor and living quarters should be provided.

Response: Comment Acknowledged. The current design achieves this goal.

11. New buildings housing emergency fire, rescue, or ambulance services shall be protected throughout by approved automatic fire sprinkler system.

Response: Comment Acknowledged.

12. City Ordinance 2911: All new buildings totaling 5,000 square feet or more of gross floor area shall be protected throughout by an approved automatic sprinkler system in accordance with 7-3.1.1.

For the purposes of this section, gross floor area shall be computed by determining the entire square footage of floor area under roofs, coverings or permanent awnings, regardless of any separations. The square footage of each floor level shall be counted separately and combined to achieve a total gross floor area.

Response: Comment Acknowledged.



13. Fire department access roads shall be 20'-00" width and 13'-06" height

Response: Comment Acknowledged.

On behalf of the City of Riviera Beach, (the "Applicant"), please accept these responses to comments as it pertains to the staff review of the Temporary FS 87 at Wells Res 21-21 Major Site Plan application.

Very Truly Yours,

Jordan Sperling

Jordan Sperling



CITY OF RIVIERA BEACH
DEVELOPMENT SERVICES DEPARTMENT
PLANNING & ZONING DIVISION
600 WEST BLUE HERON BLVD.
RIVIERA BEACH, FL 33404
561.845.4060

### **AFFIDAVIT OF COMPLETENESS AND ACCURACY**

INSTRUCTIONS: TO BE COMPLETED BY INDIVIDUAL SUBMITTING APPLICATION (PROPERTY OWNER, PETITIONER WITH CONSENT, OR AUTHORIZED AGENT).	
Project Name: Temporary FS 87 at Wells Res 21-2	Submittal Date: 05/05/21
STATEMENT OF COMPLETENESS AND ACCURACY	
I hereby certify all property owners have full knowledge the property they own is the subject of this application. I hereby certify that all owners and petitioners have been provided a complete copy of all material, attachments and documents submitted to the City of Riviera Beach relating to this application. I further certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related application material and all attachments become official records of the Development Services Department of the City of Riviera Beach, Florida, and will not be returned. I understand that any knowingly false, inaccurate or incomplete information provided by me will result in the denial, revocation or administrative withdrawal of this application, request, approval or permit. I further acknowledge that additional information may be required by the City of Riviera Beach to process this application. I further acknowledge that any plans that I have prepared or had prepared comply with the Fair Housing Standards. I further consent to the City of Riviera Beach to publish, copy or reproduce any copyrighted documents submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.	
Check (X) one: I am the ☐ Property Owner ☐ Petitioner ☒ Agent.	
Josh Nichols, LEED AP	6/12 11
(Name - type, stamp or print clearly)	(Signature)
Schmidt Nichols	1551 N Flagler Drive, Ste 102, WPB, FL 33401
(Name of Firm)	(Address, City, State, Zip)
NOTARY PUBLIC INFORMATION:	STATE OF FLORIDA COUNTY OF PALM BEACH
The foregoing instrument was acknowledged before me this 24 day of	
(circle correct response).  Robun Chamberlain Clark	$\bigcirc$

**NOTARY'S SEAL OR STAMP** 

Development Services Department | Planning & Zoning Division City of Riviera Beach | 600 West Blue Heron Blvd. | Riviera Beach, FL 33404

My Commission Expires on: 02/03/2025

FORM #05

Z: Planning and Zoning/Forms\_Documents\_Templates/Affidavit of Completeness and Accuracy

NOTE: Posting/installation of the Signs was completed on May 25, 2021 which Date of Posting/Installation was no less than fifteen (15) days prior to the first public hearing listed above. Said signs have been posted in a manner which provides an unobstructed view and which allows for clear reading from the street(s) along W Blue Heron Blvd (2 Signs) and Avenue H W (2 Signs)



Prepared by and return to:

Hal R. Bradford, Esquire 104 Ocean Dunes Circle Yupiter, FL 33477

Property Control Nos.:

Cut & from 56-43-42-28-25-029-0000

56-43-42-28-00-000-7000

CFN 2016006660 OR BK 28127 PG 0731 RECORDED 02/26/2016 11:04:15 Palm Beach County, Florida AMT 10.00 Doc Stamp 0.70 Sharon R. Bock, CLERK & COMPTROLLER Pgs 0731 - 740; (10pqs)

## QUIT CLAIM DEED WITH RESERVATION OF EASEMENT

THIS QUIT CLAIM DEED made as of the 25th day of February, 2016, by the CITY OF RIVIERA BEACH UTILITY SPECIAL DISTRICT, a legal entity and public body created pursuant to Chapter 189, Florida Statutes, having an address of 600 West Blue Heron Boulevard, Riviera Beach, Florida 33404, hereinafter called Grantor, to the CITY OF RIVIERA BEACH, FLORIDA, a Florida municipal corporation, having an address of 600 West Blue Heron Boulevard, Riviera Beach, Florida 33404, hereinafter called Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all parties to this instrument and the heir Grantor and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH: That Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, does hereby remise, release and quit claim unto Grantee, all the right, title, interest, claim and demand which Grantor has or may have in and to that certain land situated in Palm Beach County, Florida, viz:

### SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF

hereinafter collectively called the "Land".

TO HAVE AND TO HOLD, the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the Grantor, either in law or equity, to the only proper use, benefit and behalf of the Grantee forever.

RESERVING unto the Grantor a non-exclusive, perpetual access and utility easement over, under, through and across the parcel more particularly described in Exhibit "B" attached hereto and made a part hereof, for the purpose of providing access to and operating, maintaining and repairing a lift station, water tank, three raw water wells and associated pipes and facilities located on or adjacent to the Land.

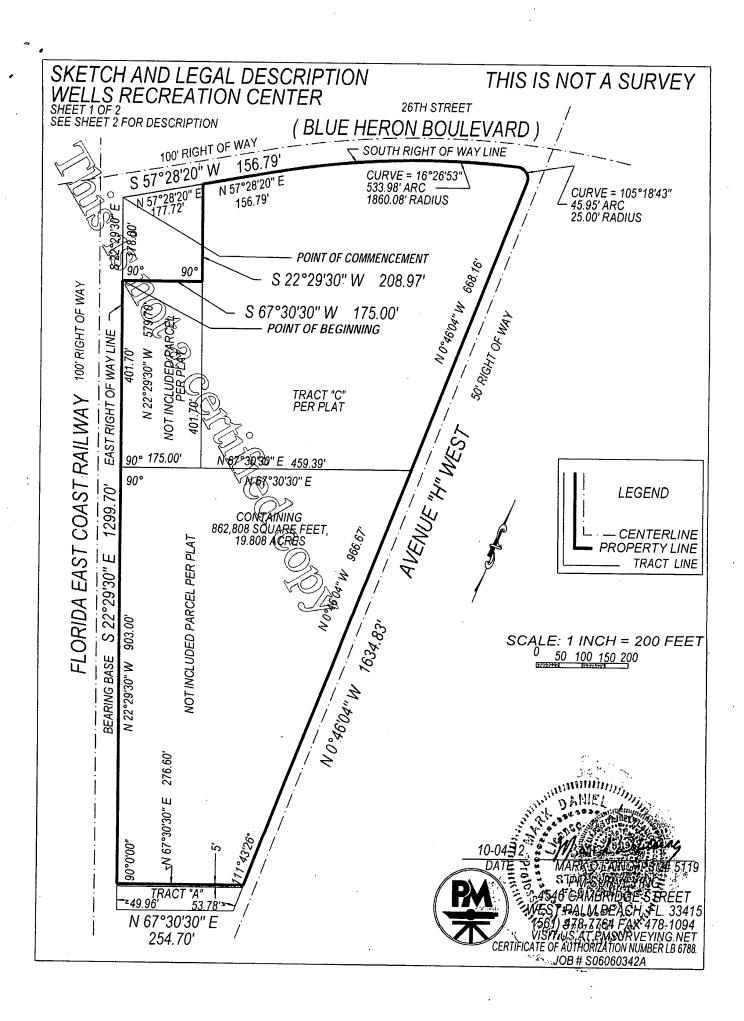
IN WITNESS WHEREOF, grantor has hereunto set its hand and seal the day and year first above written. CITY OF RIVIERA BEACH UTILITY Witness SPECIAL DISTRICT, a legal entity and public body created pursuant to Chapter 189, Florida Statutes BRADGORI Dawn S. Pardo, Chairperson STATE OF FLORIDA COUNTY OF PALM BEACH The foregoing instrument was acknowledged before me this **25** May of February, 2016, by Dawn S. Pardo, as Chairperson of the City of Riviera Beach Utility Special District, on behalf of the District. Print Name: Serial No. My Commission Expires: ☑ Personally known to me OR ☐ Produced Identification Type of Identification Produced:



### EXHIBIT A TO QUIT CLAIM DEED

LAND - LEGAL DESCRIPTION

[See attached]



# SKETCH AND LEGAL DESCRIPTION WELLS RECREATION CENTER

THIS IS NOT A SURVEY

SHEET 2 OF 2 SEE SHEET 1 SKETCH

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 28, AND THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 42 SOUTH, RANGE 43 EAST, BEING A PORTION OF TWO OF THE NOT INCLUDED TRACTS, AND ALL OF TRACT "C" AS DEPICTED ON PLAT NUMBER ONE OF "PART MANOR", AS RECORDED IN PLAT BOOK 26, PAGE 72, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE SOUTH LINE OF TWENTY-SIXTH STREET (BYCE HERON BOULEVARD, A 100 FOOT RIGHT OF WAY) AND THE EAST LINE OF THE RIGHT OF WAY OF THE FLORIDA EAST COAST RAILWAY, A 100 FOOT RIGHT OF WAY, AS AT THE PRESENT LAID DUT AND ESTABLISHED AND AS DEPICTED ON SAID PLAT OF "PARK MANOR": THENCE S 22 26 50" E, ALONG THE EASTERLY RIGHT OF WAY LINE OF THE FLORIDA EAST COAST RAILWAY ADJISTANCE OF 178.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE'S 22°29'30" E, ALONG THE EASTERLY RIGHT OF WAY LINE OF THE FLORIDA EAST COAST RAILWAYS A DISTANCE OF 1299.70 FEET TO A POINT IN A LINE PARALLEL WITH AND 5 FEET NORTH OF THE NORTH LINE OF TRACT "A"; THENCE TURNING AN ANGLE OF 90 DEGREES FROM NORTH TO EAST, ALONG A BEARING OF N67°30'30"E, AND ALONG SAID PARALLEL LINE, A DISTANCE OF 276.60 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF AVENUE "H" WEST AS DEPICTED ON SAID PLAT NO. 1 OF "PARK MANOR"; THENCE TURNING AN AUGLE OF 111°43'26" FROM WEST TO NORTH, A BEARING OF N00°46'04"W, ALONG SAID WEST RIGHT OF WAY, A DISTANCE OF 1634.83 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 25 FEET AND A DELTA OF 105°18'43"; THENGE ALONG THE ARC OF SAID CURVE A DISTANCE OF 45.95 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE TO THE SOUTH AND HAVING A RADIUS OF 1860.08 FEET (N) A DELTA OF 16°26'53"; THENCE WESTERLY ALONG THE ARC OF SAID CURVE, BEING ON THE CODITH RIGHT OF WAY LINE OF BLUE HERON BOULEVARD, A DISTANCE OF 533.98 FEET TO THE ENGOY SAID CURVE; THENCE S57°28'20"W ALONG SAID SOUTH RIGHT OF WAY LINE OF BLUE MERON BOULEVARD A DISTANCE OF 156.79 FEET: THENCE S 22°29'30" W, A DISTANCE OF 208/97" FEET; THENCE S 67°30'30" W, A DISTANCE OF

CONTAINING 862,808 SQUARE FEET, 19.807 ACRES, MORE OR LESS.

175.00 FEET TO THE POINT OF BEGINNING.

NOTE - NO SEARCH OF THE PUBLIC RECORD WAS PERFORMED BY THIS OFFICE. NOTE - HORIZONTAL DATUM IS ASSUMED, AND MATCHES PLAT DATUM PER THE PLAT OF PARK MANOR, PLAT ONE, PLAT BOOK 26, PAGES 72-75, NOTE - THIS SKETCH AND LEGAL DESCRIPTION IS NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF THE SURVEYOR AND MAPPER NAMED HEREON.

> 10-04-12 DATE

MARK DEAM 19 PM SURVEYING 4546 CAMBRIDGE STREET WEST PALM BEACH, FL. 33415 (561) 478-7764 FAX 478-1094

(561) 478-7764 FAX 478-1094 VISIT US AT PMSURVEYING.NET CERTIFICATE OF AUTHORIZATION NUMBER LB 6788

JOB # S06060342A



**EASEMENT - LEGAL DESCRIPTION** 

[See attached]

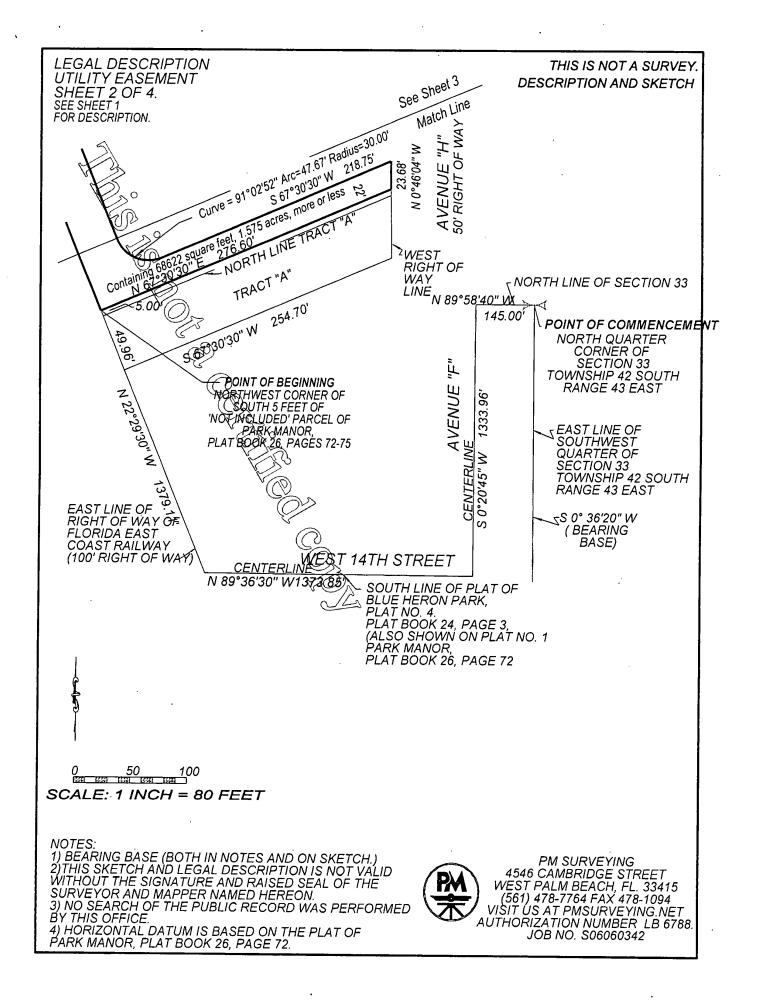
Arreasement over a portion of the Southwest Quarter of Section 28, Township 42 South, Range 43 Fast and a portion of the Northwest Quarter of Section 33, Township 43 South, Range 43 Fast being a portion of the 'Not Included' parcel depicted on plat number one of "Park Manor", as recorded in Plat Book 26, Page 72, of the public records of Palm Beach County, Florida; and more particularly described as follows:

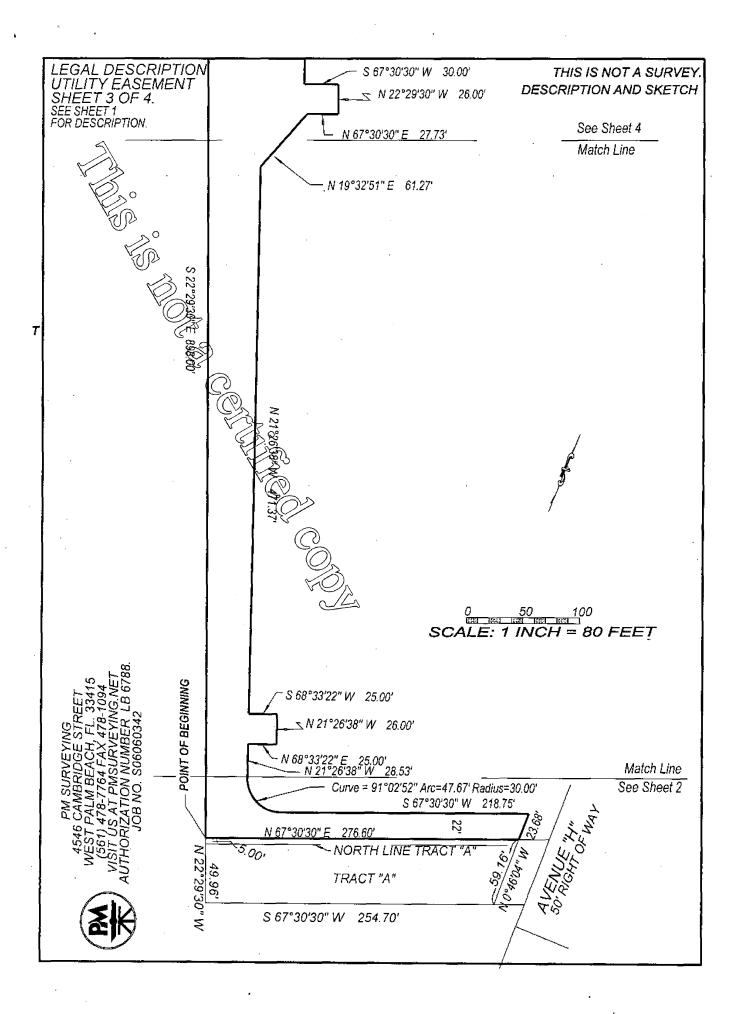
Commencing at the Quarter Corner on the North line of Section 33, Township 42 South, Range 43 East as depicted on said plat number one of "Park Manor", as recorded in Plat Book 26, Page 72, of the public records of Palm Beach County, Florida; (the East Line of the Southwest Quarter of said Section 33, as depicted on said plat, bearing \$ 0°36'20" W, being the basis of bearings referred to hereon); thence \$\infty 89^58'40" W, along the North line of said Section 33, a distance of 145.00 feet to a point of intersection with the centerline of Avenue "F"; thence S 0°20'45" W, along said centerline, a distance of 1333.9 Deet a point on the south line of Blue Heron Park, Plat no. 4, Plat Book 24, page 31; being the centerline of West 14th Street; thence N89°36'30"W, along said south line and said centerline, a distance of £373.85 feet to a point in the East Right of Way line of the Florida East Coast Railway, a 100 foot right hav; thence N22°29'30"W, along said West right of way line, a distance of 1379.11 feet to the Southwest corner of Tract "A"; thence continue N22°29'30"W, a distance of 49.96 feet to the Northwest corner of aforementioned Tract "A"; thence continue N22°29'30"W a distance of 5.00 feet to the POINT OF BEGLANING being the Northwest Corner of the South 5 feet of the 'not included' parcel of said Park Maror thence N 67°30'30"E, parallel with the North line of said Tract "A". a distance of 276.60 feet to the Westright of way of Avenue "H"; thence N0°46'04" W, along said right of way, a distance of 23.68 feet; thence S 67°30'30" W, parallel with the North line of said Tract "A", a distance of 218.75 feet to the point of surveyure of a curve concave to the Northeast, having a radius of 30.00 feet and a delta of 91°02'52"; thence along the arc of said curve, a distance of 47.67 feet to the end of said curve; thence N 21°26'38"(VV) a distance of 28.53 feet; thence N 68°33'22" E, a distance of 25.00 feet; thence N 21°26'38" W/a distance of 26.00 feet; thence S 68°33'22" W, a distance of 25.00 feet; thence N 21°26'38" W, a distance of 471.37 feet; thence N 19°32'51" E, a distance of 61.27 feet; thence N 67°30'30" E, a distance of 27.73 feet; thence N 22°29'30" W, a distance of 26.00 feet; thence S 67°30'30" W, a distance of 30.00 feet; thence N 22°29'30" W, a distance of 352.60 feet; thence N 67°30'30" E, a distance of 38,00 feet; thence N 22°29'30" W, a distance of 40.00 feet; thence S 67°30'30" W, a distance of 38.00 feet; thence N 22°29'30" W, a distance of 257.22 feet; thence S 67°30'30" W, a distance of 25.00 feet; thence S 22°29'30" E, a distance of 401.69 feet; thence S 67°30'30" W, a distance of 60.00 feet; thence S 22°29'30" E, a distance of 898.00 feet to the point of beginning;

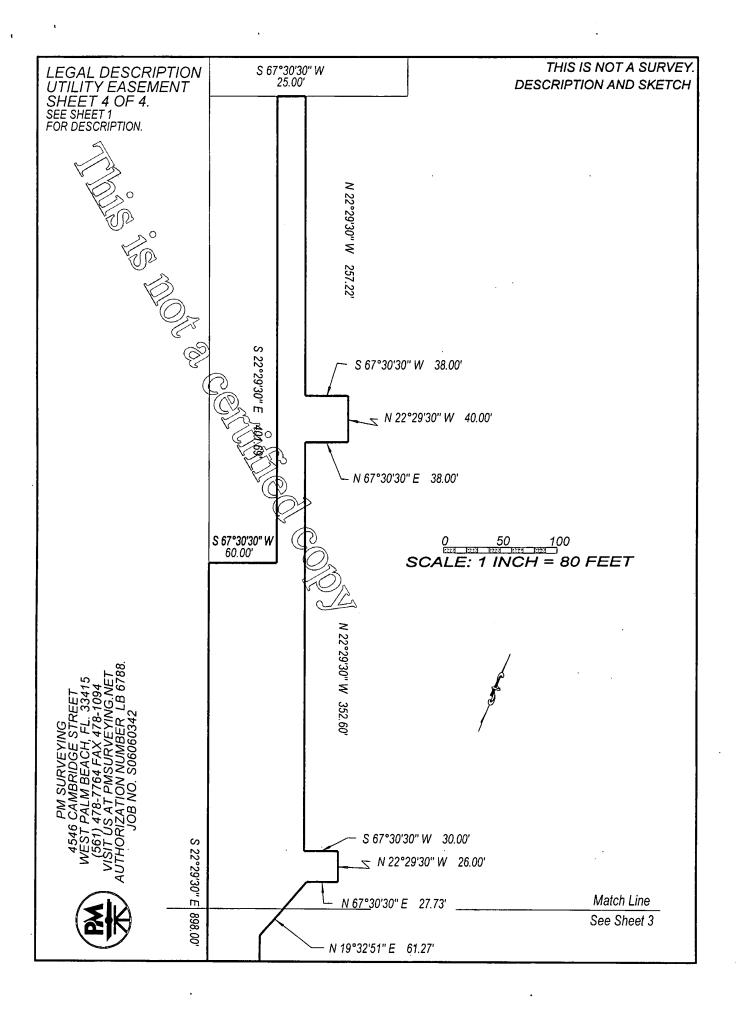
Containing 68622 square feet, 1.575 acres, more or less.

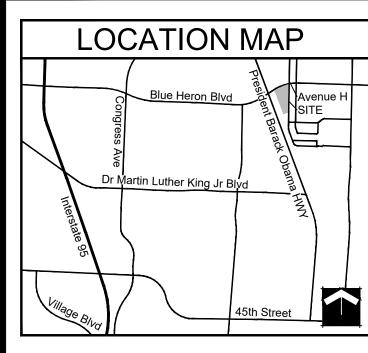


PM SURVEYING 4546 CAMBRIDGE STREET WEST PALM BEACH, FL. 33415 (561) 478-7764 FAX 478-1094 VISIT US AT PMSURVEYING.NET AUTHORIZATION NUMBER LB 6788. JOB NO. S06060342







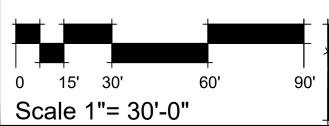


SITE IADO	JLAR DATA
Application Name	Temporary FS 87 at Wells Res 21-2
Application Number	SP-21-0
Future Land Use Designation	Recreational (REC
Zoning District	Community Facility (CF
Property Control Number	56-43-42-28-25-029-000
Applicable Overlay(s)	Principal Arteria
Section, Township, Range	28/42/4:
Existing Use	Recreational Parl
Proposed Use	Apparatus Bay, Supply Storage, Temporary Fire Station
Total Site Area	8.81 AC. (383,764 s.f.
Total Affected Area	0.91 AC. (39,554 s.f.
Total Gross Floor Area	10,072 s.i
Apparatus Bay	4,000 s.i
Supply Storage	3,192 s.1
Temporary Fire Station	2,880 s.1
Total Floor Area Ratio	0.03
Total Building Coverage	3%
Impervious Area (Total Site Area)	7%
Buildings	10,072 s.:
Pavement/Walks	17,571 s.1
Pervious Area (Total Site Area)	93%
Open Space	355,911 s.i
Number of Stories	
Parking Required (Peak Shift)	9 SPACES
Proposed Parking	17 SPACES
Handicap Spaces Required	
Handicap Spaces Proposed	
Traffic Analysis Zone	14
Apparatus B Supply Stora	cy Approval* say 4,000 s.f. age 3,192 s.f. Station 2,880 s.f.

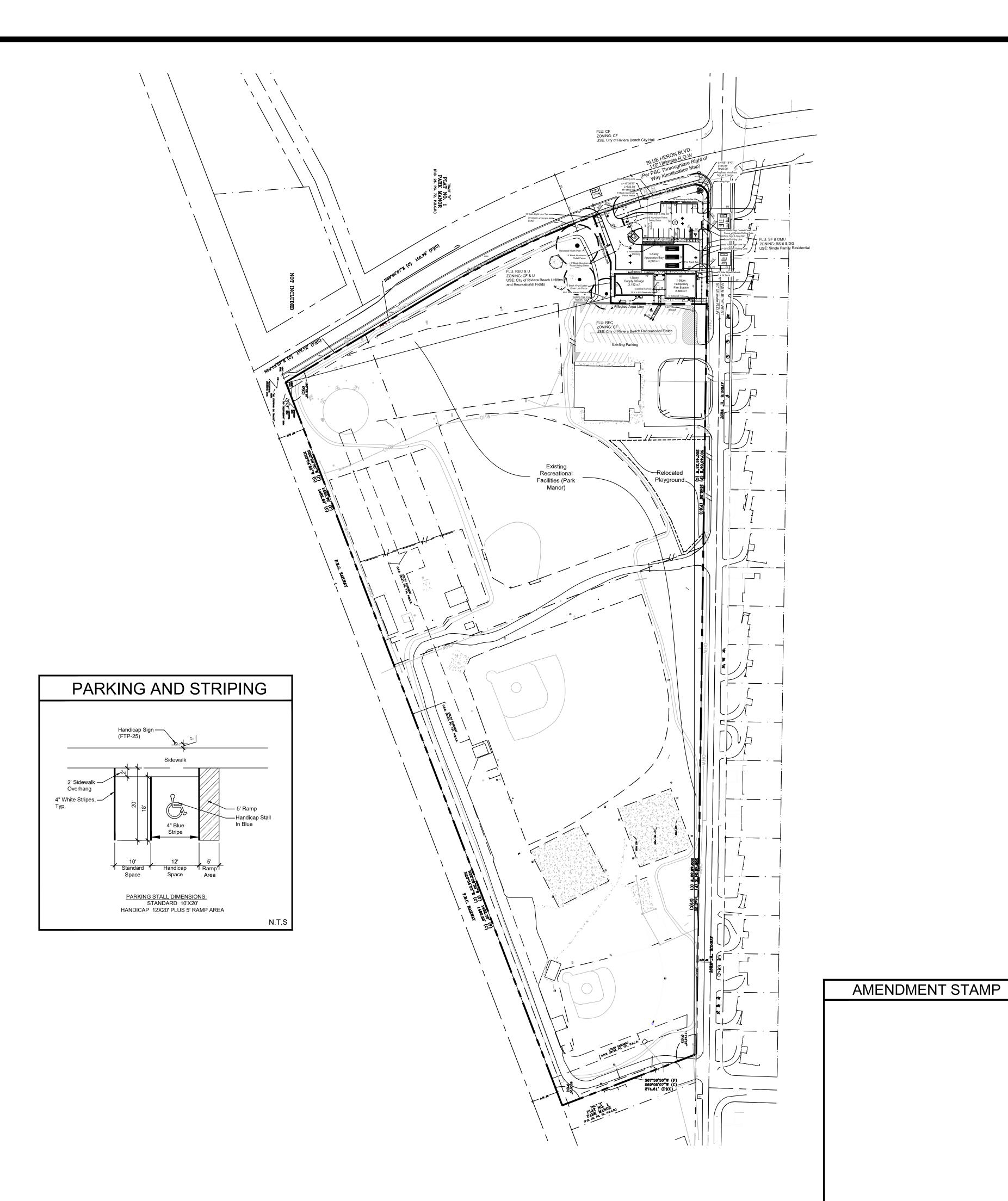
	CF PROPERTY DEVELOPMENT REQUIREMENTS											
	ZONING DISTRICT	ı	MINIMUM LO	MUM LOT DIMENSIONS MAX MIN			MIN.	SETBACKS/SEPARATIONS				
		SIZE	WIDTH	FRONTAGE	DEPTH	MAX FAR		PERVIOUS	FRONT	SIDE INTERIOR	SIDE STREET	REAR
CODE	CF		-					-	-	-	-	
PROP	CF	8.81 AC.	704.72'	704.72'	672.15'	0.03	3%	93%	86'	651'	21'	1,447'

	DEVELOPMENT TEAM			
DEVELOPER:	CITY OF RIVIERA BEACH			
	600 W BLUE HERON BLVD			
	RIVIERA BEACH, FL 33404			
	(561) 845-4060			
ARCHITECT:	ADVANCED MODULAR STRUCTURES, INC.			
	1911 NW 15TH STREET			
	POMPANO BEACH, FL 33069			
	(954) 960-1550			
	DOLLO WINTED COMPANIES INC			
CIVIL ENGINEER:	DOUG WINTER COMPANIES, INC.			
	4047 OKEECHOBEE BLVD, SUITE 222			
	WEST PALM BEACH, FL 33409			
	(561) 471-9863			
TRAFFIC ENGINEER:	PTC TRANSPORTATION CONSULTANTS			
	2005 VISTA PARKWAY, SUITE 111			
	WEST PALM BEACH, FL 33411			
	(561) 296-9698			
PLANNER:	SCHMIDT NICHOLS			
	1551 N FLAGLER DRIVE, SUITE 102			
	WEST PALM BEACH, FL 33401			
	(561) 684-6141			
SURVEYOR:	KCI TECHNOLOGIES, INC.			
	1425 W. CYPRESS CREEK ROAD, SUITE 101			
	FORT LAUDERDALE, FL 33309			
	(954) 776-1616			

NOTES					
BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARI BY KCI TECHNOLOGIES, INC. DATED 03/31/21					
D/R DUMPSTER WITH ENCLOSURES					









LANDSCAPE ARCHITECTURE AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684.6141 Email: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

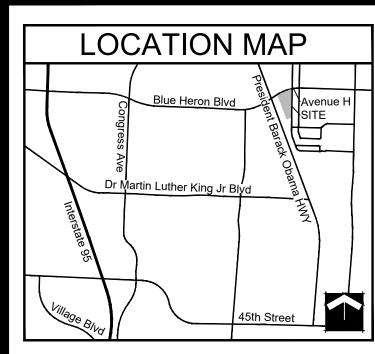
Date:	05/04/21
Scale:	1" = 100'-0'
Design By:	JS
Drawn By:	AH
Checked By:	JS
File No.	1020.01
Job No.	20-08

REVISIONS / SUBMISSIONS 06/02/21 Resubmittal

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	<b>•</b> 4		

Site Plan

ZONING STAMP



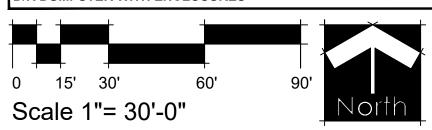
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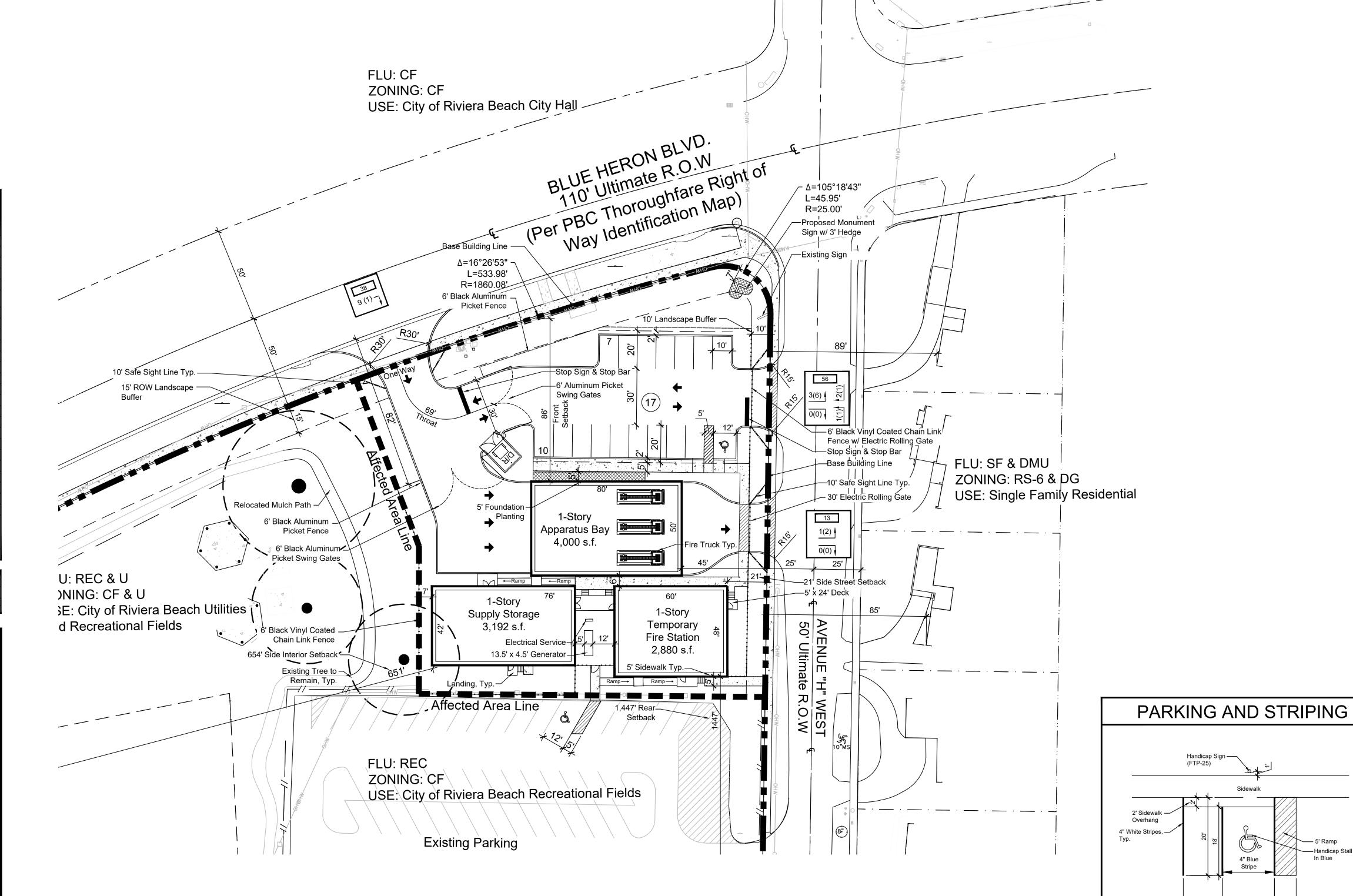
	DEVELOPMENT TEAM
DEVELOPER:	CITY OF RIVIERA BEACH
	600 W BLUE HERON BLVD
	RIVIERA BEACH, FL 33404
	(561) 845-4060
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	(954) 960-1550
CIVIL ENGINEER:	DOUG WINTER COMPANIES, INC.
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	(561) 471-9863
TRAFFIC ENGINEER:	PTC TRANSPORTATION CONSULTANTS
	2005 VISTA PARKWAY, SUITE 111
	WEST PALM BEACH, FL 33411
	(561) 296-9698
DI ANNED	COLUMNITA MICHOLO
PLANNER:	SCHMIDT NICHOLS
	1551 N FLAGLER DRIVE, SUITE 102
	WEST PALM BEACH, FL 33401
	(561) 684-6141
SURVEYOR:	KCI TECHNOLOGIES, INC.
SURVETUR.	1425 W. CYPRESS CREEK ROAD, SUITE 101
	1723 W. CIFRESS CREEK ROAD, SUITE 101

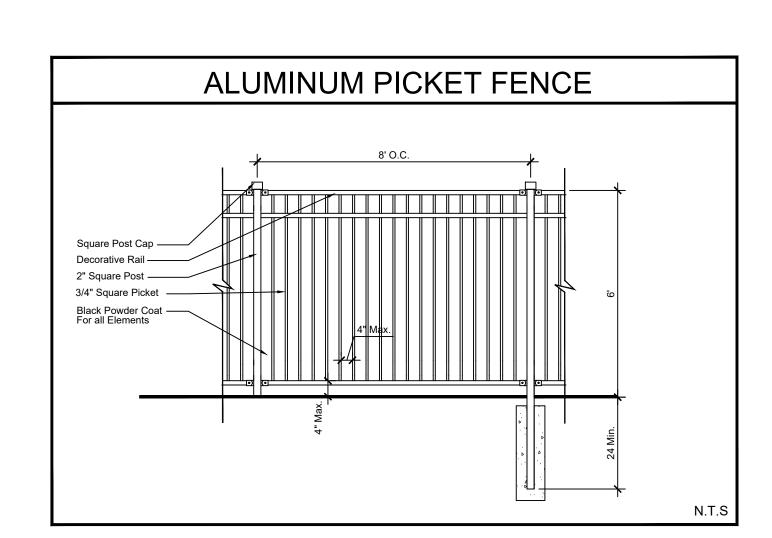
NOTES
BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY KCI TECHNOLOGIES, INC. DATED 03/31/21
D/R DUMPSTER WITH ENCLOSURES

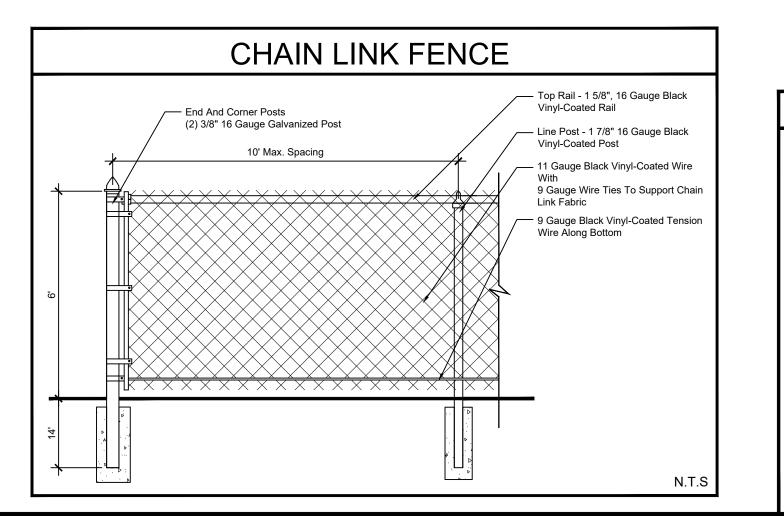
(954) 776-1616

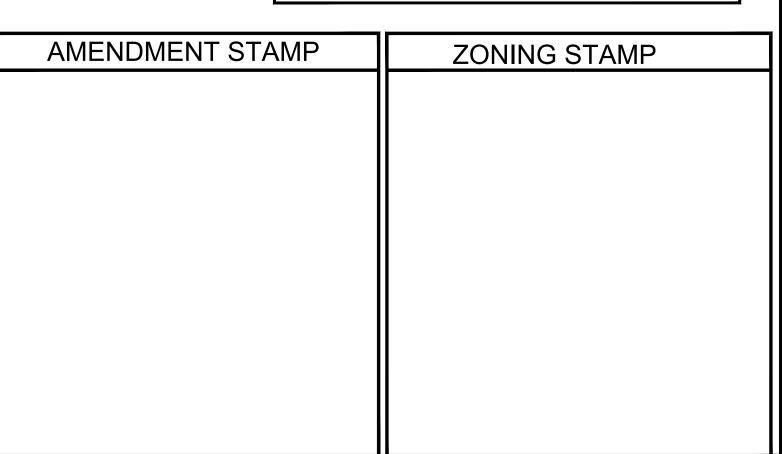
FORT LAUDERDALE, FL 33309











4" Blue Stripe

PARKING STALL DIMENSIONS: STANDARD 10'X20' HANDICAP 12X20' PLUS 5' RAMP AREA

N.T.S



1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684.6141 Email: info@snlandplan.com Website: www.snlandplan.com

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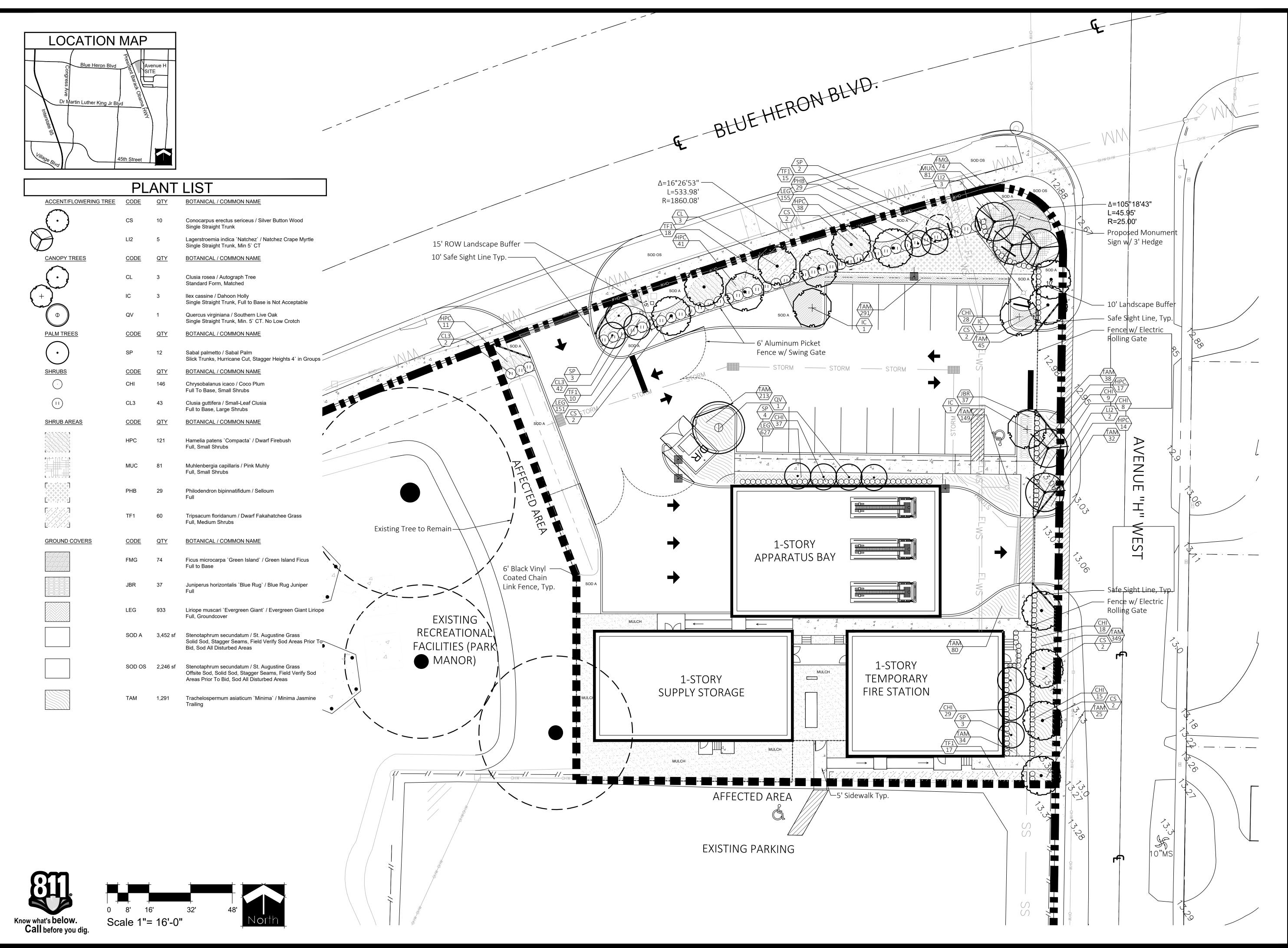
05/04/21 1" = 30'-0" Design By: Drawn By: Checked By: 1020.01 20-08

**REVISIONS / SUBMISSIONS** 06/02/21 Resubmittal

Site

Plan

SP-2





LANDSCAPE ARCHITECTURE AND URBAN PLANNING

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Date:	05/03/21
Scale:	1" = 16'-0"
Design By:	MLD
Drawn By:	MLD
Checked By:	JES
File No.	1020.01
Job No.	20-08

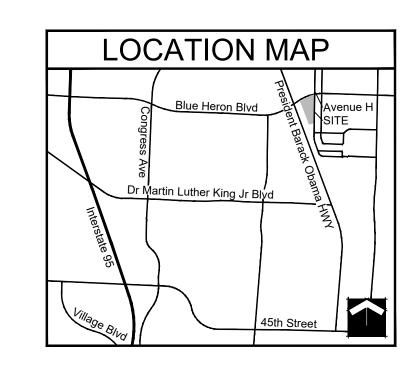
REVISIONS / SUBMISSIONS 06/02/21 Resubmittal

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED

LA 6667416 FLORIDA REGISTRATION NO. LA 0001638

Landscape Plan



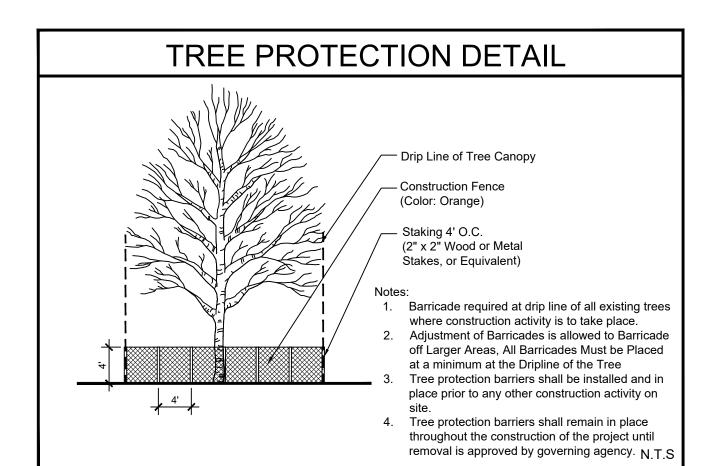


		BUFFERS		
TREES:		REQUIREMENT	NO. REQUIRED	NO. PROVIDE
North Property Line *	173 L.F.	20 L.F.	9	9
East Property Line*	195 L.F.	20 L.F.	10	10
		TOTAL TREES:	19	19
				1
SHRUBS:		REQUIREMENT	NO. REQUIRED	NO. PROVIDE
North Property Line - Large	173 L.F.	4' O.C.	43	43
North Property Line - Medium	173 L.F.	4' O.C.	43	43
North Property Line - Small	173 L.F.	2' O.C.	87	87
East Property Line	195 L.F.	2' O.C.	98	109
		TOTAL SHRUBS:	271	282
GROUNDCOVER:		REQUIREMENT	NO. REQUIRED	NO. PROVIDE
North Property Line	173 L.F.	6" O.C.	346	346
		TOTAL GROUNDCOVER:	346	346
		INTERIOR		
INTERIOR		REQUIREMENT	NO. REQUIRED	NO. PROVIDE
Site Landscape Area	40,280 S.F.	20% Min.	8,056 S.F.	12,003 S.F.
Site Interior Trees *	8,056 S.F.	1/1,500 S.F.	1	1
Interior Landscape Area	8,056 S.F.	50% Min.	4,028 S.F.	7,619 S.F.
Parking Island Trees	4	1 / Island	4	4
Turf Grass	12,003 S.F.	45% Max.	5,401 S.F.	3,409 S.F.
Foundation Trees	128 L.F.	1 / 20 L.F.	6	6
Foundation Shrubs	128 L.F.	2' O.C	64	64
OVERALL		REQUIREMENT	NO. REQUIRED	NO. PROVIDE
Native Plants	711	70 % of Required	427	489
Canopy Trees	30	60 % Min.	18	7+
Accent Trees	30	20% Max.	6	15
Palm Trees	30	20% Max.	6	11+
		TOTAL TREES	30	30
		TOTAL SHRUBS	335	490

TOTAL GROUNDCOVER

2324

	PLANT LIST									
ACCENT/FLOWERING TREE	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CALIPER	<u>HEIGHT</u>	SPREAD	CLEAR TRUNK	WATER USAGE	STATUS	
	CS	10	Conocarpus erectus sericeus / Silver Button Wood Single Straight Trunk	1.5" DBH	10` Min.	5`	5` Min.	Low	Native	
	LI2	5	Lagerstroemia indica `Natchez` / Natchez Crape Myrtle Single Straight Trunk, Min 5` CT	1.5" DBH	10` Min.	5`	5` Min.	Low	Non-Native	
CANOPY TREES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CALIPER	<u>HEIGHT</u>	SPREAD	CLEAR TRUNK	WATER USAGE	STATUS	
	CL	3	Clusia rosea / Autograph Tree Standard Form, Matched	2.5" DBH	12` Min.	5`	6`	Low	Native	
+	IC	3	llex cassine / Dahoon Holly Single Straight Trunk, Full to Base is Not Acceptable	2.5" DBH	12` Min.	5`	6`	Low	Native	
$^{\circ}$	QV	1	Quercus virginiana / Southern Live Oak Single Straight Trunk, Min. 5` CT. No Low Crotch	2.5" DBH	12` Min.	5`	6`	Low	Native	
PALM TREES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CALIPER	<u>HEIGHT</u>	SPREAD	CLEAR TRUNK	WATER USAGE	STATUS	
$\overline{}$	SP	12	Sabal palmetto / Sabal Palm Slick Trunks, Hurricane Cut, Stagger Heights 4` in Groups	N/A	12`-20` CT	N/A	12`-20` CT	Low	Native	
SHRUBS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	STATUS		
$\odot$	CHI	146	Chrysobalanus icaco / Coco Plum Full To Base, Small Shrubs	24"	24"	24" O.C.	Low	Native		
	CL3	43	Clusia guttifera / Small-Leaf Clusia Full to Base, Large Shrubs	36"	24"	48" O.C.	Low	Native		
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	STATUS		
	HPC	121	Hamelia patens `Compacta` / Dwarf Firebush Full, Small Shrubs	18"	18"	24" O.C.	Low	Native		
	MUC	81	Muhlenbergia capillaris / Pink Muhly Full, Small Shrubs	18"	18"	24" O.C.	Low	Native		
	РНВ	29	Philodendron bipinnatifidum / Selloum Full	24"	24"	48" O.C.	Low	Non-Native		
	TF1	60	Tripsacum floridanum / Dwarf Fakahatchee Grass Full, Medium Shrubs	24"	24"	48" O.C.	Low	Native		
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	STATUS		
	FMG	74	Ficus microcarpa `Green Island` / Green Island Ficus Full to Base	12"	12"	18" O.C.	Medium	Non-Native		
	JBR	37	Juniperus horizontalis `Blue Rug` / Blue Rug Juniper Full	6"	12"	18" O.C.	Low	Non-Native		
	LEG	933	Liriope muscari `Evergreen Giant` / Evergreen Giant Liriope Full, Groundcover	6"	6"	12" O.C.	Low	Non-Native		
	SOD A	3,452 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	High	Non-Native		
	SOD OS	2,246 sf	Stenotaphrum secundatum / St. Augustine Grass Offsite Sod, Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	High	Non-Native		
	TAM	1,291	Trachelospermum asiaticum `Minima` / Minima Jasmine Trailing	4"	6"	14" O.C.	Low	Non-Native		



### LANDSCAPE NOTES

1. Easements shall not encroach landscape buffers more than 5 feet.

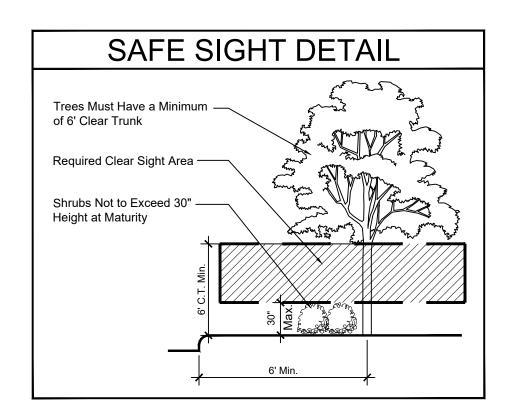
- Landscaping in right-of-way buffers shall be installed on the exterior side of walls or fences.
- 3. FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided.
- 4. Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30" and 8' above
- crown of road.
  5. Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with
- b. Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas.6. All plant material is to be installed a the height, spread and DBH/Caliper shown in the Plant List, container sizes are
- given as a suggestion only.

  7. No muck-grown sod shall be utilized in detention areas.
- 8. All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing min.
- 9. Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be
- Irees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.

  10. Trees are to be installed with a ten foot (10') separation from any water or sewer main and/ or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements. However, in no case shall a tree encroach into a PBCUE without
- prior PBCWUD approval and only sod can be installed within 7.5' of a fire hydrant unless otherwise approved by the Fire Marshal.

  11. All planters shall be excavated to a minimum depth of the native soil on site and back-filled with a suitable soil
- consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
- 12. All substitutions or modifications from the approved Landscape Plan must be submitted and approved by the
- Landscape Architect in writing.

  13. All ground-mounted equipment shall be screened from view.
- 13. All ground-mounted equipment shall be screened from view.14. Prior to C.O., the site must have 100% sod coverage, including greenspace in the directly adjacent ROW. All disturbed areas must be sodded including all areas used for staging and maneuvering that may not be indicated on the Landscape Plan.



# SCHMIDT

NICHOLS LANDSCAPE ARCHITECTURE

AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684.6141 Email: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

# Temporary FS 87 at Wells Res 21-21

Job No.	20-08
File No.	1020.01
Checked By:	JES
Drawn By:	MLD
Design By:	MLD
Scale:	NIS

05/03/21

REVISIONS /	SUBMISSIONS
06/02/21 Re	esubmittal

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

Printed name LA 6667416 FLORIDA REGISTRATION NO. LA 0001638

Landscape Notes

P-2

<sup>\*</sup> Less out Accessways

<sup>+</sup> Overhead Lines Restrict Tree Species to Small Species/Palms per FPL Guidelines

### **PART 1 GENERAL**

### 1.01 WORK INCLUDED

- A. The scope of the work for the landscape contractor for the project shall include the provision of all labor, materials and equipment required to complete all tasks associated with the landscape and irrigation installation as shown on the drawings or noted herein. The landscape contractor is responsible for coordinating with the general contractor reasonable access to
- power and potable water sources as required to ensure plant survivability and delivery of a completed project that meets all the required specifications
- B. Subgrade Elevations: Excavation, filling and grading required to establish elevations 4" lower than elevations and contours shown on drawings are not specified in this Section. C.Finish Grade Elevations: 1 inch below top of pathway edging.

### 1.02 QUALITY ASSURANCE

### A. Subcontract landscape work to a single firm specializing in landscape work.

- B. The landscape contractor shall be responsible for ensuring all work (including delivery, storage and disposal of their materials) is performed in compliance with applicable jurisdictional codes.
- C. The landscape contractor shall be responsible for familiarizing themselves with project plans and scopes of work related to associated trades to be performed by others in order to identify key coordination items including, but not limited to, site access, material storage, and scheduling and sequencing of work. The landscape contractor is responsible for coordinating all site issues with the general contractor.
- D. The plant quantities shown on the landscape contract documents are for the convenience of the landscape contractor. The landscape contractor is responsible for verifying all quantities and reporting any discrepancies to the Landscape Architect for clarification prior to contract award and at commencement of work. Contractor is responsible for confirming sod quantities and certifying such to the Owner or his representative.
- E. The landscape contractor shall be responsible for the protection of all adjacent work, materials and equipment from damage due to their activities. The landscape contractor shall be solely responsible for any damage or injury to person or property
- that may occur as a result of the execution of their work. F. Landscape Contractor to notify the Owner or his representative, or Landscape Architect at least three (3) working days prior
- to beginning any stage of work. G.Owner or Landscape Architect to be immediately notified of any discrepancies found in field.
- H. The Owner or his representative, or Landscape Architect reserve the right to field adjust plant material on-site to avoid conflicts or discrepancies not anticipated in the planning process.
- I. Source Quality Control: 1. Ship landscape materials with certificates of inspection required by governing authorities. Comply with regulations
- applicable to landscape materials 2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material. When authorized, adjustment of contract amount will be made. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to
- 3. Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, wherever applicable
- 4. Trees, Palms and Shrubs: Provide trees, palms and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as decay, knots, sun-scald, injuries, abrasions, and disfigurement. Root systems shall be vigorous and fibrous, filling the container but shall not be root bound or exhibit spiraling roots. Verification of the health and vigor of all plant
- material is the sole responsibility of the landscape contractor. A.Provide trees, palms and shrubs for grade Florida No. 1 as outlined under the current edition of the Grades and Standards
- for Nursery Plants, Florida Department of Agriculture, unless otherwise noted. i. Sizes: Provide trees and shrubs of sizes shown or specified. Trees, palms and shrubs of larger size may be used if acceptable to Landscape Architect, and if sizes of roots or balls are increased proportionately.
- B. Inspection: Landscape Architect reserves right to inspect trees, palms and shrubs either at place of growth or at site before planting, for compliance with requirements for name, variety, size and quality.

- A.Certification: Submit certificates of inspections as required by governmental authorities, and manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with
- specified requirements. B. Submit seed vendor's certified statement for each grass seed mixture required, stating botanical and common name,
- percentage by weight, and percentage of purity, germination, and weed seed for each grass seed species. C.Planting Schedule: Submit planting schedule showing schedule dates for each type of planting in each area of site. D.Maintenance Instructions: Submit procedures for maintenance of landscape work.

### 1.04 DELIVERY, STORAGE AND HANDLING

- A.Packaged Materials: Deliver packaged materials in original containers showing weight analysis and name of manufacturer. Protect materials from deterioration during delivery, and while stored at site.
- B. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips. C.Trees, palms and shrubs: Provide freshly dug trees, palms and shrubs. Do not prune prior to delivery. Do not bend or
- covering during delivery D.Deliver trees, palms and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and

bind-tie trees or shrubs in such a manner to damage bark, break branches or destroy natural shape. Provide protective

keep roots moist. E. Do not remove container grown stock from containers until planting time.

- A.Proceed with and complete landscape work as rapidly as portions of site become available.
- B. Utilities: Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned. C.Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.
- D.Planting Schedule: Where applicable, prepare a proposed planting schedule. Schedule dates to establish a logical sequence for completing each type of landscape work to avoid damage to other landscape work and work performed by other discipline. Correlate with specified maintenance periods to provide maintenance from date of substantial completion.
- Once accepted, revise dates only as approved in writing, after documentation of reasons for delay. E. Coordination with Lawns: Plant trees, palms and shrubs after final grades are established and prior to planting of lawns, unless otherwise acceptable to Landscape Architect. If planting of trees, palms and shrubs occurs after lawn work, protect

### lawn areas and promptly repair damage to lawns resulting from planting operations. 1.06 SPECIAL PROJECT WARRANTY

- A. Warrant lawns through specified maintenance period, and until final acceptance. The required period is for one full year following installation of lawn areas.
- B. Warrant trees for a period of one year after date of substantial completion against defects death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond Landscape Contractor's control.
- C. Warrant shrubs for 1 full year after date of substantial completion. D.It is understood that the warranty is to be inclusive of all labor, materials and equipment necessary for the replacement of
- any plant materials required. E. Should the landscape contractor be required to replace any damaged, diseased, dying or dead plant material it is understood that the replacement material is to be of the same species, size and quality as that originally specified on the Landscape Plan. The contractor will be responsible for the removal of all materials and leaving the impacted area clean following any
- remedial action. F. Remove and replace trees, shrubs or other plants found to be dead or in unhealthy condition during warranty period. Make replacements during growth season following end of warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period; unless, in opinion of the Landscape Architect, it is advisable to extend warranty period
- for a full growing season or for one full year. 1. Another inspection will be conducted at end of extended warranty period to determine acceptance or rejection. Only one replacement will be required at end of warranty period, except for losses or replacements due to failure to comply with specified requirements.

### **PART 2 PRODUCTS**

- A.If topsoil is not available on site it must be furnished as specified. Throughout all parts of site where finish grades and contour lines differ from existing contour lines, bring to finish grade contours shown on "Grading Plan."
- B. Topsoil shall be friable fertile soil with representative characteristics of area soils. It should be free of heavy clay, silt, stone, extraneous lime, plant roots and other foreign matter greater than 1 1/2" diameter. It shall not contain noxious plant growth (such as bermuda or nut grass). It shall test in neutral Ph range of 5.0 to 6.75 and contain no toxic substances that can be

deemed to impede plant growth. The contractor shall be prepared to have soil lab-tested at his expense by the Landscape

COMPONENTS	VOLUME MEASURE	PARTICLE SIZE
Organic Matter 3 -	5%	
Silt	10 - 30%	0.05 to 0.002 MM
Sand	25 - 75%	0.2 to 0.05 MM
Clav	5 - 25%	0.002 MM and below

Architect or Owner. Topsoil shall comply with the following quantitative analysis.

### 2.02 SOIL AMENDMENTS

- A.If necessary to bring soil into above specified limits:
- B. Lime: Natural limestone (Dolomite) containing not less than 85% of total carbonates, ground so that not less than 90%
- passes a 10-mesh sieve and not less than 50% passes a 100-mesh sieve. C.Peat Humus or Peat Moss: Texture, moisture and pH range suitable for intended use.
- D. Humus Soil Conditioner: Consisting of yard trimmings and biosolids co-compost.
- E. Commercial Fertilizer: Complete fertilizer of neutral character, with 40% 50% of the total nitrogen in a water insoluble form. It shall be uniform in composition, dry and free flowing.
- 1. For trees, palms and shrubs, provide fertilizer with not less than 6% available phosphoric acid, 6% nitrogen and 6% soluble potash.
- 2. For lawns, provide fertilizer with not less than 6% phosphoric acid, and 6% potassium, and percentage of nitrogen required to provide not less than 1 lb. of actual nitrogen per 1000 square feet of lawn area. Provide nitrogen in a form that will be available to lawn during initial period of growth.

### A.Plant list/schedule is part of this specification section.

- B. Quality: Trees, palms, shrubs and other plants shall conform to the standards for Florida No. 1 or better as given in the latest edition of Grades and Standards for Nursery Plants, Florida Department of Agriculture.
- C.Deciduous Trees: Provide trees of height, spread, and caliper listed or shown and with branching configuration for Florida No. 1 graded trees in Grades and Standard for Nursery Plants for type and species required. Provide single stem trees except where special forms are shown or listed. Ball condition variable.
- D.Balled and burlap trees should be dug and prepared for shipment in a manner that will not damage roots, branches, shape and future development after planting. The product received on-site should have a firm ball with natural soils. Dried, cracked or broken rootballs will not be accepted.

- E. Coniferous and Broad-leafed Evergreens: Provide evergreens of size shown or listed Dimensions indicate minimum height, spread, and caliner Provide specified quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown and branching configuration for Florida No. 1 graded trees in Grades and Standard for Nursery Plants for type
- and species required. F. The landscape contractor is responsible for confirming the availability of all the specified plant materials within four (4) weeks of project award. All requests for substitution due to lack of availability must be made to the Landscape Architect in writing within this period. No substitution shall be permitted without prior written approval from the Landscape Architect. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to requesting substitution.
- G. Root suckers on Live Oaks are not acceptable H. No double or multi-trunk trees unless otherwise specified.

A. Grass Seed: Provide fresh, clean, new-crop seed complying with established tolerance for purity and germination. Provide seed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed, as specified.

B. Sod: Provide strongly rooted sod free of weeds and undesirable native grasses, capable of growth and development when planted.

### C. No muck-grown sod shall be utilized in detention areas.

- A. Ground Cover: Provide plants established and well-rooted in removable containers or internal peat pots and with not less than minimum number and length of runners specified. B. Anti-Erosion Mulch: Provide clean, dry, mulching hay or straw of coastal bermuda, pangola or bahia grass. Only undeteriorated mulch
- which can be readily cut into the soil shall be used. C. Mulch: Melaleuca or equal. The use of cypress mulch is prohibited.

### D. Stakes and Guys: When required provide stakes and deadmen of sound new hardwood or treated softwood free of knot holes and other defects. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire not lighter than 12 ga. with zinc-coated turnbuckles. Provide not less than 1/2" hose, cut to required lengths to protect tree trunks from damage by wires.

### **PART 3 EXECUTION**

A. Layout individual trees and shrub locations and areas for multiple plantings. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as maybe required.

### 3.02 PREPARATION OF PLANTING SOIL

- A. The landscape contractor is responsible for the preparation of soils within all planting areas inclusive of providing all imported soil materials, soil amendments, soil conditioners and fertilizers as required.
- B. Before mixing, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth. C. Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow placing of planting soil within a few days
- D. For planting beds, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting. Mix lime with dry soil prior to mixing of fertilizer.

### Prevent lime from contacting roots of acid-loving plants. E. Remove all shellrock encountered and backfill with clean sand or sand/soil mix.

### 3.03 PREPARATION FOR ALL PLANTING AREAS

- A. Eradicate weeds within the limits of all planting areas prior to beginning landscape installation. Perennial weeds and grasses to be removed include, but are not limited to, nut grass, puncture vine, morning glory, dog fennel, torpedo grass, Bermuda grass, Bahia grass, kikuyu grass, crab grass, carpet grass, sedge and other noxious and/or invasive weeds. The site is to be maintained weed free
- throughout planting operations. B. Existing plant material to be removed, except where noted on the Landscape or Tree Disposition Plans. C. Pre--till to scarify soils in all planting areas to a minimum depth of 4". Densely compacted areas between 85% and 90% are to be cross ripped to a minimum of 8" depth. In the process of tilling remove unacceptable materials including, but not limited to, foreign
- debris, construction waste, roots, concrete, asphalt and rocks greater than 1/2" diameter on average. In areas to receive sod till in fertilizer to a depth of 2" at a rate of 12 pounds per cubic ft. D. All planters shall be excavated to a minimum depth to reach native soil and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other
- E. All road rock, concrete, asphalt and other non-natural material to be removed from all planting areas prior to landscape installation. F. Spread a layer of 2 to 3 inches of humus soil conditioner over the entire planting areas Planting areas shall include all new sod areas, shrub areas and tree areas. These areas shall be as large as 3 times the diameter of the beds of the plants, except where confined by hardscape features such as paved parking areas, paved walk ways, structures, etc. Overlapping areas shall be considered to be one large planting area for the entire mass. The humus soil conditioner shall then be uniformly disked, tilled or aerified into the existing soil to a depth of 6 to 8 inches with the following exception: no rototilling shall occur closer to the trunks of established plants than one half the distance to the dripline of the existing plant canopy. All plants, including hedges and ground cover shall be planted in individually
- dug holes and the material dug from the holes shall then be further mixed with the prepared site soil prior to backfilling of the planting holes around the rootballs. G. All landscape beds, including sod areas, shall be leveled and raked smooth prior to any planting.

- A. Preparation of Unchanged Grades: Where lawns are to be planted in areas that have not been altered or disturbed by excavating, grading, or stripping operations, prepare soil for lawn planting as follows: Till to a depth of not less than 6"; apply soil amendments and initial fertilizers; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, free of lumps, clods, stones,
- 1. Prior to preparation of unchanged areas, remove existing grass, vegetation and turf. Dispose of such material outside of Owner's property; do not turn over into soil being prepared for lawns. B. Elsewhere: Loosen subgrade of lawn areas to a minimum depth of 4". Remove stones over 1 1/2" in any dimension and sticks, roots,
- rubbish and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation. C. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural

D. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer and

- E. Allow for sod thickness in areas to be sodded. F. Grade lawn areas to smooth, even surface with loose, uniformly fine texture. Roll and rake and remove ridges and fill depressions, as
- required to meet finish grades. Limit fine grading to areas which can be planted immediately after grading. G. Moisten prepared lawn areas before planting if soil is dry. Water thoroughly and allow surface moisture to dry before planting lawns. Do not create a muddy soil condition H. Restore lawn areas to specified condition if eroded or otherwise disturbed after fine grading and prior to planting.

### 3.05 PREPARATION OF PLANTING BEDS

on plans.

- A. Loosen subgrade of planting bed areas to a minimum depth of 12" using a cultimulcher or similar equipment\ Remove stones over 1 1/2" in any dimension, and sticks, stones, rubbish and other extraneous matter. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural settlement. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer, then place remainder of the planting soil. Add soil
- B. Excavation for Trees and Shrubs: Excavate pits, beds and trenched with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard subsoil in bottom of excavation 1. For balled and burlapped (B & B trees and shrubs), make excavations at least half again as wide as the ball diameter and equal
- 2. For container grown stocks, excavate as specified for balled and burlapped stock, adjusted to size of container width and depth. C. Dispose of subsoil removed from landscape excavations. Do not mix with planting soil or use as backfill. Fill excavations for trees and shrubs with water and allow to percolate out before planting. 3.06 PLANTING TREES, PALMS AND SHRUBS

A. Lay out individual trees, palm and shrub locations and areas for multiple plantings where required. Stake locations and outline areas

and secure Landscape Architect's acceptance before start of planting work. Make adjustments as may be required upon approval.

### B. Set balled and burlapped (B&B) stock on layer of compacted planting soil mixture, plumb and center of pit or trench with top of ball at same elevation as adjacent finished landscape grades. Remove burlap from sides of balls; retain on bottoms. When set, place additional backfill free from rocks and debris around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no

- more is absorbed. Water again after placing final layer of backfill. C. Balled and burlapped trees with natural burlap: pull back or remove at a minimum, the top 1/3 of the burlap from the root ball. Synthetic/plastic burlap and all other non-biodegradable materials must be removed completely from the root ball and disposed of. D. Trees in baskets: Remove wire baskets to a depth of 18" min. All synthetic strapping and other non-biodegradable materials must be completely removed and disposed of. Any burlap must be pulled back or removed from the top of the rootball.
- E. If trees are to be containerized, root ball will be shaved at the periphery to remove all circling roots F. Set container grown stock as specified for balled and burlapped stock, except cut cans on 2 sides with an approved can cutter; remove bottoms of wooden boxes after partial backfilling so as not to damage root balls. G. Top-most root shall be visible within the top 2" of the root ball.
- H. All proposed trees shall be installed either entirely in or entirely out of planting beds. Planting bed outlines shall not be obstructed and shall be smooth and flowing. If trees are located outside planting beds in grass areas, maintain a minimum three feet 3' wide offset to allow for mowers to maneuve I. Face of trees and palms to be located a minimum of 2'-0" off all sidewalks/bike paths or other paved surfaces, unless otherwise notated
- J. Groundcover and shrubs to be laid out in a uniform and consistent pattern. K. Dish top of backfill to allow for mulching
- L. Mulch pits, trenches and planting areas. Provide not less than 3" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Not more than 2" mulch shall be placed over the rootball of the trees. At the base of the plant, 2" must be
- M. Guy and stake trees immediately after planting, as indicated. N. The landscape contractor shall install plant materials using the best horticultural practices:
- 1. Protect plant material from damage during delivery, staging and installation. Do not begin installation of shrub and groundcover materials prior to completion of irrigation installation and finish grading. Do not install plant materials in winds in excess of 30 miles per hour. 3. Do not install plant material if deemed site conditions will impede the ability of plant material to thrive without notifying the
- Landscape Architect of concerns prior to installation. 4. Perform all work in accordance with all applicable laws, codes and regulations inclusive of all permits and inspections required
- by federal, state and local jurisdictions 5. The use of cables and chains for the lifting of trees is prohibited. Trees are to be lifted using nylon straps a minimum of 4" in width. Wrap trunks to protect from scraping and scarring The 'choke' strapping method for lifting trees is prohibited.
- Do not drop plant material
- Limit the amount of plants to be installed per day to those that can adequately be watered in the same day. Carefully remove containerized plants from their cans to avoid breaking the rootball. Containers should only be removed immediately prior to installation and plants should be immediately watered after placement. 10. Remove burlap and cut steel baskets from at least the top third of the rootball for all B&B material. Remove wire baskets to a
- minimum depth of 18". 11. Plant material must be installed at correct elevation in relation to finish grade as indicated on the planting details after settling. Plants set at incorrect elevations will need to be raised or lowered accordingly at no additional cost to the owner.
- 12. Planting pits for trees and shrubs must be excavated to the dimensions specified on the planting details. Following planting area immediately surrounding plant is to be tamped firm and use water jet technique to remove all air pockets repeating as required. 13. Apply re-wetting agent to the surface of all plant pits for trees and shrubs per manufacturer's recommendations.
- 14. Apply shredded hardwood mulch in even layer to a 3" depth. Mulch must be pulled off the base of all plant material. 15. Continuously monitor status of installed materials and make modifications, clean-ups and replacements as required.

### 3.07 PRESERVED PLANT MATERIALS

- A. The contractor is responsible for protecting and maintaining all plant material to remain within the limits of construction as indicated on the plans. Existing trees to remain shall be undisturbed and protected by barricades. Barricades are to be installed prior to any construction or earthwork takes place on the site. Barricades shall remain in place through the duration of all construction activity and not removed until authorization has been received by the Landscape Architect and governing municipality
- B. No vehicle shall traverse this area nor shall any storage of materials or equipment be permitted within this protected area. C. The contractor shall bear the sole responsibility of replacement for any damage to protected materials caused by construction activity without additional costs to the owner

### 3.08 TRANSPLANTED PLANT MATERIALS

- A. Root prune all large canopy trees to be relocated prior relocation one half of the root system at a time and allow of adequate harden off B. Transplanted Sabal Palms shall be hurricane cut and rootballs shall be wrapped in burlap or plastic if not being planted within a 24 hour
- C. Palms of other species shall have their fronds tied together to prevent leaf damage and facilitate handling.
- D. Planting hole for transplanted material should measure two times the diameter of the root ball.
- F Trees shall be planted at the same depth as it was in the field F. The landscape contractor shall be responsible for providing supplemental irrigation through hand watering or other means (including temporary drip, water wands and soaker hoses) to help establish all transplanted trees. The contractor should continue to monitor the moisture content for all transplanted trees and adjust supplemental irrigation as needed.
- G. All relocated trees shall be staked accordingly. H. The contractor shall bear the sole responsibility of replacement for any damage to transplanted materials caused by construction activity, deficient irrigation, or poor transplant procedure without additional costs to the owner.

### 3.09 PRUNING

- A. All pruning shall be done on the site before planting as directed by Landscape Architect. Pruning shall follow modern horticultural practices (Grades and Standards for Nursery Plants) and shall be done with approved tools designed for the purpose intended. Lopping, topping, or shearing of trees or shrubs will be grounds for rejecting the plants as unsuitable and not meeting requirements. Damaged, scarred, frayed, split, or skinned branches, limbs or roots shall be pruned back to line wood nearest to the next sound outside lateral bud, branch, limb or root. The terminal leader or bud in all trees or shrubs shall be left intact and not removed unless
- B. Prune, thin out and shape trees and shrubs. Prune trees to retain required height and spread. Unless otherwise directed by Landscape Architect, do not cut tree leaders, and remove only injured or dead branches from flowering trees, if any. Prune shrubs to retain natural

### 3.10 SODDING NEW LAWNS

- A. Lav sod within 24 hours from time of stripping. B. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll tightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces to sod; remove excess to avoid smothering of adjacent grass.
- C. There shall be no gaps greater than ½" between pieces of sod. D. Water sod thoroughly with a fine spray immediately after planting. Newly sodded areas shall be kept moist for the first week after planting after which a minimum watering rate of 2" per week, including rainfall shall be applied. E. No muck-grown sod shall be utilized in detention areas.
- F. Landscape Contractor is responsible for replacing any damaged sod.

### 3.11 MAINTENANCE

- A. The landscape contractor shall be responsible for the maintenance of all plant materials and the planting areas immediately after planting and until final acceptance but the owner, Landscape Architect, and governing municipality B. Maintain trees, palms, shrubs and other plants until final acceptance but in no case less than following period: 30 days after substantial
- C. Maintain trees, palms, shrubs and other plants by pruning, cultivating and weeding as required for healthy growth. Restore planting saucers. Tighten and repair stake and guy supports and reset trees and shrubs to proper grades or vertical position as required. Restore or replace damaged wrappings. Spray as required to keep trees and shrubs free of insects and diseases.
- D. Remove and replace excessively pruned or malformed stock resulting from improper pruning. E. Maintain lawns for not less than the period stated below, and longer as required to establish an acceptable lawn. 1. Sodded lawns, not less than 30 days after substantial completion
- 2. Seeded lawns, not less than 60 days after substantial completion. F. Maintain lawns by watering fertilizing, weeding, mowing, trimming, and other operations such as rolling, regrading and replanting as required to establish a smooth, acceptable lawn, free of eroded or bare areas. G.Landscape Contractor is responsible for watering all sod and plant materials from day of installation through final acceptance even if

H. Contractor is responsible for returning to the site after a period of (1) one year to remove the staking from the trees and palms.

### 3.12 CLEANUP AND PROTECTION

A. During landscape work, keep pavement clean and work area in an orderly condition. B. Protect landscape work and materials from damage due to landscape operations, operations by other contractors and trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed.

### A. When landscape work is completed, including maintenance, Landscape Architect will, upon request, make an inspection to determine

3.14 IRRIGATION

B. Seeded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, uniform close stand of specified grass established, free of weeds, bare spots and surface irregularities (95% coverage required for acceptance).

acceptability. Landscape work may be inspected for acceptance in parts agreeable to Landscape Architect, provided work offered for

- C. Sodded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, well-rooted even-colored, viable lawn is established, free of weeds, open joints and bare areas (95% coverage required for acceptance). Where inspected landscape work does not comply with requirements, replace rejected work and continue specified maintenance until re-inspected by Landscape Architect and found to be acceptable. Remove rejected plants and materials promptly from project site.
- established landscape. B. Bubblers shall be provided on all trees C. The landscape contractor shall be responsible for providing supplemental irrigation through hand watering or other means (including temporary drip, water wands and soaker hoses) to help establish the new and salvaged material. The contractor should continue to

A. An automatic irrigation system providing 100% coverage with 50% minimum overlap is to be designed and installed to maintain an

monitor the moisture content for all trees and shrubs. D. The landscape contractor is responsible for obtaining all necessary permits prior to installation.

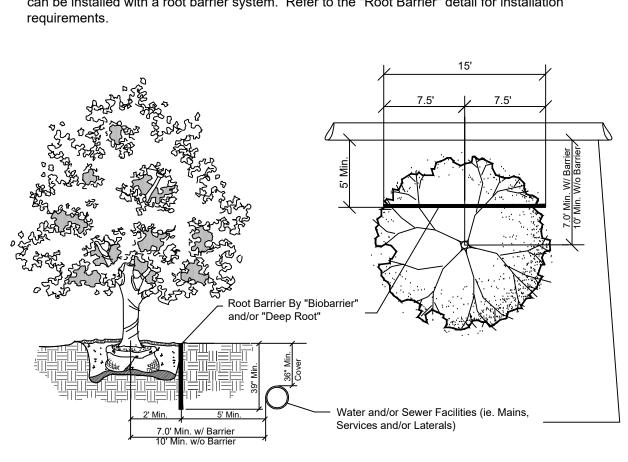
E. Provide an as built drawing of the irrigation system to the Landscape Architect.

irrigation is not in place, unless this responsibility is assumed in writing by another party.

accordance with the planting details shown hereon.

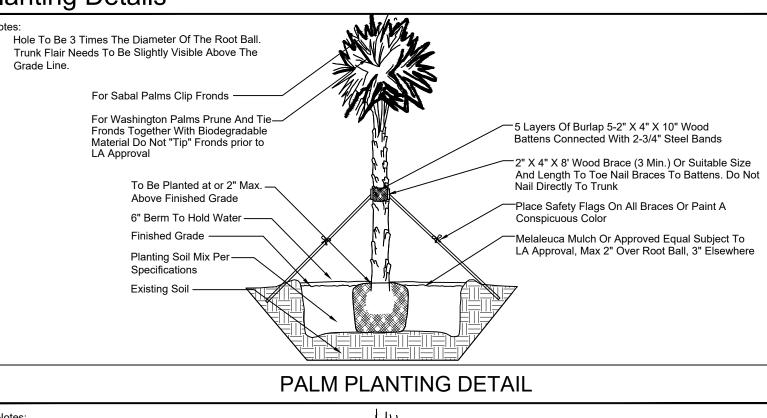
F. A rain sensor is required on all irrigation systems.

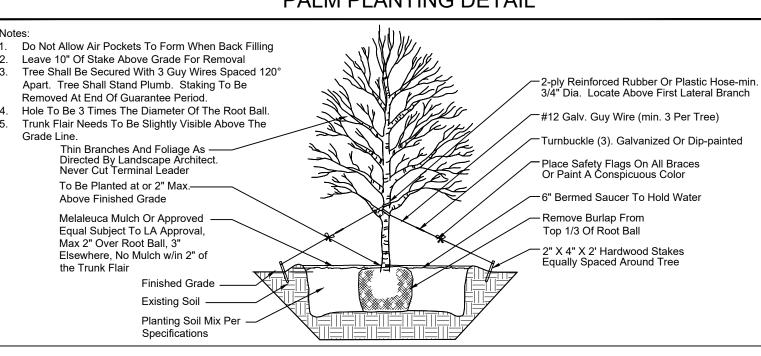
- LANDSCAPE AND ROOT BARRIER NOTE Trees shown on this plan are for graphic reprsentation only. Tree spacing is based on design requirements and the trees shown on this plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the filed in
- Additionally, trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation



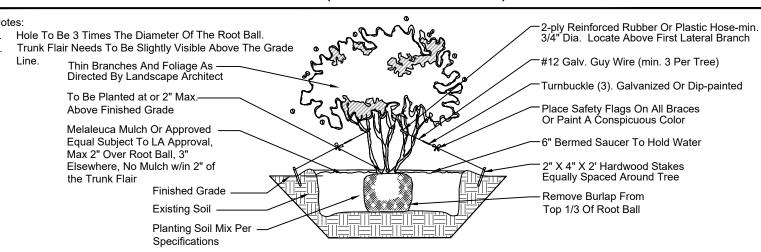
### ROOT BARRIER DETAIL

### **Planting Details**





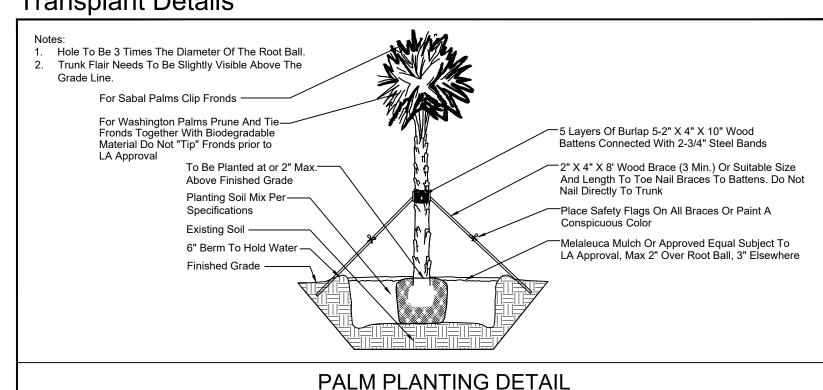
### LARGE TREE (OVER 8' HEIGHT) PLANTING DETAIL





### SHRUB AND GROUNDCOVER PLANTING DETAIL

### **Transplant Details**



### Do Not Allow Air Pockets To Form When Back Filling Leave 10" Of Stake Above Grade For Removal Tree Shall Be Secured With 3 Guy Wires Spaced 120° 2-ply Reinforced Rubber Or Plastic Hose-min. 3/4" Dia. Locate Above First Lateral Branch Apart. Tree Shall Stand Plumb. Staking To Be Removed At End Of Guarantee Period. Planting Hole To Be 3 Times The Diameter Of The Root Ball. #12 Galv. Guy Wire (min. 3 Per Tree) Trunk Flair Needs To Be Slightly Visible Above The Grade Turnbuckle (3). Galvanized Or Dip-painted Thin Branches And Foliage As — Directed By Landscape Architect. Place Safety Flags On All Braces Never Cut Terminal Leader Or Paint A Conspicuous Color To Be Planted at or 2" Max.-─6" Bermed Saucer To Hold Water Above Finished Grade Melaleuca Mulch Or Approved -- 2" X 4" X 2' Hardwood Stakes Equal Subject To LA Approval, Equally Spaced Around Tree Max 2" Over Root Ball, 3" Flsewhere No Mulch w/in 2" of Top 1/3 Of Root Ball the Trunk Flair Existing Soil — Planting Soil Mix Per -Specifications

PALM PLANTING DETAIL

# SCHMIDT NICHOLS

LANDSCAPE ARCHITECTURE AND URBAN PLANNING

West Palm Beach, FL 33401 Phone: 561.684.6141 Email: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

1551 N. Flagler Dr, Ste 102

05/03/21 Date: Scale: NTS MLD Design By: MLD Drawn By: JES Checked By: 1020.01 File No. Job No. 20-08

REVISIONS / SUBMISSIONS

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FLORIDA REGISTRATION NO. LA 0001638 Landscape Specs



This item has been electronically signed and sealed by Douglas G. Winter, P.E. on 04/30/21 using a SHA-1 authentication code.

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SUNSHINE STATE

ONE CALL OF FLORIDA, INC.

SITE AREA

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Certificate of Authorization #560 4047 Okeechobee Blvd., Suite 22: West Palm Beach, FL 33409 Ph: (561) 471-9863 Fx: (561) 471-50

Doug Winter

Ph: (561) 471-9863 Fx: (561) 47 BILITY TO NOTIFY ALL TION OF UNDERGROUND RUCTION ACTIVITIES.

Ph: (561) 471-9863 Fx: (561) 47 Civil/Environmental/Agricultural Eng Water Resources/Land Developm Septic System Design Wetland/Upland Habitat Project Permitting/Management

**COVER SHEET** 

RARY FIRE STATION 87 WELLS RES 21-21 409 AVENUE H W

IKD BY DW
TE 04/29/2021
ALE AS SHOWN
B # 20-3966

CS

### SHEET INDEX:

S COVER SHEET

D-1 GRADING AND DRAINAGE PLAN

D-2 DRAINAGE DETAILS

VS-1 FIRE LINE AND WATER & SEWER PLAN

/S-2 ENLARGED VIEW

/S-3 CITY OF RIVIERA BEACH - WATER & SEWER DETAILS

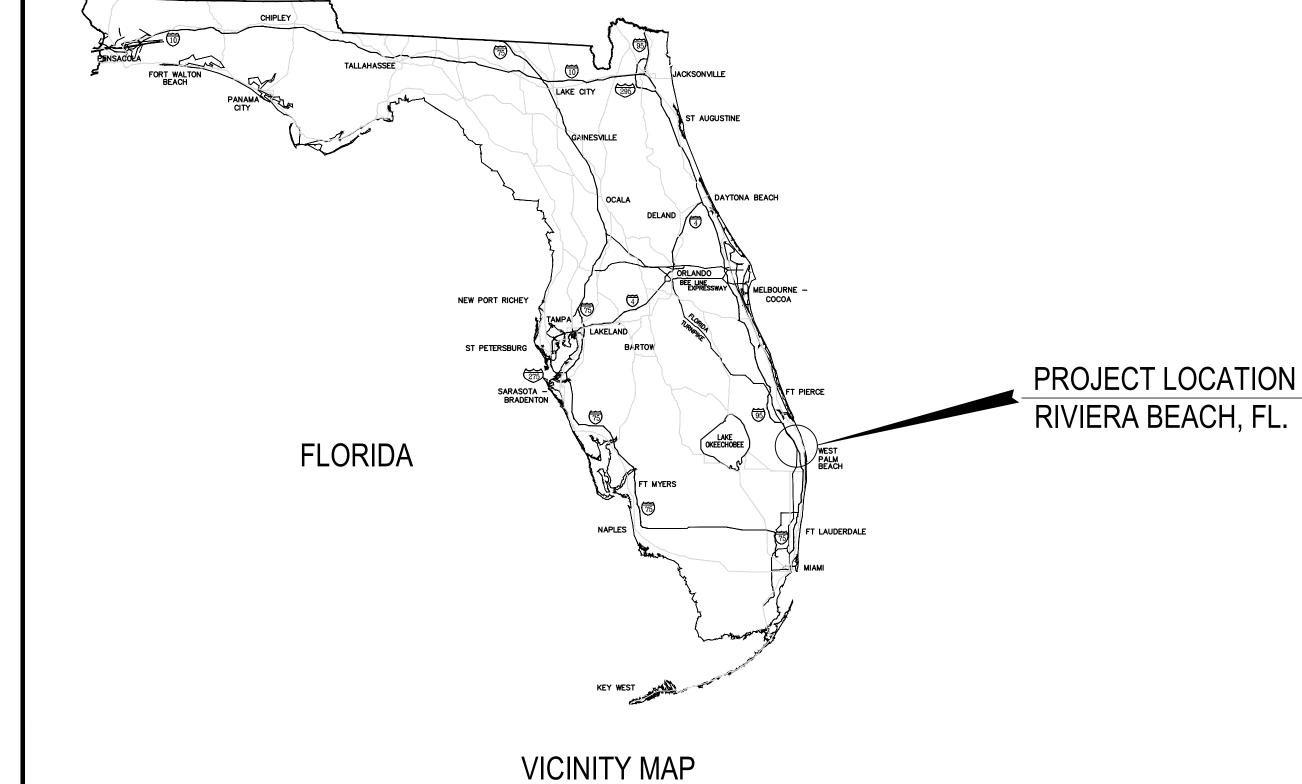
WS-4 CITY OF RIVIERA BEACH - WATER & SEWER DETAILS

SS-1 SIGNAGE AND STRIPING PLAN

SS-2 SIGNAGE AND STRIPING DETAILS

DC-1 FDOT DRIVEWAY CONNECTION PLAN

C-2 FDOT DRIVEWAY DETAILS



erfood Food Store

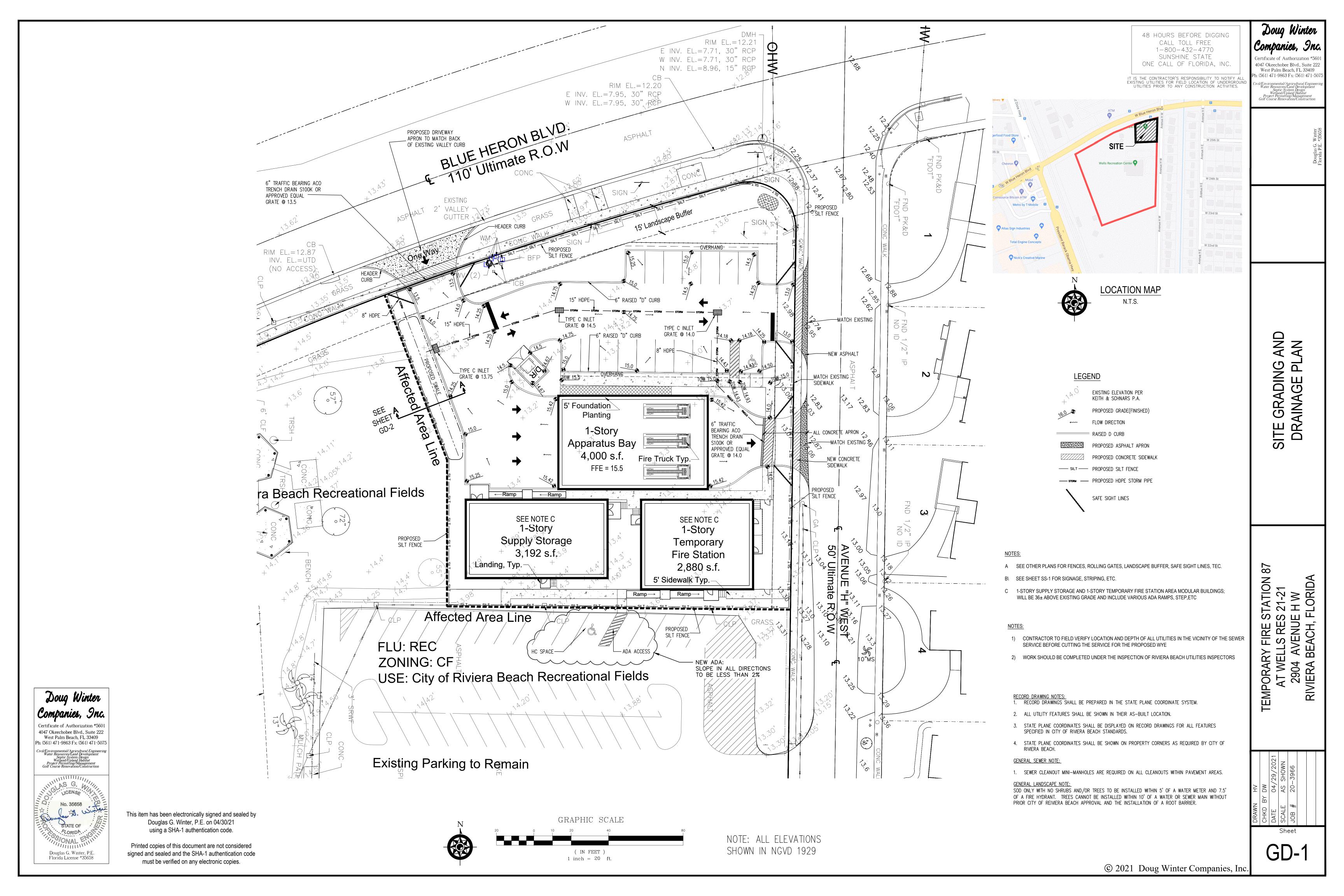
Wells Recreation Center 

Wells Recreation Center 

W 25th St

W 25th

LOCATION MAP



48 HOURS BEFORE DIGGING CALL TOLL FREE 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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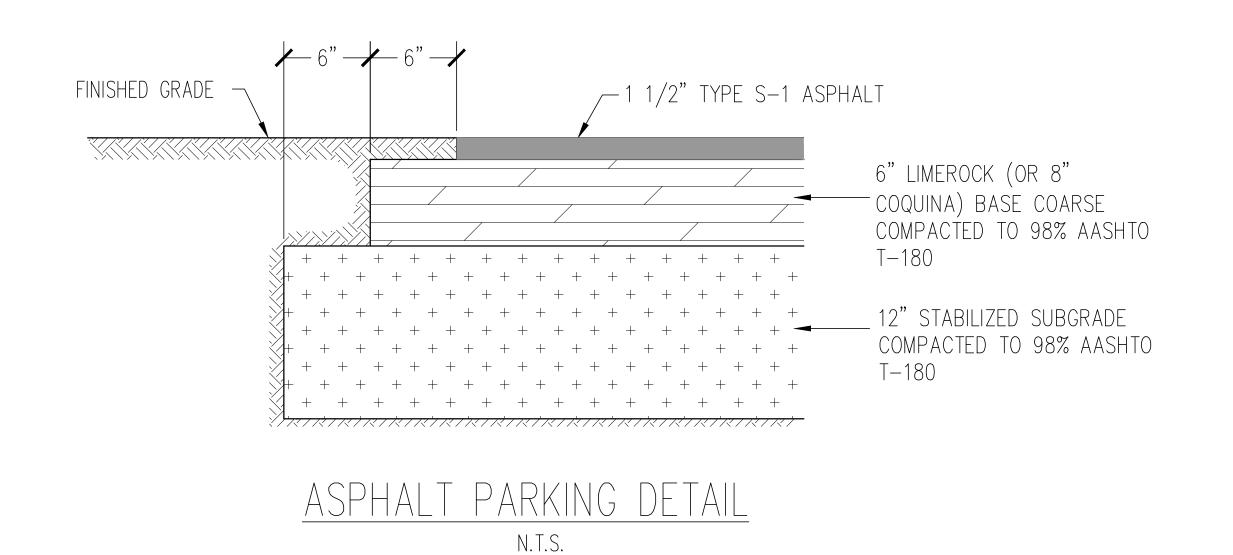
DRAINAGE

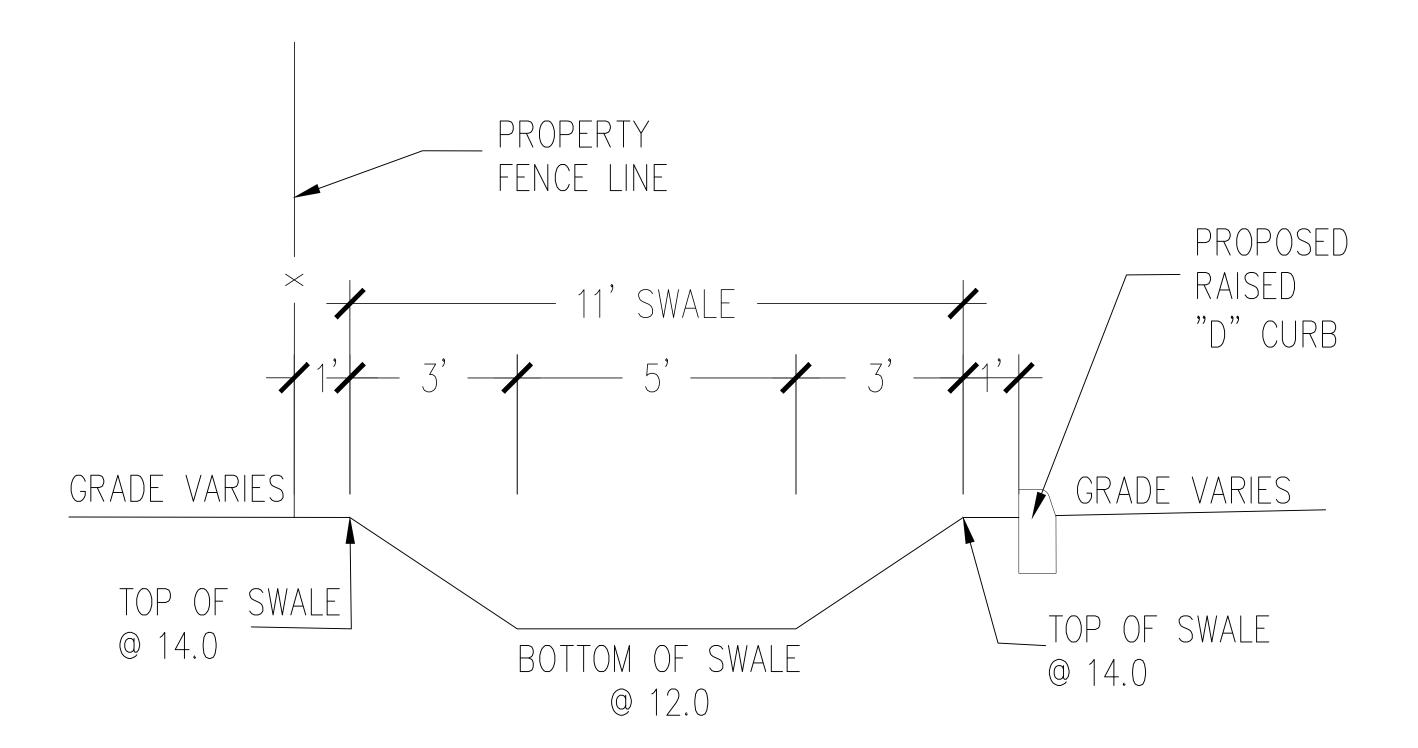
ARY FIRE STATION 87
VELLS RES 21-21
4 AVENUE H W
A BEACH, FLORIDA TEMPORARY F AT WELLS 2904 AV RIVIERA BEA

Doug Winter Companies, Inc. Certificate of Authorization #5601 4047 Okeechobee Blvd., Suite 222 West Palm Beach, FL 33409 Ph: (561) 471-9863 Fx: (561) 471-5075

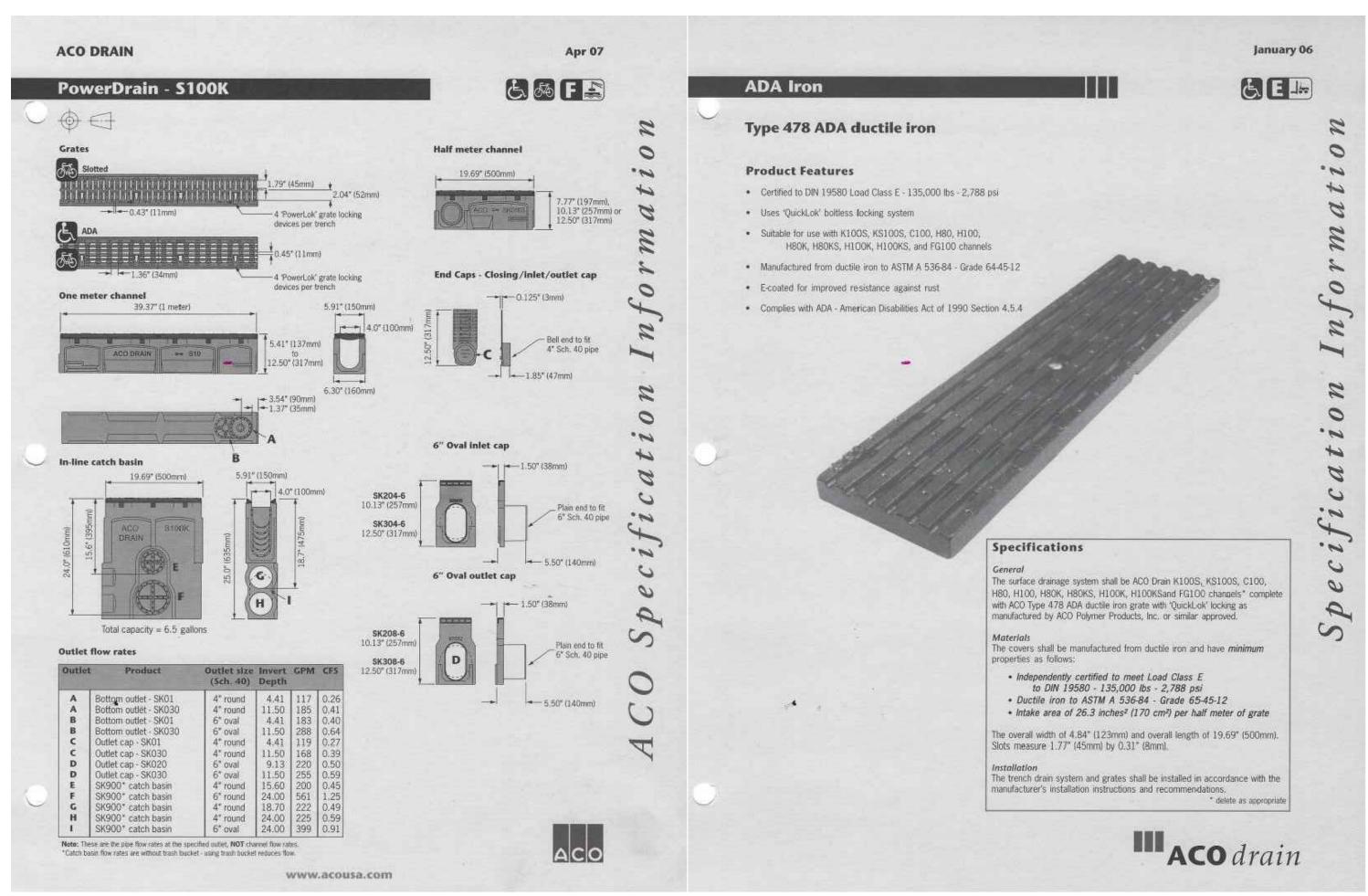
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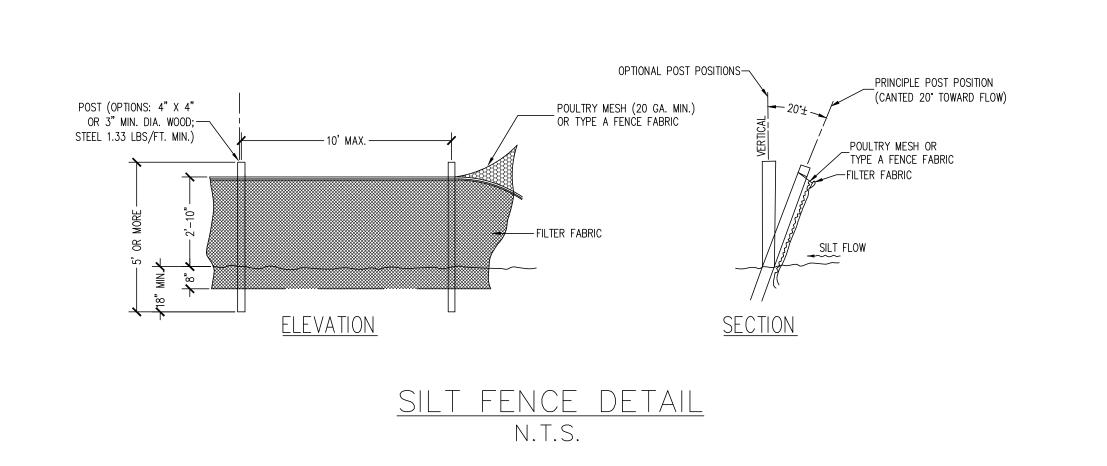
GD-2









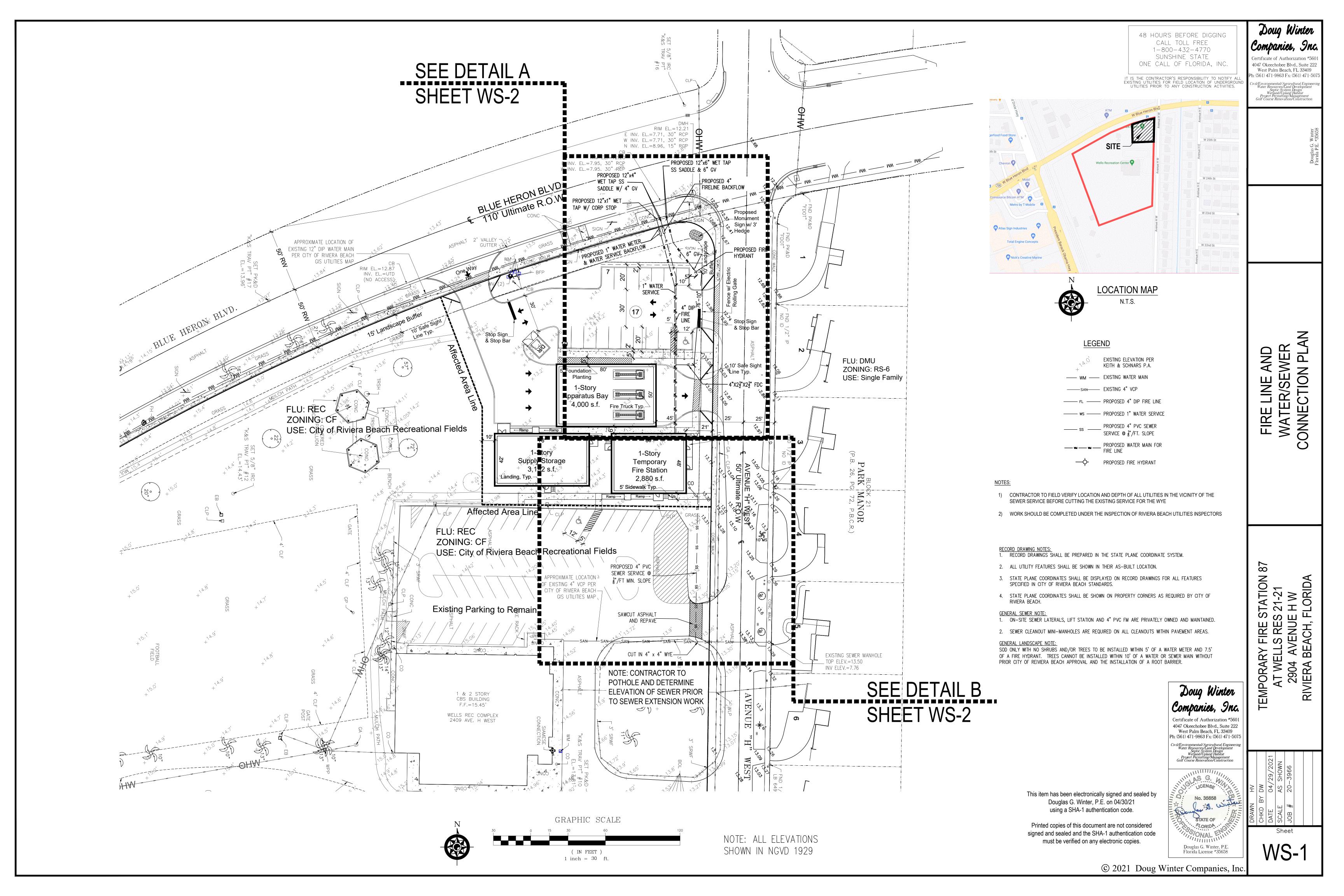


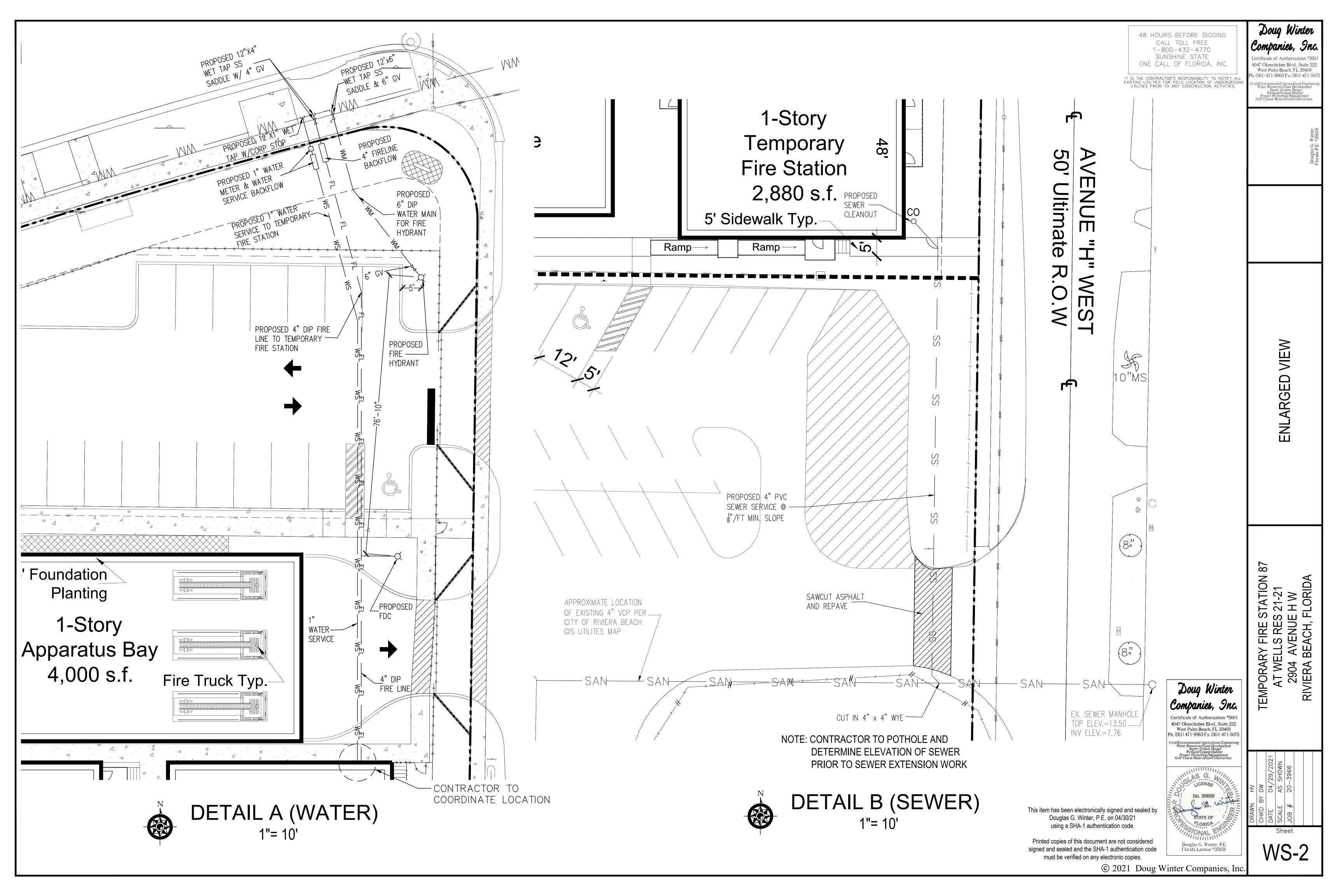
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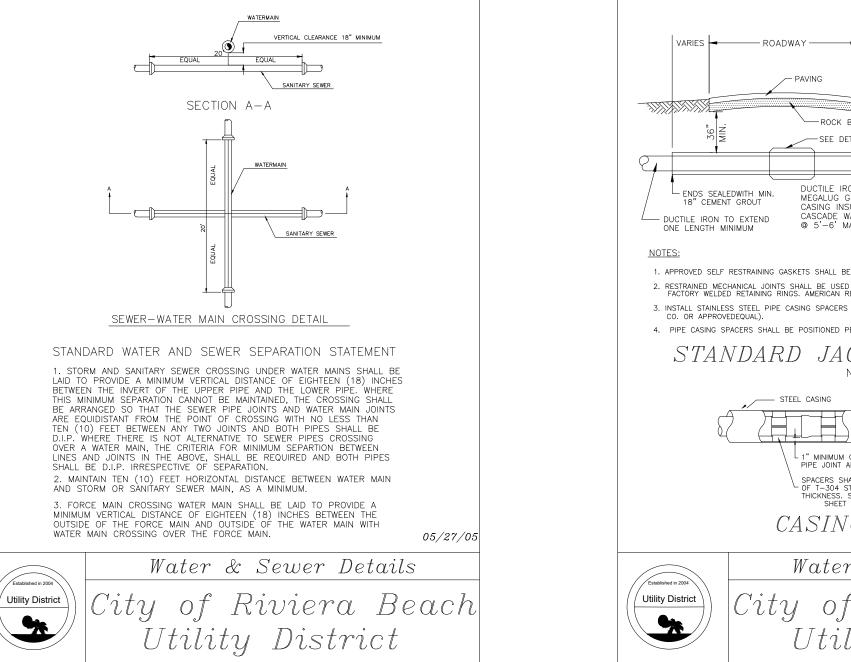
N BEACH DETAILS RIVIERA SEWER I

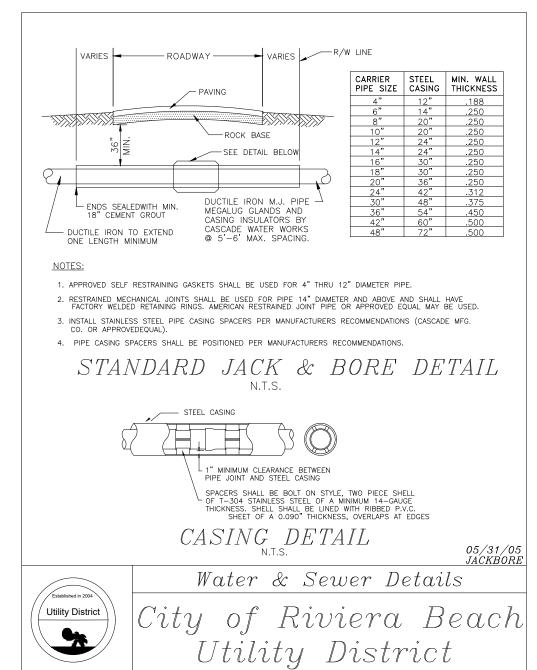
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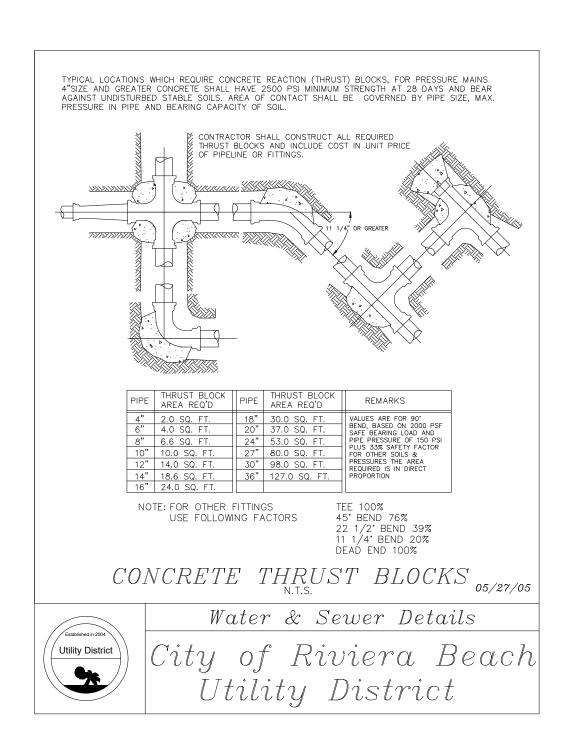
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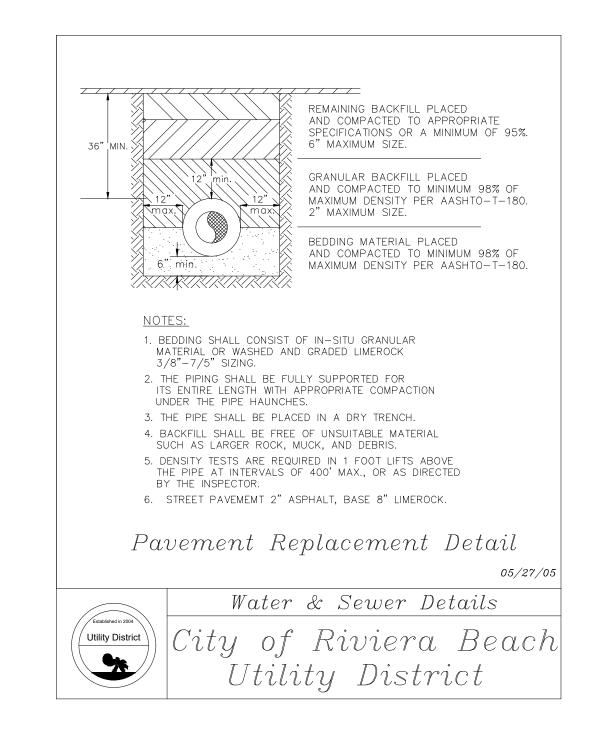
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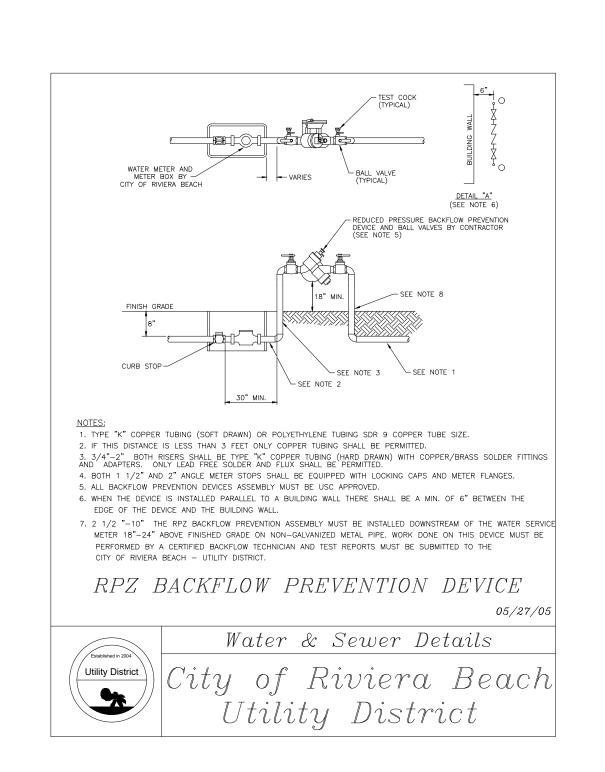
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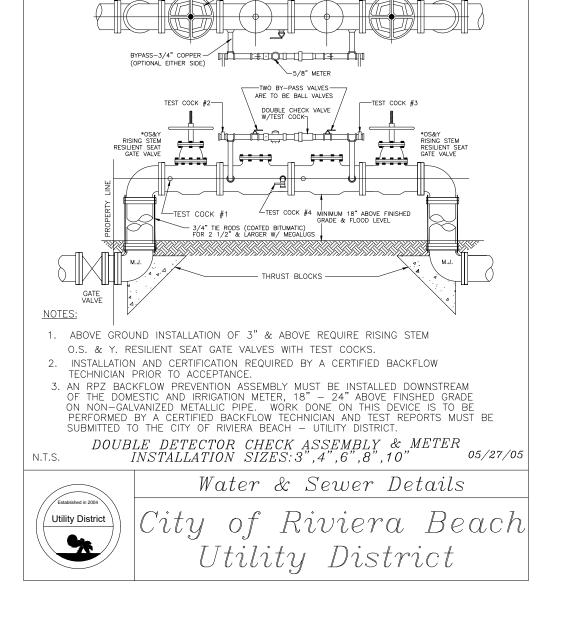


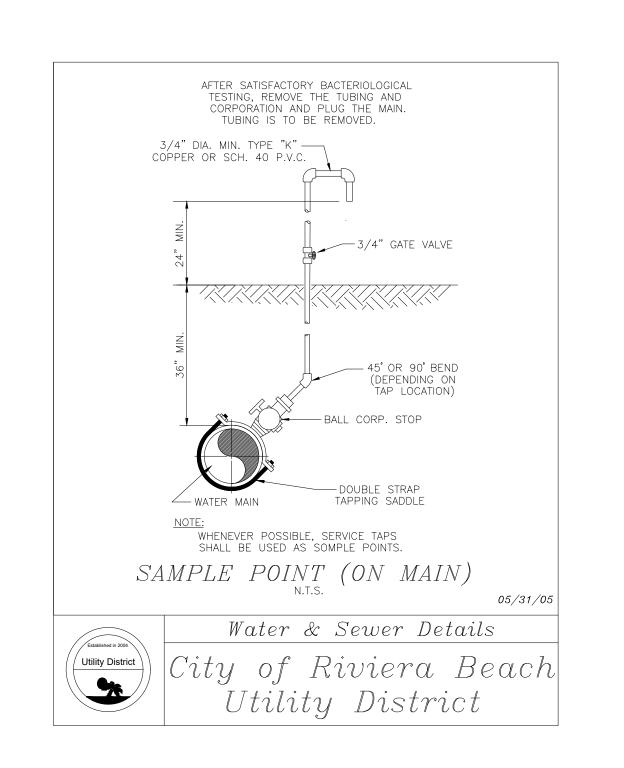


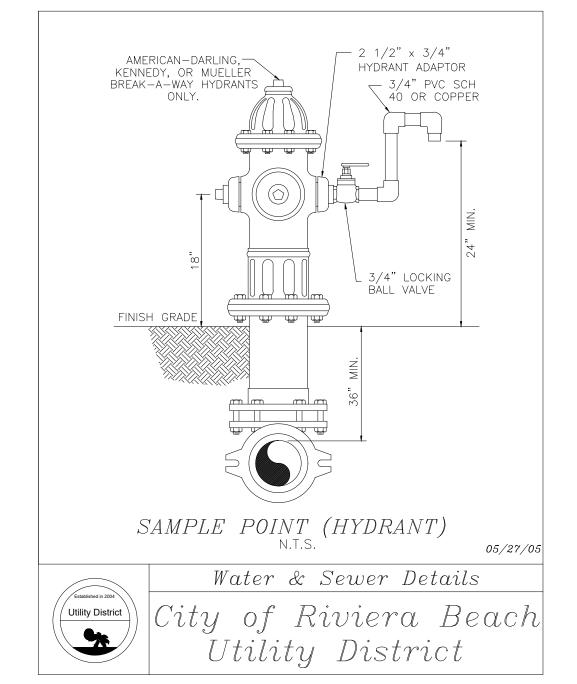












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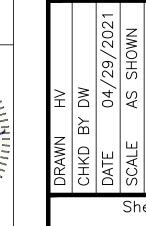
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Companies, Inc 4047 Okeechobee Blvd., Suite 222 West Palm Beach, FL 33409 Ph: (561) 471-9863 Fx: (561) 471-507

**DETAILS** BEACH RIVIERA SEWER I 0 CITY

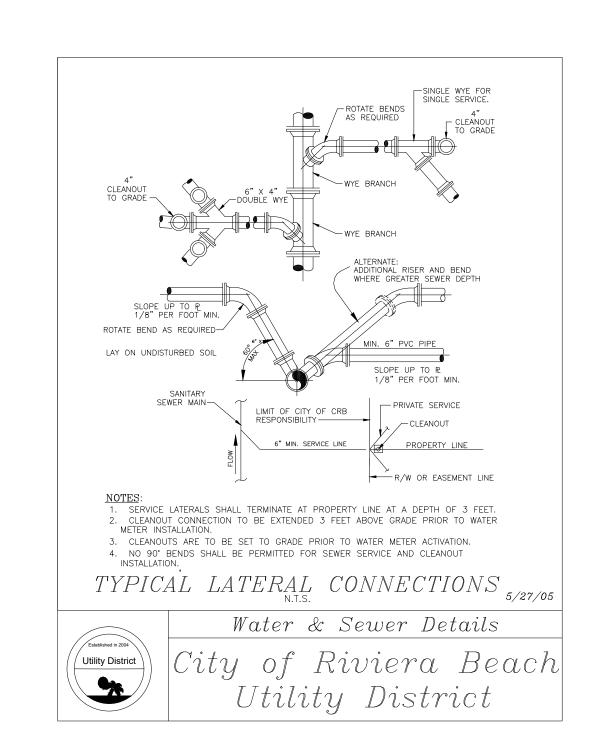
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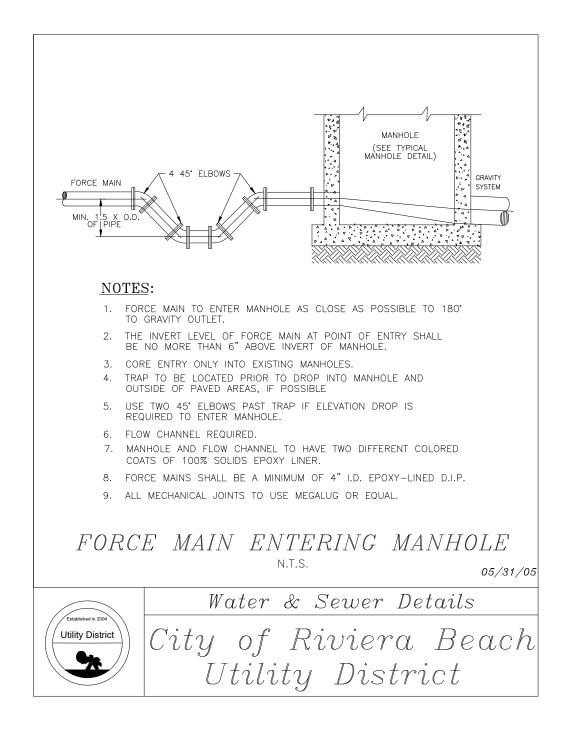
Doug Winter

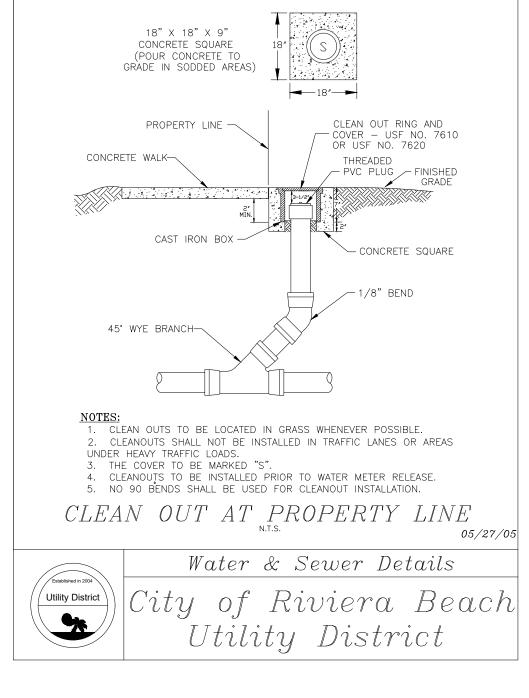


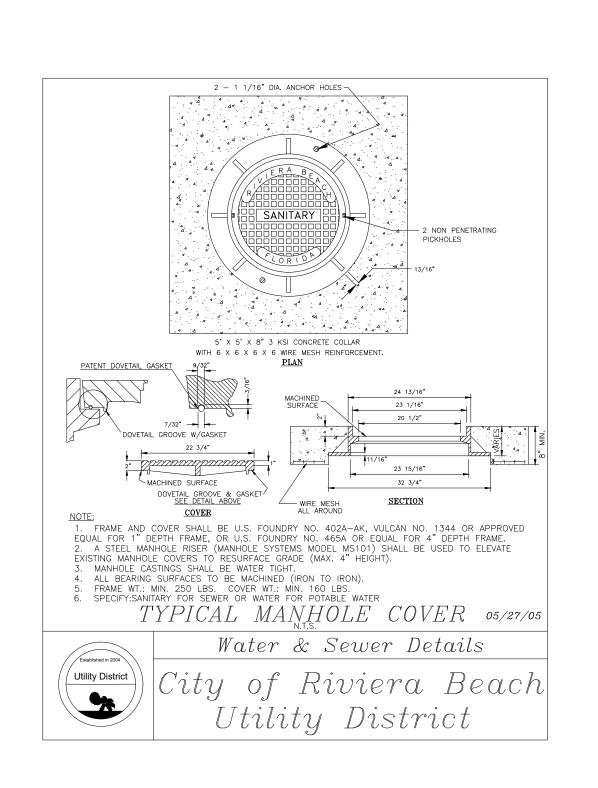
STATE OF . LORIDA. Douglas G. Winter, P.E. Florida License #35658











SPECIAL UTILITY CROSSING - FITTING TYPE

\* UNLESS SHOWN OTHERWISE, 18" MIN. CLEARANCE WILL BE REQUIRED FOR WATER & SEWER MAIN CROSSING. 4" MIN. CLEARANCE WILL BE REQUIRED FOR OTHER TYPE OF UTILITIES CROSSING.

SPECIAL UTILITY CROSSING - DEFLECTION TYPE

THE DEFLECTION TYPE CROSSING SHALL BE USED WHERE EVER POSSIBLE. ONLY UNDER SPECIFIC ORDERS BY THE ENGINEER SHALL THE FITTING TYPE CROSSING BE ALLOWED.

FITTINGS TO BE RESTRAINED WITH RETURN GLANDS AND EITHER THRUST BLOCKS OR TIE RODS.

FORCE MAIN CROSSING

3. ALL MECHANICAL JOINTS MEGALUG

2. CONSTRUCT STANDARD CROSSING USING 75% OF MANUFACTURERS MAXIMUM JOINT DEFLECTION (MAX.).

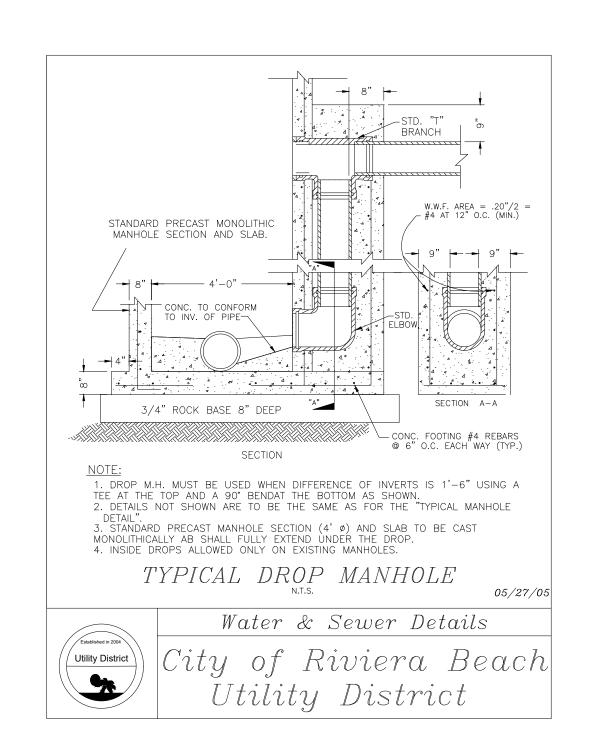
5. ALL EXPOSED TIE RODS SHALL BE COATED WITH COAL TAR EPOXY.

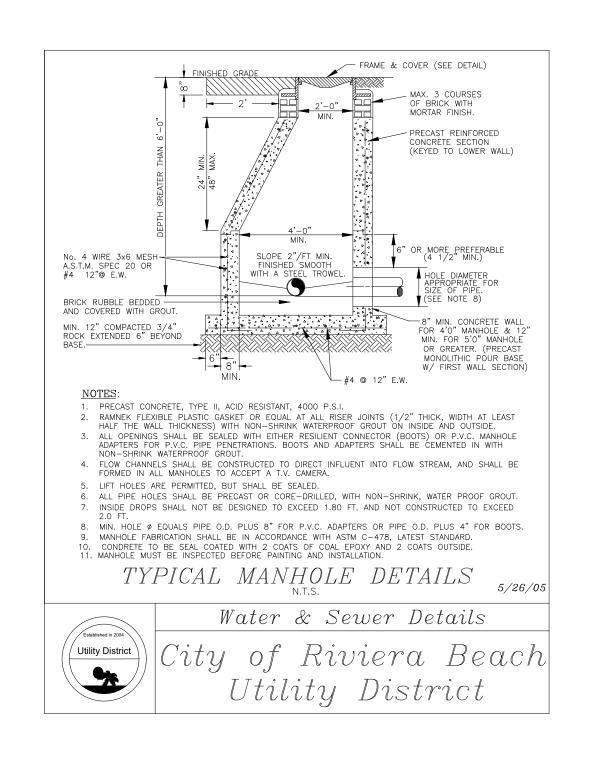
Water & Sewer Details

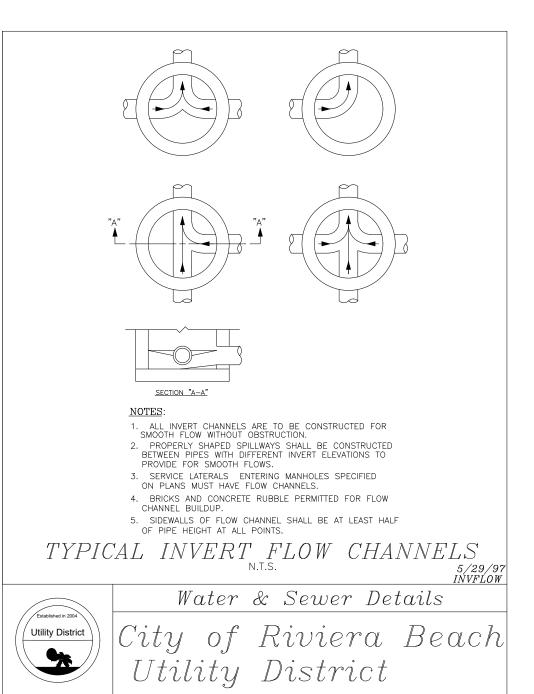
City of Riviera Beach

Utility District

05/31/05





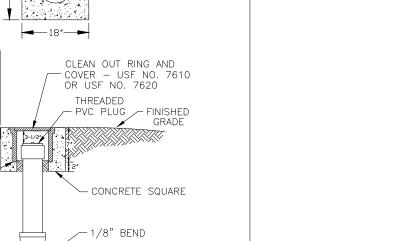


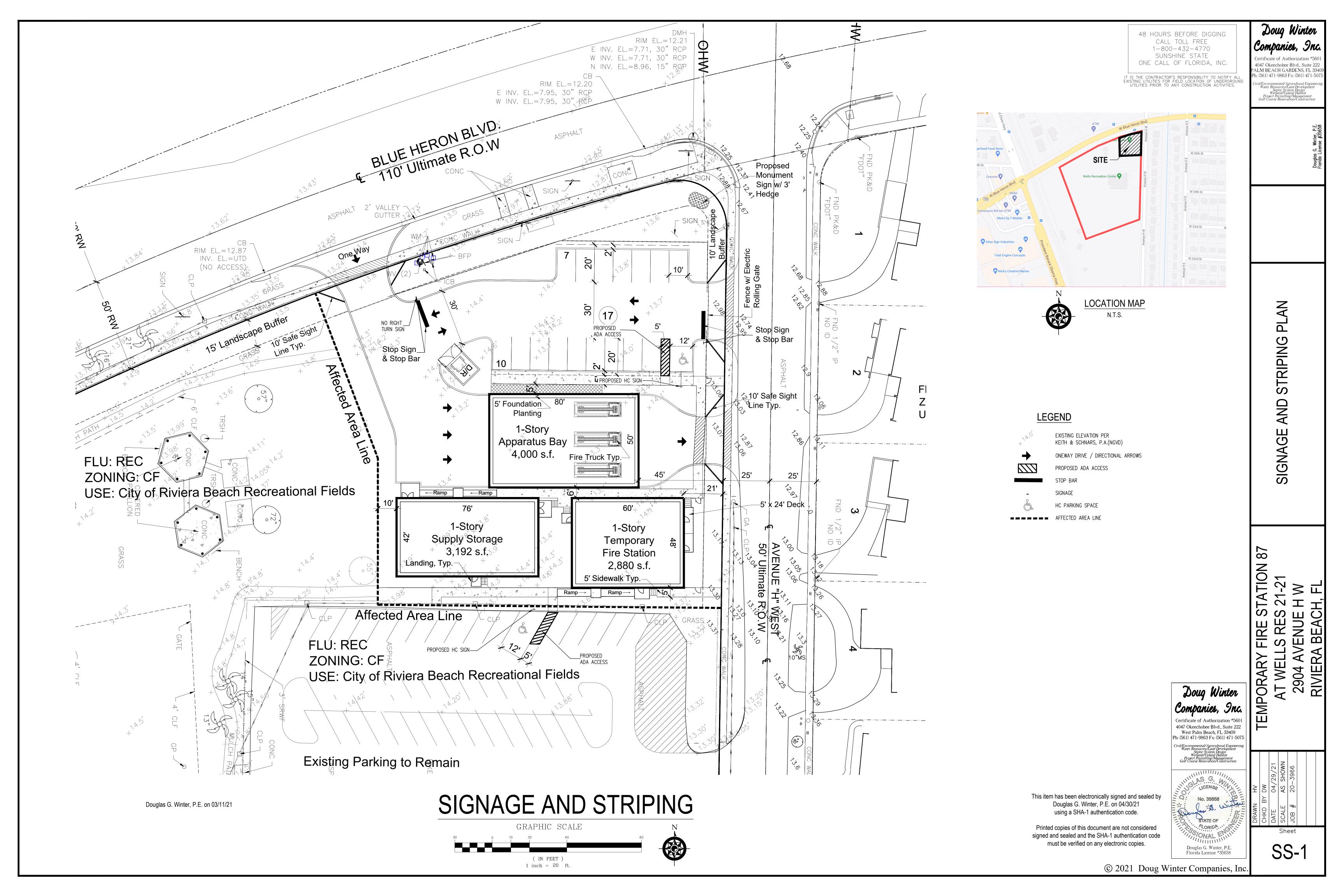


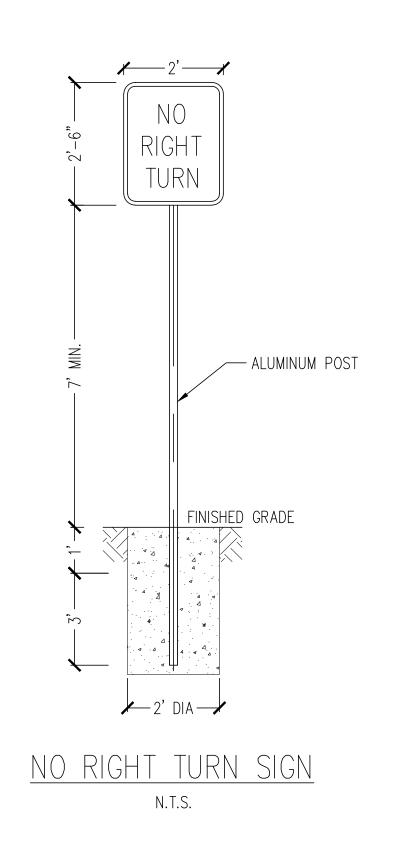
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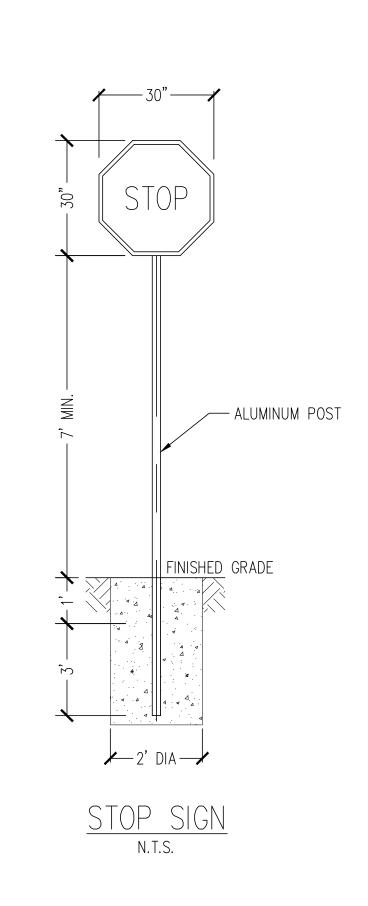
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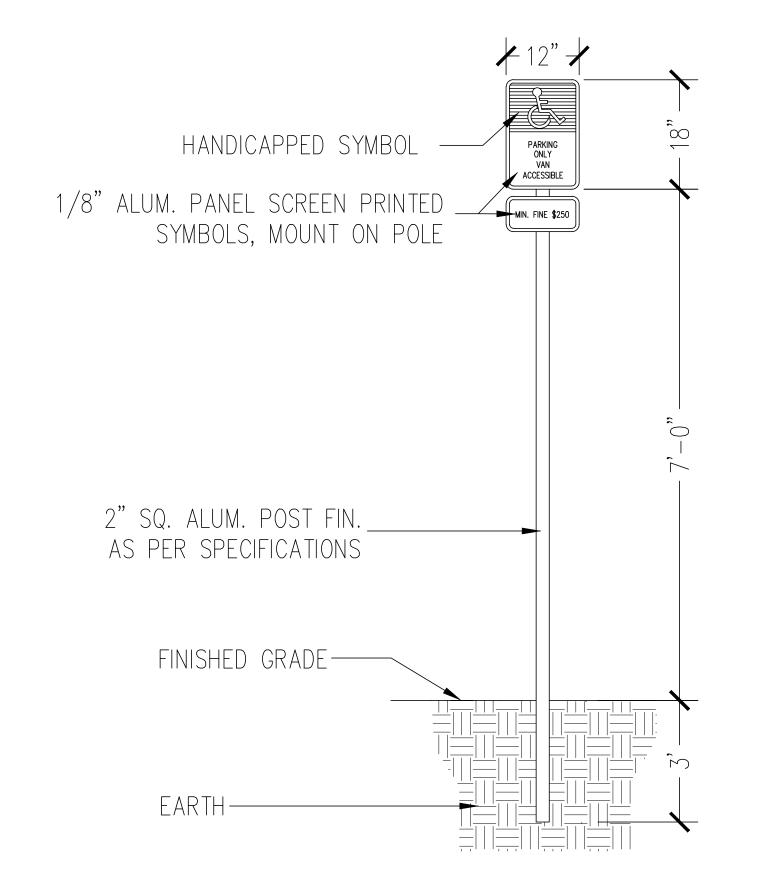
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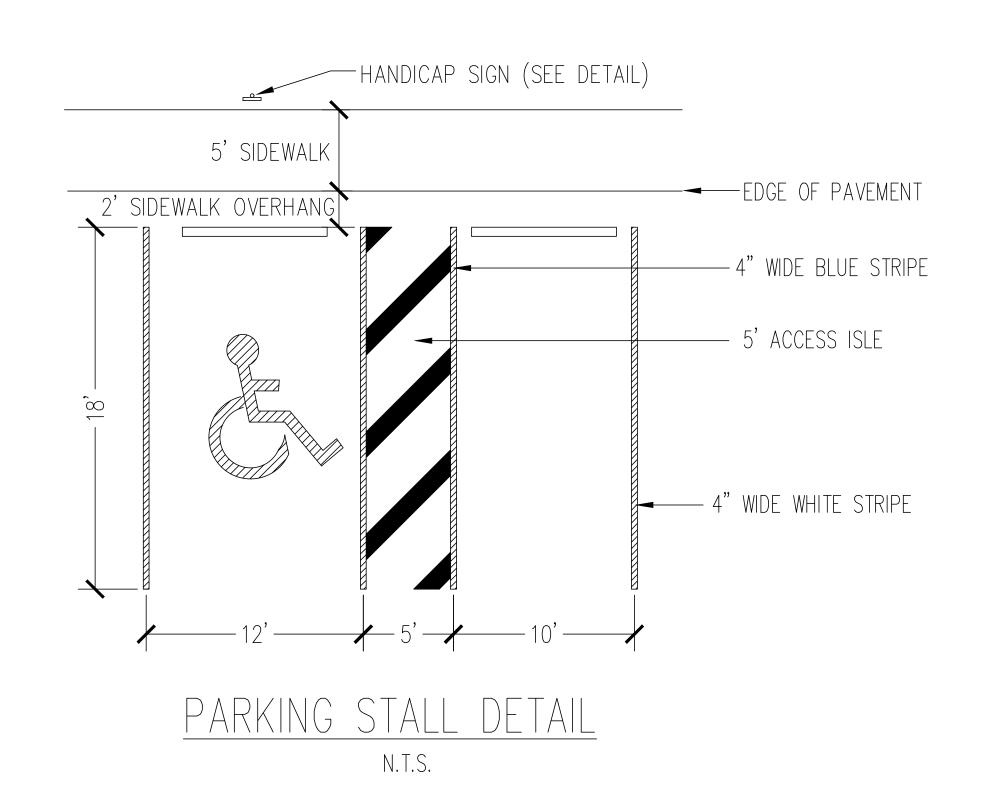




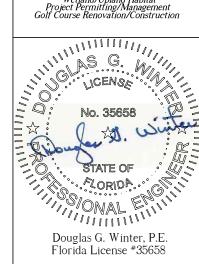












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SUNSHINE STATE
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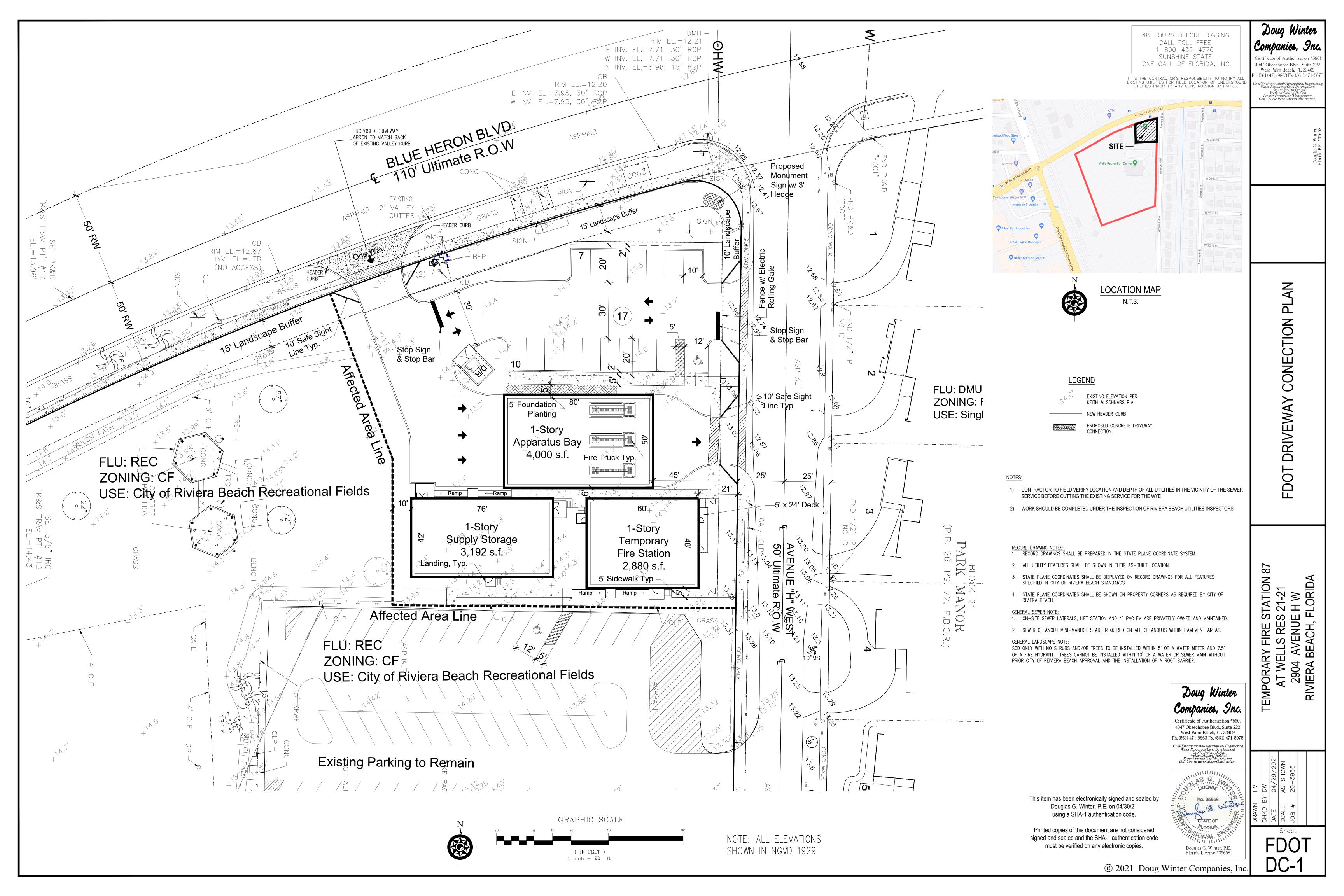
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4047 Okeechobee Blvd., Suite 222 PALM BEACH GARDENS, FL 33409 Ph: (561) 471-9863 Fx: (561) 471-5075

SIGNAGE AND STRIPING DETAILS

TEMPORARY FIRE STATION 87
AT WELLS RES 21-21
2904 AVENUE H W
RIVIERA BEACH, FL

Sheet SS-2



IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALI EXISTING UTILITIES FOR FIELD LOCATION OF UNDERGROUN UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.



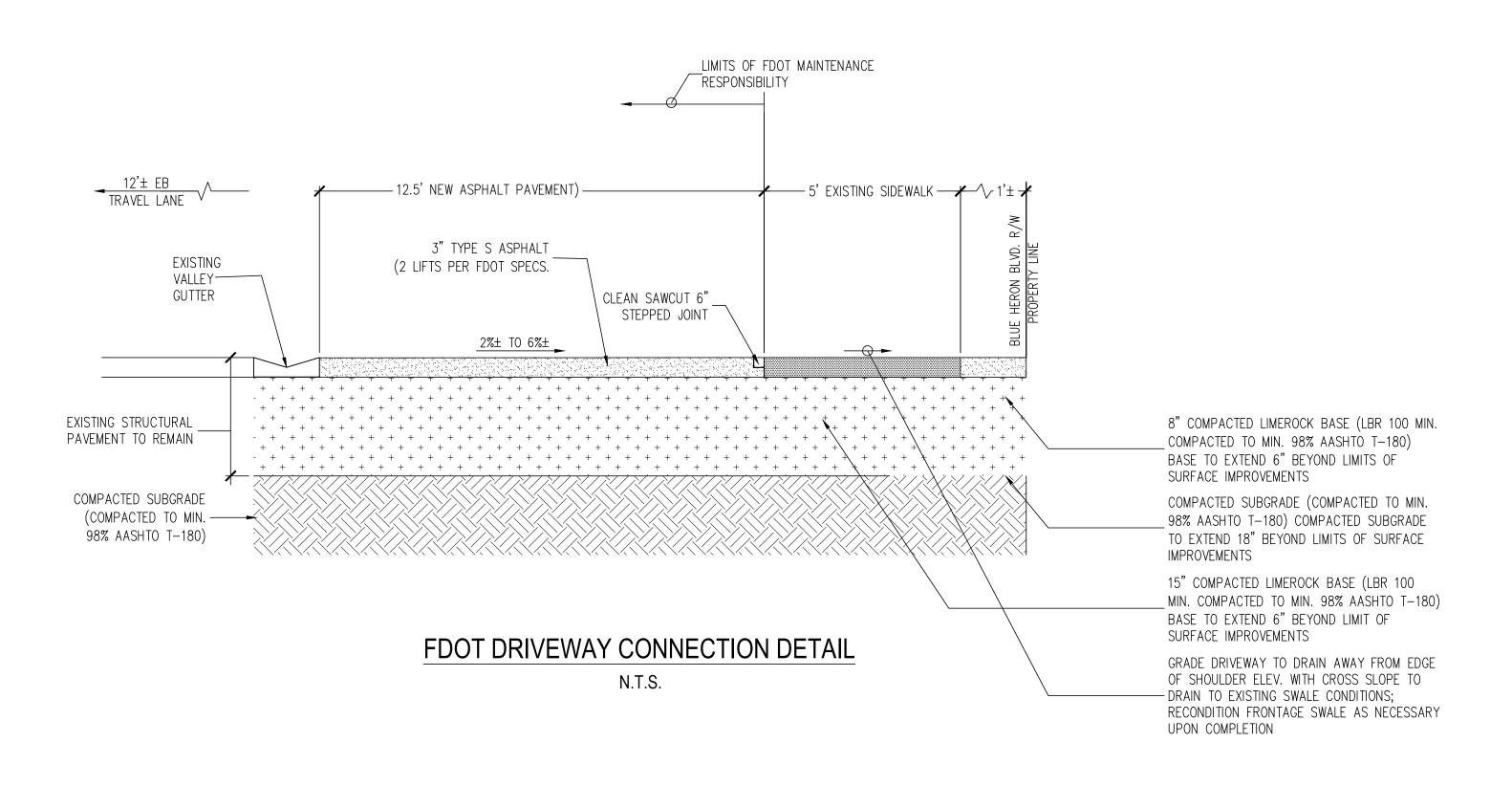
West Palm Beach, FL 33409 Ph: (561) 471-9863 Fx: (561) 471-507

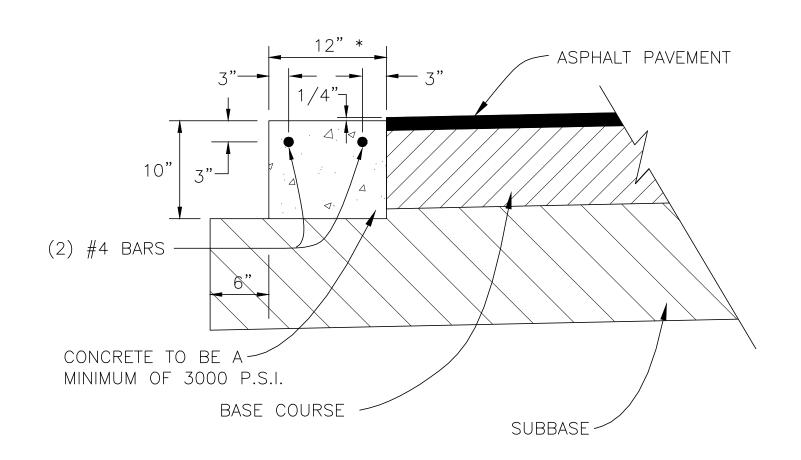
DETAIL **DRIVEWAY** 

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ARY FIRE STATION 87
VELLS RES 21-21
4 AVENUE H W
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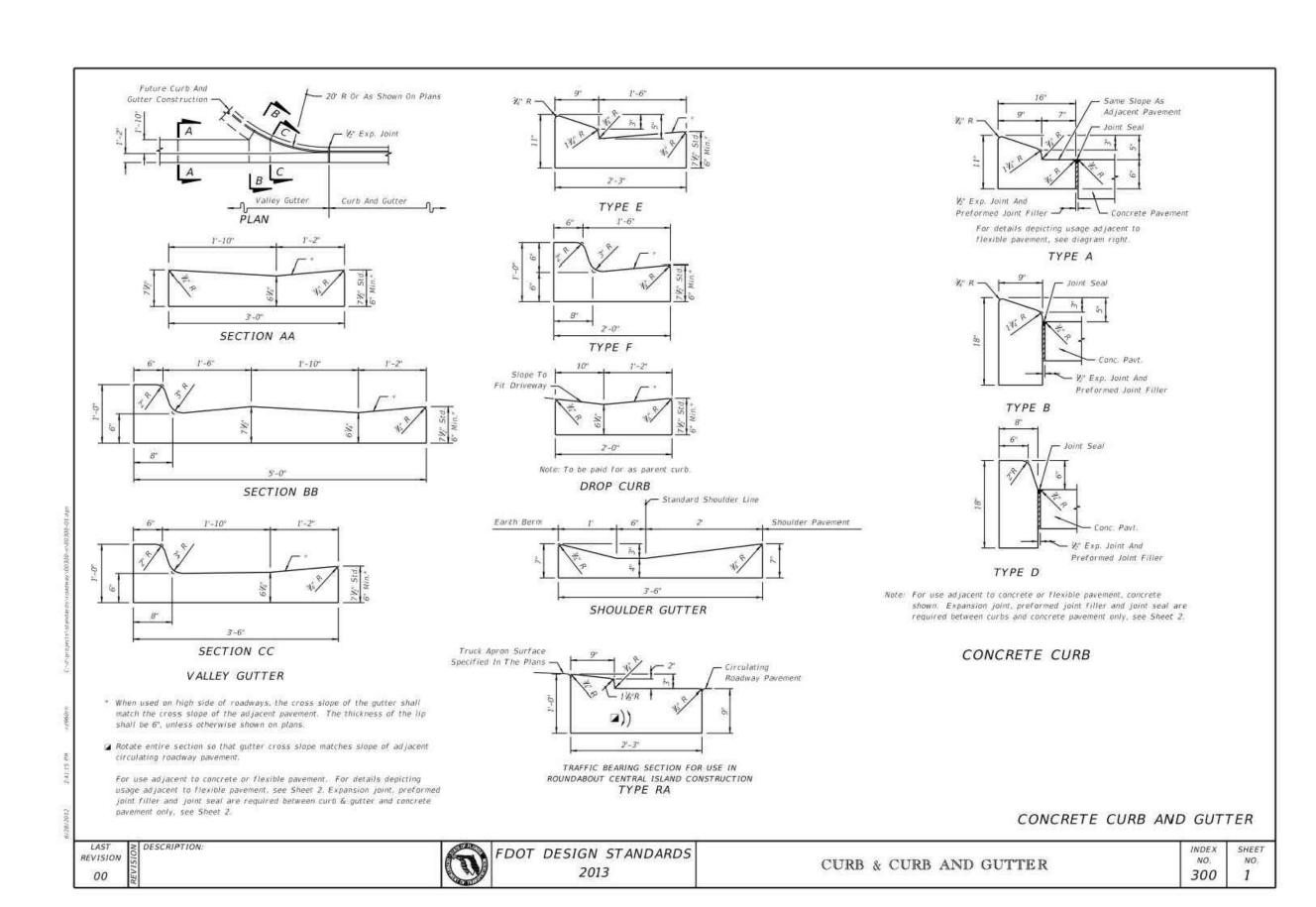
FDOT DC-2





### FLUSH HEADER CURB/CONTAINMENT CURB

\* NOTE: BRICK AREA OR PLANTER AREA CONTAINMENT CURBING OF A 6", 8" OR 10" WIDTH SHALL INCLUDE (1) #4 BAR CENTERED AT A 3" DEPTH; REF. THE ARCH. DWGS. FOR ADD'L. INFO.



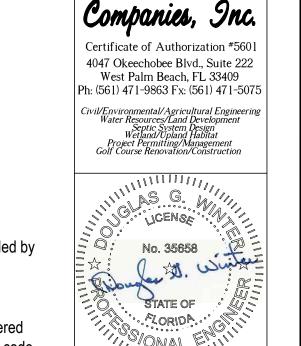
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must be verified on any electronic copies.

using a SHA-1 authentication code.

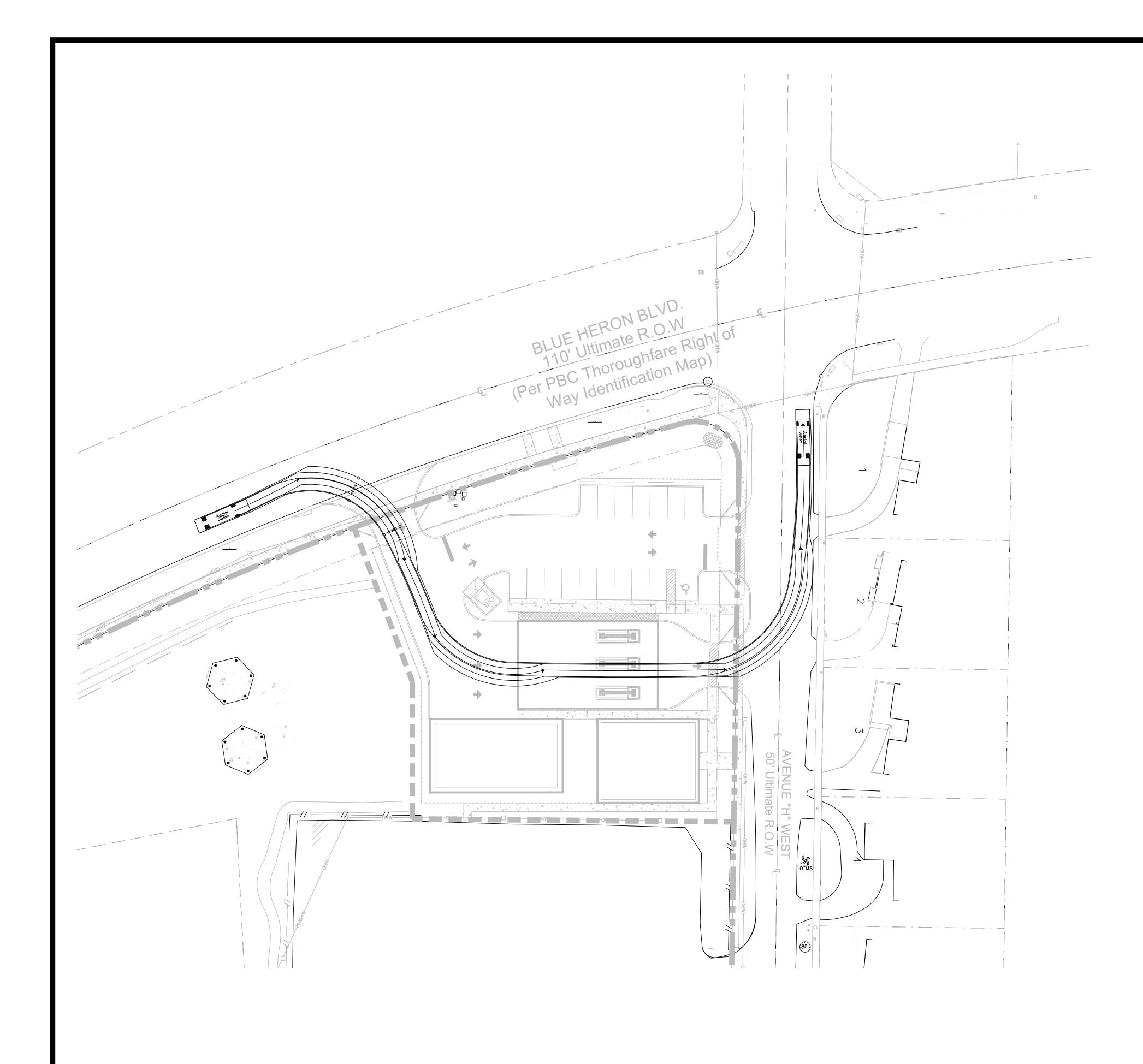
Printed copies of this document are not considered signed and sealed and the SHA-1 authentication code

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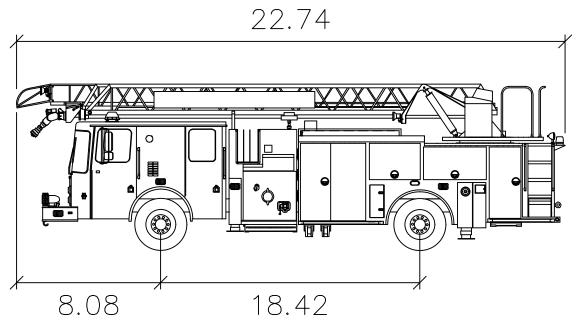


Douglas G. Winter, P.E. Florida License #35658

Doug Winter



0 15' 30' Scale 1"= 30'-0"



### Aerial

Width : 8.00 : 7.15 Track Lock to Lock Time : 6.0 Steering Angle : 40.0

feet

SCHMIDT NICHOLS LANDSCAPE ARCHITECTURE AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684.6141 Email: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

04/21/21 1" = 30'-0" Drawn By: Checked By:

REVISIONS / SUBMISSIONS

AMENDMENT STAMP	ZONING STAMP

Autoturn Analysis



### Department of Engineering and Public Works

P.O. Box 21229

West Palm Beach, FL 33416-1229

(561) 684-4000

FAX: (561) 684-4050

www.pbcgov.com

### Palm Beach County Board of County Commissioners

Dave Kerner, Mayor

Robert S. Weinroth, Vice Mayor

Maria G. Marino

Gregg K. Weiss

Maria Sachs

Melissa McKinlay

Mack Bernard

### **County Administrator**

Verdenia C. Baker

"An Equal Opportunity Affirmative Action Employer" April 13, 2021

Andrea M. Troutman, P.E. Pinder Troutman Consulting, Inc. 2005 Vista Parkway, Suite 111 West Palm Beach, Florida 33411

**RE:** Temporary Fire Station #87

**Project #: 210403** 

**Traffic Performance Standards Review** 

Dear Ms. Troutman:

The Palm Beach County Traffic Division has reviewed the **Temporary Fire Station #87** Traffic Impact Statement, dated March 30, 2021, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality:

Riviera Beach

Location:

SWC of Blue Heron Blvd and Avenue H West

PCN:

56-43-42-28-25-029-0000

Access:

One full and one egress onto Avenue H West, and, one

right-in-only onto Blue Heron Blvd

(As used in the study and is NOT an approval by the

County through this letter)

**Existing Uses:** 

Proposed Uses:

Vacant Structure
Replace existing with:

Fire Station = 1 Station

New Daily Trips:

107

New Peak Hour Trips:

16 (12/4) AM; 11 (3/8) PM

**Build-out:** 

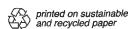
Not Applicable

Based on our review, the Traffic Division has determined the proposed development generates less than 20 peak hour trips; therefore, the project <u>meets</u> the PBC Traffic Performance Standards.

Please note an FDOT conceptual driveway pre-approval letter must be provided for the access connection onto Blue Heron Blvd for the proposed land use.

Please note the receipt of a Traffic Performance Standards (TPS) approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.





Andrea M. Troutman, P.E. April 13, 2021 Page 2

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email QBari@pbcgov.org.

Sincerely,

Ouazi Bari, P.E., PTOE

(Kunj Anwax Bar)

Manager - Growth Management

Traffic Division

QB:HA:rb

ec: Addresse

Jeff Gagnon, P&Z Administrator, City of Rivera Beach Hanane Akif, E.I., Project Coordinator II, Traffic Division Steve Bohovsky, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review F:\TRAFFIC\HA\MUNICIPALITIES\APPROVALS\2021\210403 - TEMPORARY FIRE STATION #87.DOCX

2005 Vista Parkway, Suite 111 West Palm Beach, FL 33411-6700 (561) 296-9698

Certificate of Authorization Number: 7989

March 30, 2021

Mr. Terrence N. Bailey, P.E. Director of Public Works City of Riviera Beach 1481 W. 15<sup>th</sup> Street Rivera Beach, Florida 33404

Re: Temporary Fire Station #87 - #PTC21-030

Dear Mr. Bailey:

The purpose of this letter is to provide a traffic statement for the above referenced project to determine if the proposed development meets the requirements of Article 12, Traffic Performance Standards, of the Palm Beach County Unified Land Development Code (ULDC).

The site is located in the southwest quadrant of Blue Heron Boulevard and Avenue H West in the City of Riviera Beach as shown on Attachment 1. The Property Control Number (PCNs) for the site is 56-43-42-28-25-029-0000.

The standard Palm Beach County trip generation for a fire station is based on an individual station as provided on Attachment 2. The maximum net peak hour trip generation is 16 trips. Driveway volumes are provided on Attachment 3. Because the project generates fewer than 21 peak hour trips, a traffic study is not required. The project has an insignificant impact on area thoroughfare roadways. Therefore, the proposed project is in compliance with the Palm Beach County Traffic Performance Standards.

Please contact me by phone or at <a href="mailto:atroutman@pindertroutman.com">atroutman@pindertroutman.com</a> if you need any additional information or have any questions.

Sincerely,

No.45409

STATE OF

ORION

Digitally signed by Andrea M Troutman Date: 2021.03.30

10:56:11 -04'00'

Andrea M. Troutman, P.E. President

Attachments

This item has been electronically signed and sealed by Andrea M. Troutman, P.E. on 3/30/21 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

### Attachment 1 Project Location



March 28, 2021

Attachment 2 Temporary Fire Station #87 Trip Generation

### Daily

Land Use	Intensity	Trip Generation Rate	Total Trips
Fire Station	1 Station	107 /Station (1)	107
Total			107

## AM Peak Hour

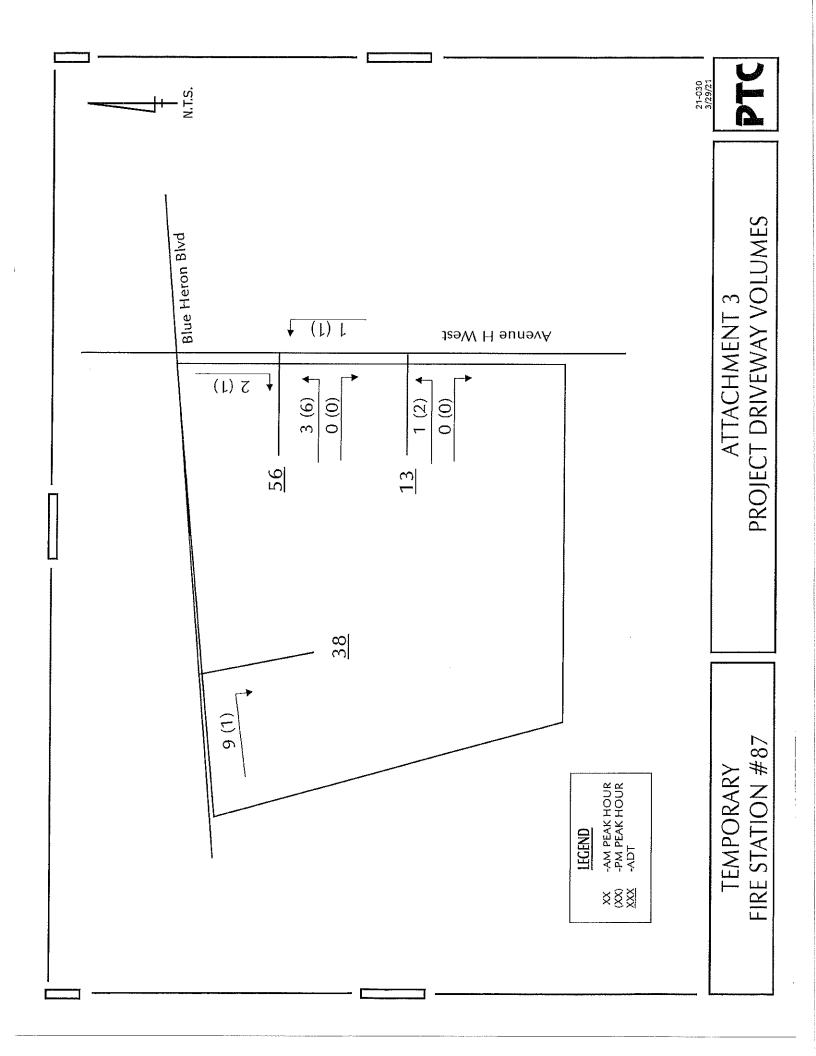
			T	<b>Total Trips</b>	SC
Land Use	Intensity	Trip Generation Rate	ln	In Out Total	Total
Fire Station	1 Station	14.8% of Daily (75/25) (2)	12	4	16
Total			12	4	16

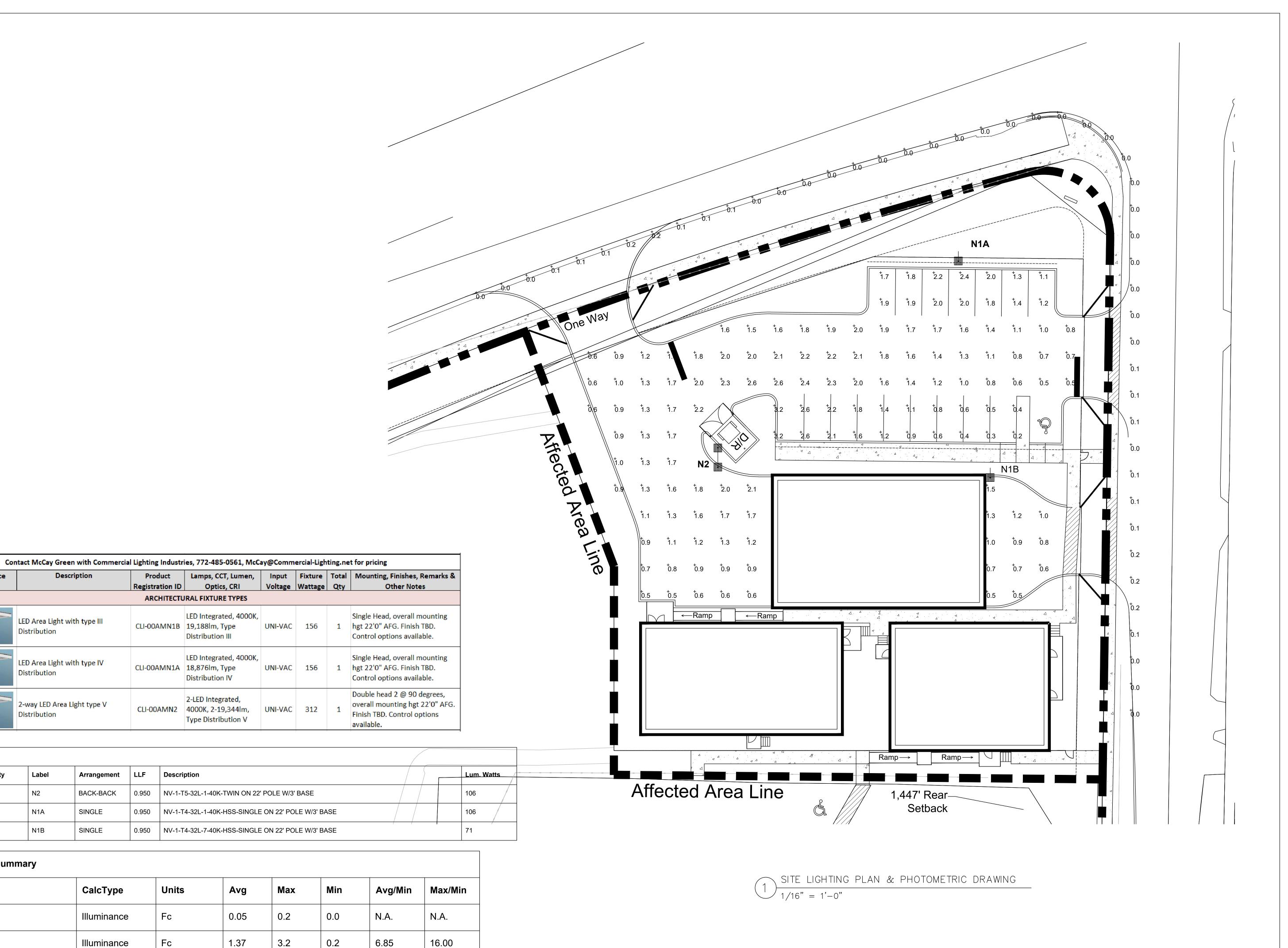
### PM Peak Hour

			ĭ	<b>Fotal Trips</b>	35
Land Use	Intensity	Trip Generation Rate	ln	Out Total	Total
Fire Station	1 Station	7.6% of Daily (25/75) (2)	3	8	11
Total			3	8	11

<sup>(1)</sup> Source: Palm Beach County approved rate. Based on operational data for battalion headquarters. Presents conservative analysis for this site.

<sup>(2)</sup> Estimated based on peak hour to daily ratio for Government Office from ITE, Trip Generation, 10th Edition.





Lamps, CCT, Lumen,

LED Integrated, 4000K,

LED Integrated, 4000K,

CLI-00AMN2 4000K, 2-19,344lm, UNI-VAC 312

NV-1-T5-32L-1-40K-TWIN ON 22' POLE W/3' BASE

0.950 NV-1-T4-32L-1-40K-HSS-SINGLE ON 22' POLE W/3' BASE

0.950 NV-1-T4-32L-7-40K-HSS-SINGLE ON 22' POLE W/3' BASE

Avg

0.05

1.37

UNI-VAC 156

Max

0.2

3.2

0.0

0.2

Distribution III

Distribution IV

2-LED Integrated,

Type Distribution V

Registration ID Optics, CRI

CLI-00AMN1B 19,188lm, Type

CLI-00AMN1A 18,876lm, Type

Description

Units

Fc

Fc

0.950

ARCHITECTURAL FIXTURE TYPES

Reference

Description

LED Area Light with type III

LED Area Light with type IV

2-way LED Area Light type V

Arrangement

BACK-BACK

SINGLE

SINGLE

CalcType

Illuminance

Illuminance

Distribution

Distribution

Distribution

Label

N2

N1A

N1B

Fixture

Type

N1

N1A

Luminaire Schedule

**Calculation Summary** 

Qty

Symbol

Label

SPILL LIGHT

WHOLE LOT



4.7.2021 4.19.2021

Wells

ALL PLANS AND SPECIFICATIONS ARE THE PROPERTY OF COMMERCIAL LIGHTING IND. DO NOT SCALE DRAWINGS. ALL MEASUREMENTS MUST BE CHECKED ON SITE BY THE CONTRACTORS AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE DESIGNER OR ARCHITECT.

SITE LIGHTING PLAN & PHOTOMETRIC DRAWINGS

LDE-1

### NV-1

### AREA LIGHTING

### FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for:
  - Parking Lots
  - Auto Dealerships
  - General Area Lighting

### CONSTRUCTION

- Die Cast Aluminum
- External cooling fins, Finite Element Analysis (FEA) designed
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP-65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP-67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

### **FINISH**

- 3-5 mils electrostatic powder coat.
- NLS' standard high-quality finishes prevent corrosion protects against and extreme environmental conditions

### WARRANTY

Five-year limited warranty for drivers and LEDs.









• Certified to UL 1598

IP65/ IP67 Rated

CSA C22.2 No. 250.0

DesignLights Consortium® (DLC)

UL 8750



DesignLights Consortium Premium® (DLCP)



Type:









### **LED WATTAGE CHART**

	100	OFF.		V	
350 milliamps	18w	-	-	-	
530 milliamps	28w	-	-	-	
700 milliamps	36w	71w	104w	136w	
1050 milliamps	56w	106w	156w	205w	
Project Nam	ie:				



Cat #	Light Dist.	No. of LEDs	Milliamps	Kelvin	Volts	Mounting	Color	Options
NV Size 1 (NV-1)	Type 2 (T2)  Type 3 (T3)  Type 4 (T4)  Type 5 (T5)  Nema 2 24° Narrow Beam (N2)  Nema 3 30° Narrow Beam (N3)		350 (35) 530 (53) 700 (7) 1050 (1)	3000K (30K) 4000K (40K) 5000K (50K)	(UNV)	Direct Pole Single, D180 3" (DPS3) D90, T90, T120, QD 7" (DPS7) Knuckle Mount (KM) Wall Mount (WM) Trunnion Mount (TM) *Standard finish is stainless steel. Can be painted to match fixture Tennis Arm (TA) *See next page for Arm Configurations *For Round Pole, please specify RPA4 or RPA5	Bronze (BRZ)  White (WHT)  Silver (SVR)  Black (BLK)  Graphite (GPH)  Grey (GRY)  Custom (CS)	Bird Deterrant (BD) Marine Grade Finish (MGF) Optic Plate Painted to Match Fixture (OPP) Nema 7-Pin Receptacle (PET) Photocell + Receptacle (PCR) Receptacle + Shorting Cap (PER) FSP-211 with Motion Sensor (UNV Voltage) (FSP-20) *9'-20' Heights Quick Mount Bracket (QMB) Retrofit Mount Bracket (RQMB) Round Pole Adaptor 3" - 4" Pole (RPA4) Round Pole Adaptor 5" - 6" Pole (RPA5) Rotated Optic Left (ROL) Rotated Optic Right (ROR) Automotive House Side Shield (AHS) House Side Shield (HSS) *HSS not applicable with N2 - NEMA 24" Optics *HSS not applicable with N3 - NEMA 30" Optics

### **ELECTRICAL**

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver by Philips Advance
- Driver power factor at maximum load is ≥ .95, THD maximum load is 15%
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP-65 compartment
- · Lumileds Luxeon MX LED's
- CRI >70
- Color temperatures: 3000K, 4000K, 5000K
- Surge Protection: 20KVA supplies as standard.

### **OPTIONS**

- **BIRD DETERRANT (BD)**—offers effective and humane deterrent for larger bird species and provides cost-effective long-term solution to nuisance bird infestations and protect your property.
- **MARINE GRADE FINISH (MGF)**—A multi-step process creating protective finishing coat against harsh environments.
  - · Chemically washed in a 5 stage cleaning system.
  - · Pre-baked
  - Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer.
  - 1-2 feet inside pole coverage top and bottom.
  - Oven Baked.
  - Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness.
- **SHIELDS (HSS, AHS)**—House Side Shield (HSS) is designed for full property line cut-off. Automotive House Side Shield (AHS) is a single-sided shield allowing partial cut-off on either side or front of luminaire.
- ROUND POLE ADAPTER (RPA) When using round poles, specify Round Pole Adapter (RPA). Specify RPA4 when installing on 3"-4" round poles, and RPA5 when installing on 5"-6" round poles.

### CONTROLS

- FSP-211 (FSP-X)—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.
  - All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.
  - · FSP-20 mounting heights 9-20 feet
  - FSP-40 mounting heights 21-40 feet.
  - Includes 5 dimming event cycles, 0-10V dimming with motion sensing, reprogrammable in the field.
- NEMA 7-PIN RECEPTACLE (PE7)—An ANSI C136.41-2013 receptacle
  provides electrical and mechanical interconnection between photo control
  cell and luminaire. Dimming receptacle available two or four dimming
  contacts supports 0-10 VDC dimming methods or Digital Addressable
  Lighting Interface (DALI), providing reliable power interconnect.

### **OPTICS**

Silicone optics high photothermal stability and light output provides higher powered LEDs with minimized lumen depreciation LED life. UV and thermal stability with scratch resistance increases exterior application durability.

· IES Types



TYPE II (T2)

TYPE III (T3)



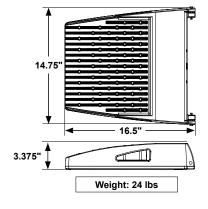
TYPE IV (T4)

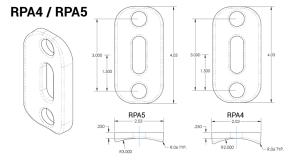






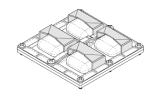






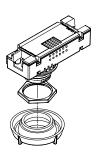
### HOUSE SIDE SHIELD

### AUTOMOTIVE HOUSE SIDE SHIELD





FSP-211





LUMEN	S																						
PART NUMBER	N2	LM/W	N3	LM/W	T2	LM/W	DLC	Т3	LM/W	DLC	тз нѕѕ	LM/W	T4	LM/W	DLC	T4 AHS	LM/W	T4 HSS	LM/W	T5	LM/W	DLC	w
NV-1-16L-35-30K	1944	108	2016	112	2106	117	Р	2106	117	Р	1134	63	2187	116	Р	1296	72	1116	62	2231	118	Р	18
NV-1-16L-35-40K	2016	112	2088	116	2268	126	Р	2286	127	Р	1206	67	2250	125	Р	1368	76	1188	66	2304	128	Р	18
NV-1-16L-35-50K	2088	116	2160	120	2376	132	Р	2394	133	Р	1278	71	2358	131	Р	1440	80	1260	70	2412	134	P	18
NV-1-16L-53-30K	3024	108	3136	112	3192	114	Р	3220	115	Р	1764	63	3119	113	Р	2016	72	1736	62	3248	116	Р	28
NV-1-16L-53-40K	3136	112	3248	116	3472	124	Р	3472	124	Р	1876	67	3444	123	Р	2128	76	1848	66	3500	125	Р	28
NV-1-16L-53-50K	3248	116	3360	120	3612	129	Р	3640	130	Р	1988	71	3584	128	Р	2240	80	1960	70	3668	131	Р	28
NV-1-16L-7-30K	3888	108	4032	112	3960	110	Р	3960	110	Р	2268	63	3973	109	Р	2592	72	2232	62	3996	111	P	36
NV-1-16L-7-40K	4032	112	4176	116	4428	123	Р	4284	119	Р	2412	67	4212	117	Р	2736	76	2376	66	4320	120	Р	36
NV-1-16L-7-50K	4176	116	4320	120	4644	129	Р	4500	125	Р	2556	71	4428	123	Р	2880	80	2520	70	4500	125	Р	36
NV-1-16L-1-30K	6048	108	6272	112	6160	110	S	6384	114	Р	3528	63	6232	112	Р	4032	72	3472	62	6440	115	Р	56
NV-1-16L-1-40K	6272	112	6496	116	6832	122	Р	6888	123	Р	3752	67	6776	121	Р	4256	76	3696	66	6944	124	Р	56
NV-1-16L-1-50K	6496	116	6720	120	7168	128	Р	7224	129	Р	3976	71	7112	127	Р	4480	80	3920	70	7280	130	Р	56
NV-1-32L-7-30K	7668	108	7952	112	7810	110	S	7810	110	S	4473	63	7739	109	S	5112	72	4402	62	7881	111	S	71
NV-1-32L-7-40K	7952	112	8236	116	9017	127	Р	8449	119	Р	4757	67	8307	117	Р	5396	76	4686	66	8520	120	Р	71
NV-1-32L-7-50K	8236	116	8520	120	9159	129	Р	8875	125	Р	5041	71	8733	123	Р	5680	80	4970	70	8946	126	Р	71
NV-1-32L-1-30K	11448	108	11872	112	11660	110	S	12084	114	S	6678	63	11820	112	S	7632	72	6572	62	12190	115	S	106
NV-1-32L-1-40K	11872	112	12296	116	12932	122	Р	13038	123	Р	7102	67	12826	121	P	8056	76	6996	66	13144	124	P	106
NV-1-32L-1-50K	12296	116	12720	120	13568	128	Р	13674	129	Р	7526	71	13462	127	Р	8480	80	7420	70	13780	130	Р	106
NV-1-48L-7-30K	11232	108	11648	112	11440	110	S	11440	110	S	6552	63	11336	109	S	7488	72	6448	62	11544	111	S	104
NV-1-48L-7-40K	11648	112	12064	116	13208	127	Р	12376	119	Р	6968	67	12168	117	Р	7904	76	6864	66	12480	120	Р	104
NV-1-48L-7-50K	12064	116	12480	120	13520	130	Р	13000	125	Р	7384	71	12792	123	Р	8320	80	7280	70	13104	126	Р	104
NV-1-48L-1-30K	16848	108	17472	112	17160	110	S	17784	114	S	9828	63	17472	112	S	11232	72	9672	62	17940	115	S	156
NV-1-48L-1-40K	17472	112	18096	116	19032	122	Р	19188	123	Р	10452	67	18876	121	Р	11856	76	10296	66	19344	124	P	156
NV-1-48L-1-50K	18096	116	18720	120	19968	128	Р	20124	129	Р	11076	71	19812	127	Р	12480	80	10920	70	20280	130	Р	156
NV-1-64L-7-30K	14688	108	15232	112	14960	110	S	14960	110	S	8568	63	14824	109	S	9792	72	8432	62	15096	111	S	136
NV-1-64L-7-40K	15232	112	15776	116	17272	127	Р	16184	119	Р	9112	67	15912	117	Р	10336	76	8976	66	16320	120	Р	136
NV-1-64L-7-50K	15776	116	16320	120	17680	130	Р	17000	125	Р	9656	71	16728	123	Р	10880	80	9520	70	17136	126	Р	136
NV-1-64L-1-30K	22140	108	22960	112	22550	110	S	23370	114	S	12915	63	22960	112	S	14760	72	12710	62	23575	115	S	205
NV-1-64L-1-40K	22960	112	23780	116	25010	122	Р	25215	123	Р	13735	67	24805	121	Р	15580	76	13530	66	25420	124	Р	205
NV-1-64L-1-50K	23780	116	24600	120	26240	128	Р	26445	129	Р	14555	71	26035	127	Р	16400	80	14350	70	26650	130	Р	205

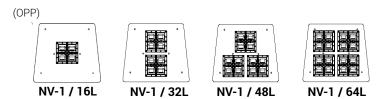
\*DLC S= Standard P= Premium

BUG RATINGS									
PART NUMBER	N2	T2	Т3	T3 HSS	T4	T4 HSS	Т5		
NV-1-16L-35-30K	B2-U0-G0	B1-U0-G1	B1-U0-G1	B0-U0-G0	B1-U0-G1	B0-U0-G0	B2-U0-G0		
NV-1-16L-35-40K	B2-U0-G0	B1-U0-G1	B1-U0-G1	B0-U0-G0	B1-U0-G1	B0-U0-G0	B2-U0-G0		
NV-1-16L-35-50K	B2-U0-G0	B1-U0-G1	B1-U0-G1	B0-U0-G0	B1-U0-G1	B0-U0-G0	B2-U0-G2		
NV-1-16L-53-30K	B3-U0-G1	B1-U0-G1	B1-U0-G1	B0-U0-G1	B1-U0-G1	B0-U0-G1	B2-U0-G1		
NV-1-16L-53-40K	B3-U0-G1	B1-U0-G1	B1-U0-G1	B0-U0-G1	B1-U0-G1	B0-U0-G1	B2-U0-G1		
NV-1-16L-53-50K	B2-U0-G1	B1-U0-G1	B1-U0-G1	B0-U0-G1	B1-U0-G1	B0-U0-G1	B2-U0-G1		
NV-1-16L-7-30K	B3-U0-G1	B1-U0-G1	B1-U0-G1	B0-U0-G1	B1-U0-G1	B0-U0-G1	B3-U0-G1		
NV-1-16L-7-40K	B3-U0-G1	B1-U0-G1	B1-U0-G1	B0-U0-G1	B1-U0-G1	B0-U0-G1	B3-U0-G1		
NV-1-16L-7-50K	B3-U0-G1	B1-U0-G1	B1-U0-G1	B0-U0-G1	B1-U0-G1	B0-U0-G1	B3-U0-G1		
NV-1-16L-1-30K	B3-U0-G1	B1-U0-G1	B1-U0-G1	B0-U0-G1	B1-U0-G1	B0-U0-G1	B3-U0-G1		
NV-1-16L-1-40K	B3-U0-G1	B1-U0-G1	B2-U0-G2	B0-U0-G1	B2-U0-G2	B0-U0-G1	B3-U0-G2		
NV-1-16L-1-50K	B4-U0-G1	B1-U0-G2	B2-U0-G2	B0-U0-G1	B2-U0-G2	B0-U0-G1	B3-U0-G2		
NV-1-32L-7-30K	B4-U0-G1	B1-U0-G2	B2-U0-G2	B0-U0-G1	B2-U0-G2	B0-U0-G1	B3-U0-G2		
NV-1-32L-7-40K	B4-U0-G1	B1-U0-G2	B2-U0-G2	B0-U0-G1	B2-U0-G2	B0-U0-G2	B3-U0-G2		
NV-1-32L-7-50K	B4-U0-G1	B2-U0-G2	B2-U0-G2	B0-U0-G2	B2-U0-G2	B0-U0-G2	B3-U0-G2		
NV-1-32L-1-30K	B4-U0-G1	B2-U0-G2	B2-U0-G2	B0-U0-G2	B2-U0-G2	B0-U0-G2	B4-U0-G2		
NV-1-32L-1-40K	B4-U0-G1	B2-U0-G2	B2-U0-G2	B0-U0-G2	B3-U0-G2	B0-U0-G2	B4-U0-G2		
NV-1-32L-1-50K	B4-U0-G1	B2-U0-G2	B3-U0-G3	B0-U0-G2	B3-U0-G3	B0-U0-G2	B4-U0-G2		
NV-1-48L-7-30K	B4-U0-G1	B2-U0-G2	B2-U0-G2	B0-U0-G2	B2-U0-G2	B0-U0-G2	B4-U0-G2		
NV-1-48L-7-40K	B4-U0-G1	B2-U0-G2	B2-U0-G2	B0-U0-G2	B2-U0-G2	B0-U0-G2	B4-U0-G2		
NV-1-48L-7-50K	B4-U0-G1	B2-U0-G2	B3-U0-G3	B0-U0-G2	B2-U0-G2	B0-U0-G2	B4-U0-G2		
NV-1-48L-1-30K	B5-U0-G1	B3-U0-G3	B3-U0-G3	B1-U0-G2	B3-U0-G3	B1-U0-G2	B4-U0-G2		
NV-1-48L-1-40K	B5-U0-G1	B3-U0-G3	B3-U0-G3	B1-U0-G2	B3-U0-G3	B1-U0-G2	B5-U0-G3		
NV-1-48L-1-50K	B5-U0-G1	B3-U0-G3	B3-U0-G3	B1-U0-G2	B3-U0-G3	B1-U0-G2	B5-U0-G3		
NV-1-64L-7-30K	B5-U0-G1	B2-U0-G2	B3-U0-G3	B0-U0-G2	B3-U0-G3	B1-U0-G2	B4-U0-G2		
NV-1-64L-7-40K	B5-U0-G1	B3-U0-G3	B3-U0-G3	B0-U0-G2	B3-U0-G3	B1-U0-G2	B4-U0-G2		
NV-1-64L-7-50K	B5-U0-G1	B3-U0-G3	B3-U0-G3	B1-U0-G2	B3-U0-G3	B1-U0-G2	B4-U0-G2		
NV-1-64L-1-30K	B5-U0-G1	B3-U0-G3	B3-U0-G3	B1-U0-G2	B3-U0-G3	B1-U0-G3	B5-U0-G3		
NV-1-64L-1-40K	B5-U0-G1	B3-U0-G3	B3-U0-G3	B1-U0-G3	B3-U0-G4	B1-U0-G3	B5-U0-G3		
NV-1-64L-1-50K	B5-U0-G1	B3-U0-G3	B3-U0-G3	B1-U0-G3	B3-U0-G4	B1-U0-G3	B5-U0-G3		



### **OPTICAL CONFIGURATIONS**

Rotatable Optics (ROR) Rotated Right, (ROL) Rotated Left options available. Optics field and factory rotatable.



\* OPTIC PLATE PAINTED TO MATCH FIXTURE FINISH (OPP) – Optic Plate standard clear anodized, Grade 2. When (OPP) specified, Optic Plate finish will match fixture finish.

### **EPA**

EPA	SGL	D90	D180	T90	T120	QD
NV-1-DP	0.46	1.14	0.92	1.34	1.37	1.34
NV-1-KM	0.54	N/A	1.08	N/A	N/A	N/A
NV-1-ASA	0.75	1.29	1.50	1.99	2.05	1.99

### L70/L90 DATA

TEMP	NV-1					
TEMP.	L70 (64L-1050mA)	L90 (64L-1050mA)				
25°C	483,000	160,000				

### **DPX ARM LENGTH**

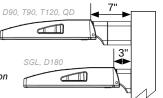
DPX ARM LENGTH	SGL ⋅I	D90 📲	D180 €	T90 <b>□</b>	T120 🖧	QD 📲
NV-1	3"	7"	3"	7"	7"	7"

### **MOUNTING OPTIONS**

### **DIRECT POLE (DP)**

Standard mounting arm is extruded aluminum in lengths of 3" and 7".

\*Arm lengths may vary depending on configuration



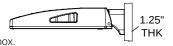
### TENNIS ARM (TA)

Steel fitter slips over 3.5" x 1.5" rectangular arm.

\*See Tennis Arm Spec Sheet for details

### WALL MOUNT (WM)

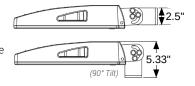
Cast Aluminum Plate for direct wall mount. 3" extruded aluminum arm mounts directly to a cast wall mount box.

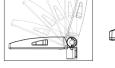


### TRUNNION MOUNT (TM)

Steel, bolt-on-mounting for adjustable installation with a maximum uplift of 90 degrees.

\*Unpainted stainless steel is standard





(0-114° Tilt)

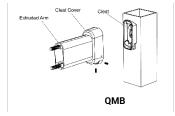
### **KNUCKLE MOUNT (KM)**

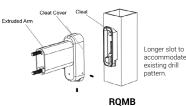
Die Cast Knuckle great for adjustable installation on 2-3/8" OD vertical or horizontal tenon.

- Max Uptilt of 114 degrees
- · Adjustable in 6 degree increments

### **OPTIONAL**

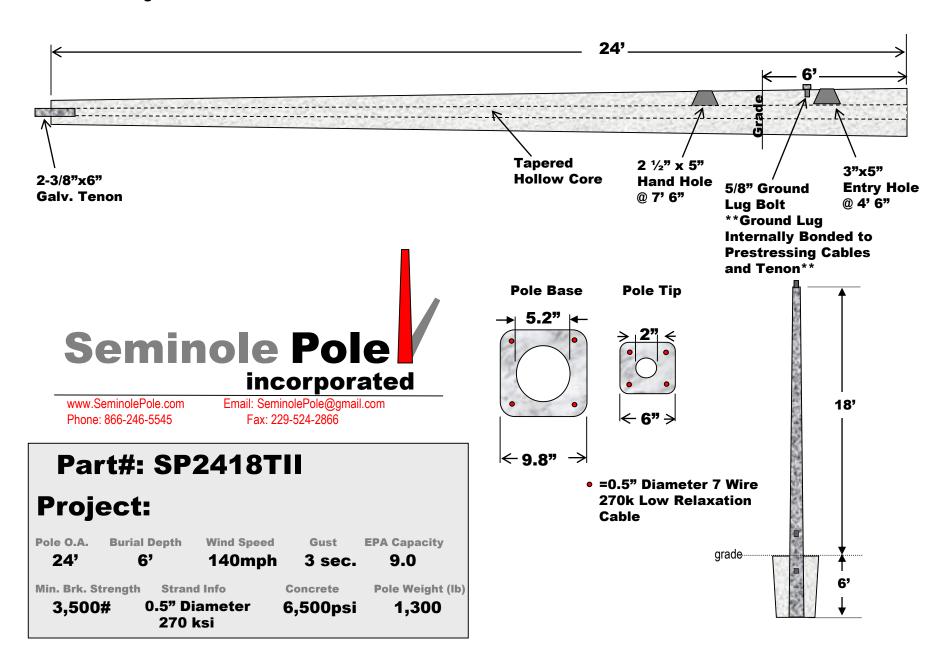
Optional Cast Aluminum Bracket, **Quick Mount Bracket (QMB)** and **Retrofit Quick Mount Bracket (RQMB)**, designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures.

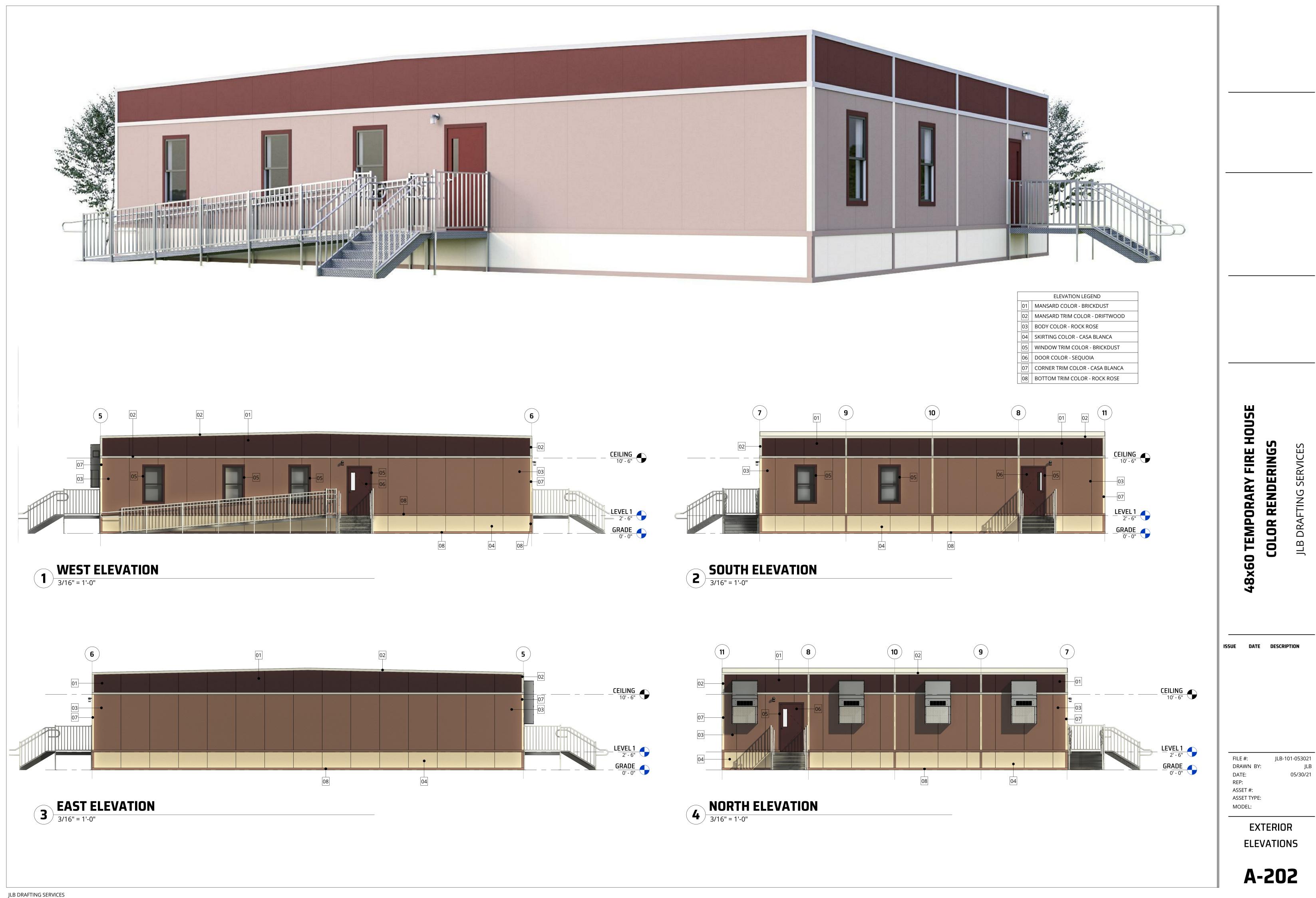












	LEFT ELEVATI	ON RIGHT	ELEVATION		
				12 1/4	
		15° MAC			
			FRONT ELE	EVATION	
			A.		

REAR ELEVATION

ADVANCED MODULAR

1911 N.W. 15<sup>TH</sup> STREET POMPANO BEACH, FLORIDA 33069 954-960-1550 www.advancedmodular.com

48'x 60' Temporary Modular Fire Station Building Elevations

Temporary FS 87 at Wells Res 21-21

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48'x 60' Temporary Modular Fire Station Building
2880 Nominal SF

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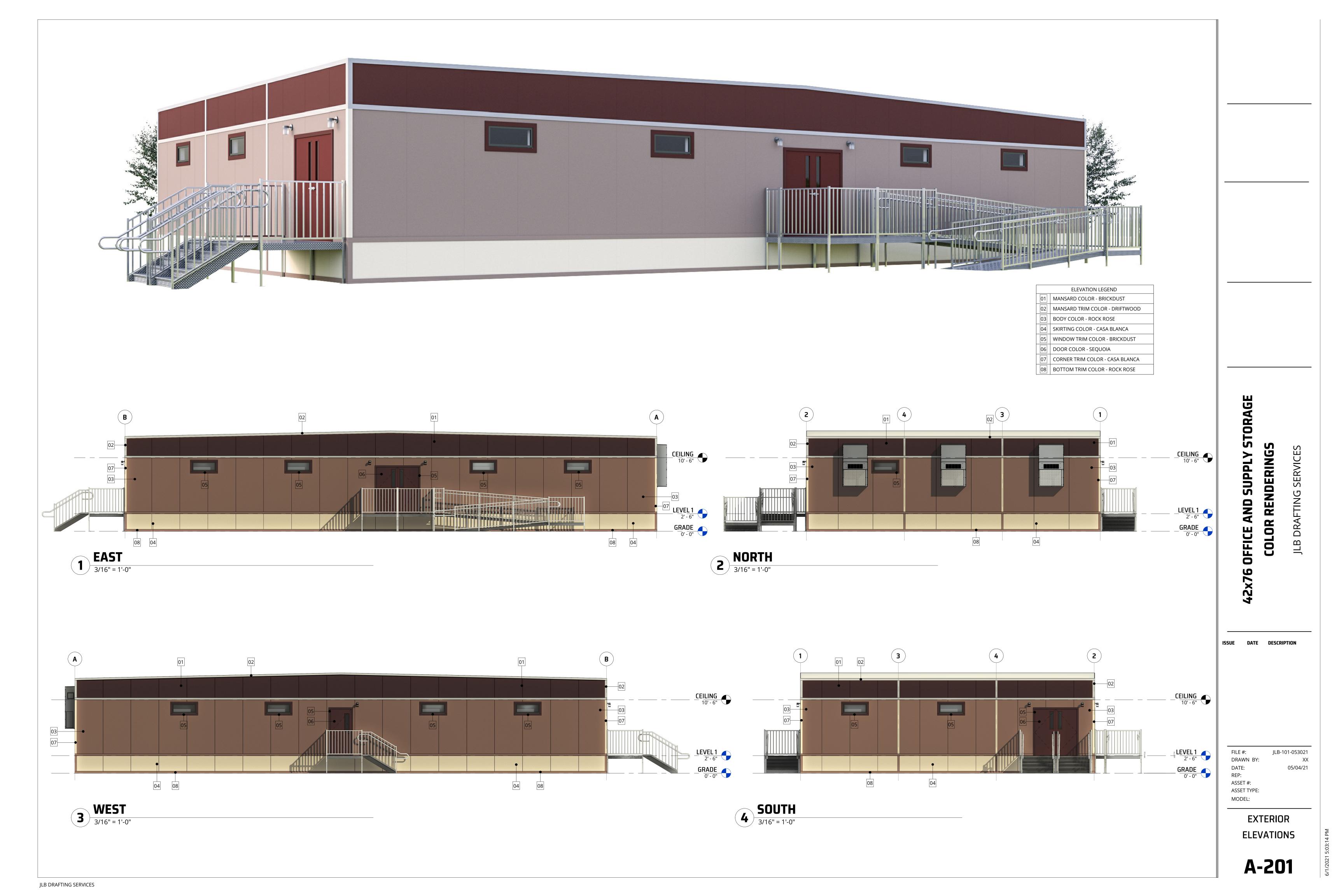


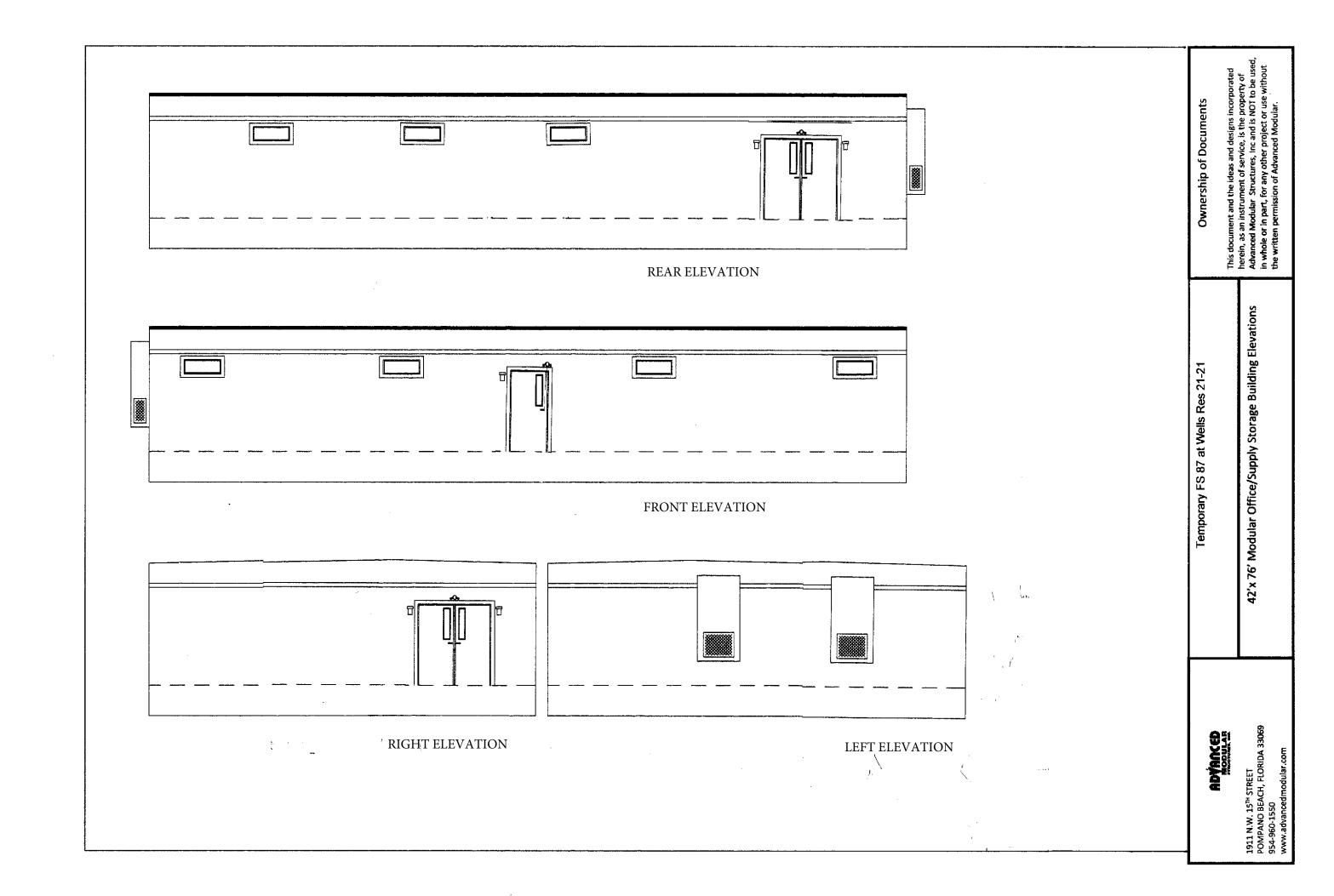
1911 N.W. 15<sup>TH</sup> STREET POMPANO BEACH, FLORIDA 33069 954-960-1550 www.advancedmodular.com Temporary FS 87 at Wells Res 21-21

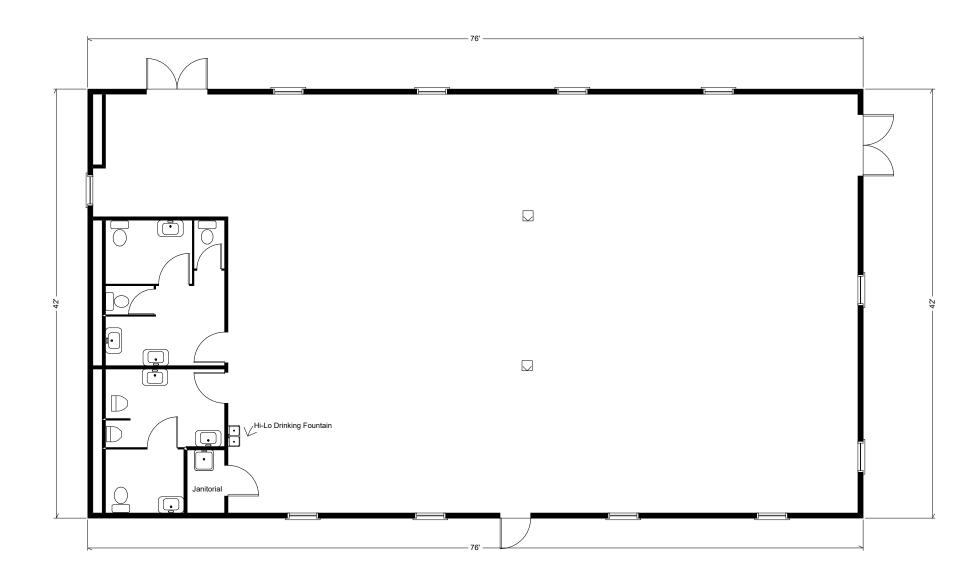
48'x 60' Temporary Modular Fire Station Building
2880 Nominal SF

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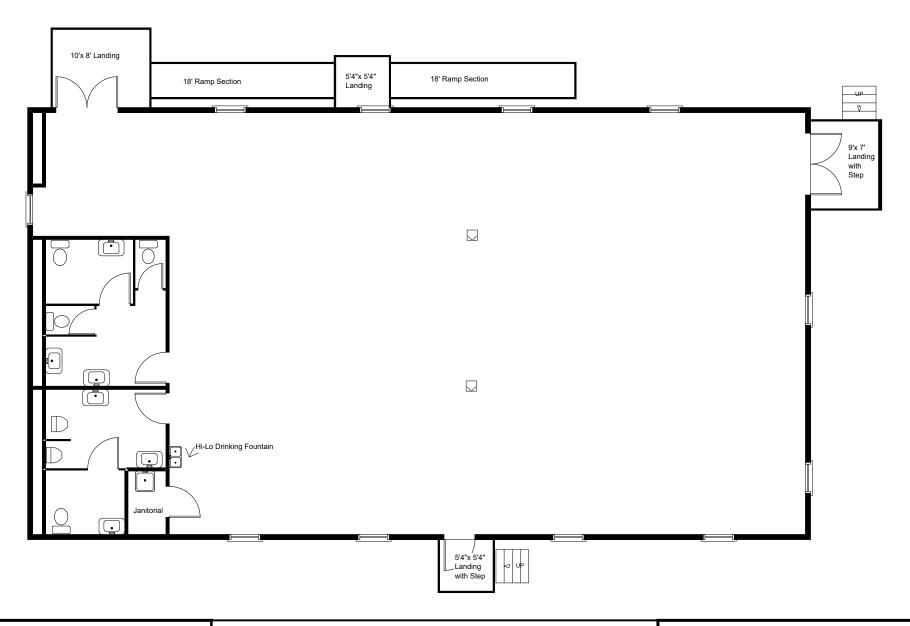
1911 N.W. 15<sup>™</sup> STREET POMPANO BEACH, FLORIDA 33069 954-960-1550 www.advancedmodular.com Temporary FS 87 at Wells Res 21-21

42'x 76' Modular Office/Supply Storage Building

3,192 Nominal SF

#### **Ownership of Documents**

This document and the ideas and designs incorporated herein, as an instrument of service, is the property of Advanced Modular Structures, Inc and is NOT to be used, in whole or in part, for any other project or use without the written permission of Advanced Modular.





1911 N.W. 15<sup>™</sup> STREET POMPANO BEACH, FLORIDA 33069 954-960-1550 www.advancedmodular.com Temporary FS 87 at Wells Res 21-21

42'x 76' Modular Office/Supply Storage Building

3,192 Nominal SF

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#### PLAT NO. I PARK MANOR

RIVIERA BEACH, FLORIDA

STATE OF FLORIDA
COUNTY OF PALM BEACH
This Plat was filed for record at 2.53 M.
this 2.2 day of the state of



She Slav Public

August 7, /96/

Approved: Joke 10 14 , A.D. 1959
Town of Riviera Beach, Florida By: B. Fox Griffin

Lace Lotal

BROCKWAY, WEBER & BROCKWAY

PLAT NO.1
PARK MANOR
IN 4 SHEETS SHEET NO. 1
SWE SCALE: 1'-100' De-No.
MSB ONTE APRIL 1860

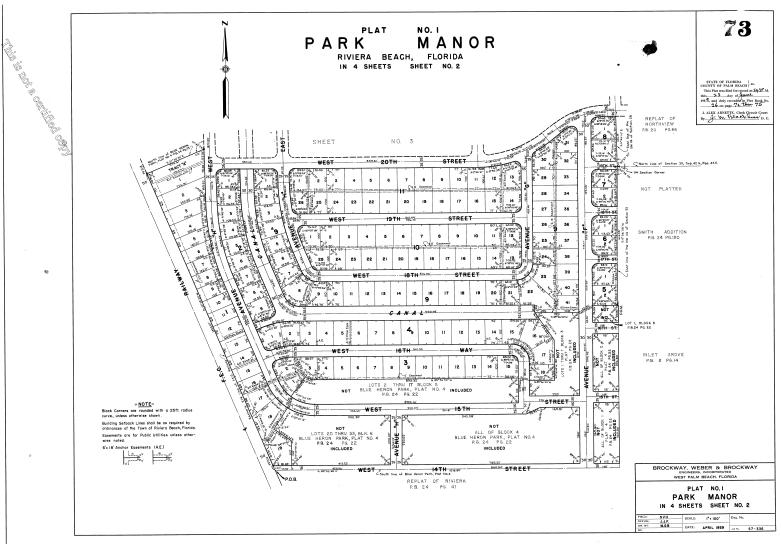
DATE: APRIL 1959 Jul No. 57-336

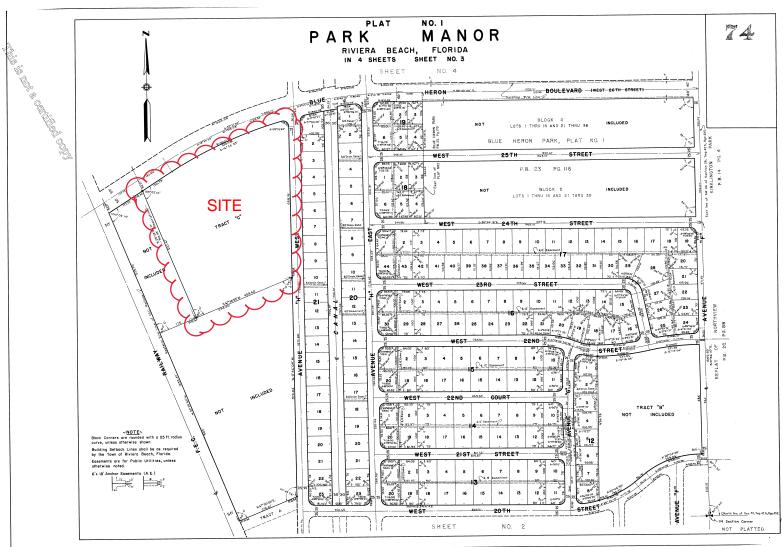
RIVIERA BEACH, FLORIDA
IN SECTIONS 28, 29 a 33, TWP. 42 S., RGE. 43 E.
PALM BEACH COUNTY, FLORIDA
Billion a Repair of pour of Billion Heron Pork, Pill No. 2, Billion Heron Pork, Polit No. 5, Recorded of Polit Billion Sec

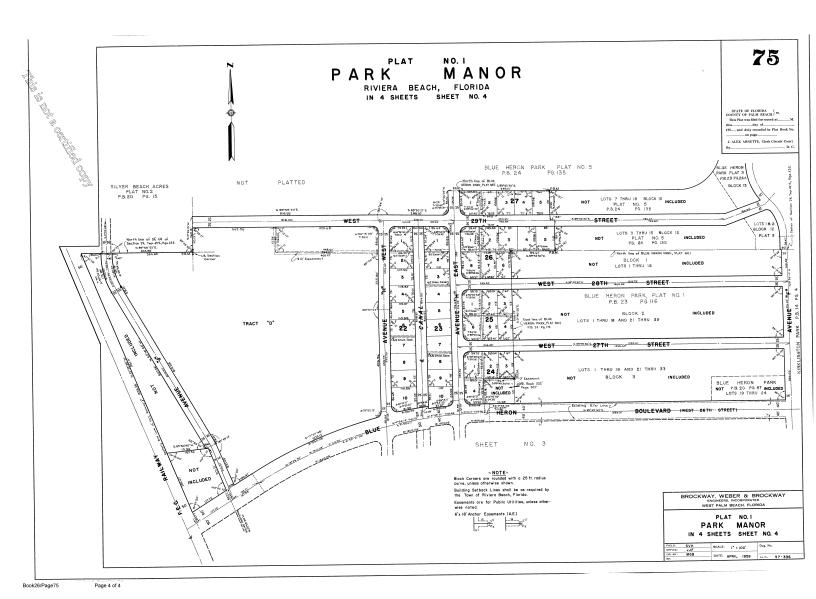
NOTE:

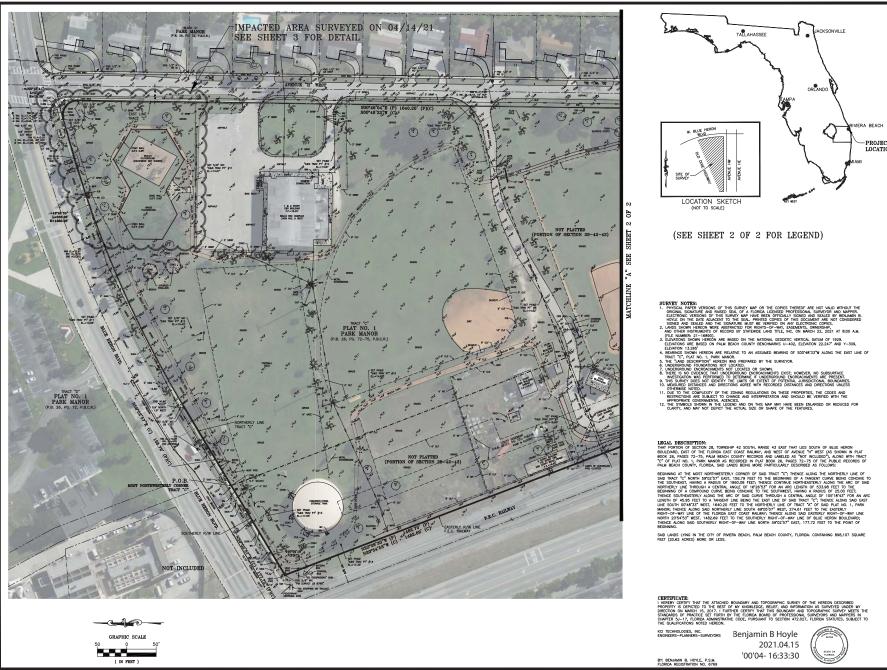
Block Corners are rounded with a 25 ft. radius curvs, unless otherwise shown.

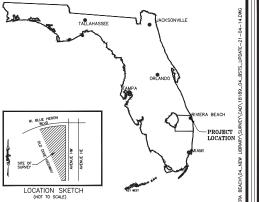
Building Setback Lines shall be as required by the Town of Riviera Beach, Florida.











SCIENTSTS ENGINEES | PLANNESS | ST Construction anamers

REVISIONS 4/9/21 ADD EASEMENT & ENCUMBRANCES TABLE /14/21 UPDATE SURVEY

3/15/2017 SCALE AS SHOWN FIELD BOOK \_\_\_\_\_1439/1443 DRAWN BY DAS/SKN CHECKED BY RKK/RBH

72, P.B.C.R.) RANGE 43 EAST SURVEY

26, PG. SOUTH, TOPOGRAPHIC S WELL 8 RECREATION REINIERA BEACH ...4 7 MANOR (P.F.

NO. 1 PARK SECTION 28, BOUNDARY AND T NEW LIBRARY SITE AKA V CITY OF 1 TRACT "C", PLAT AND A PORTION OF

SHEET NO. SHEETS PROJECT NO. 181890



( IN FEET )

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COMPRETE RACCILIATO
COMPRETE ROCCI STRUCTURE
COMPRETE LOTTO PIECE
COMPRETE LOTTO PIECE
COMPRETE POLE
DOUBLE DETECTOR OFFICE VALVE
DOUBLE DETECTOR OFFICE
COMPRETE VALVE
DOUBLE STRUCTURE
ELECTROM
E LEGEND 

FRE HYDRAIT
SAMESE CONNECTOR
GATE WAVE (CNUESS NOTED OTHERWISE)
MATER METER
MATER MATER
UNIVARIE ANGIOR
TREE
PAUM TREE
PAUM TREE
SPOTUBIET ANGIOR FLOODUGHT
GGH

REVISIONS 4/9/21 ADD EASEMENT & ENCUMBRANCES TABL

3/15/2017 SCALE AS SHOWN FIELD BOOK \_\_\_\_\_1439/1443 DRAWN BY DAS/SKN CHECKED BY RKK/BBH

72, P.B.C.R.) RANGE 43 EAST 26, PG. SOUTH,

TOPOGRAPHIC SURVEY WELL 8 RECREATION COMPLEX RIVIERA BEACH BOUNDARY AND T NEW LIBRARY SITE AKA V CITY OF 1

.B MANOR (P.F. TRACT "C", PLAT AND A PORTION OF

SHEET NO. SHEETS PROJECT NO. 181890

TITLE ENCUMBRANCES STATEWIDE LAND TITLE, INC. FILE NUMBER: 21-16890, EFFECTIVE DATE: MARCH 22, 2021 AT 8:00 A.M.

BASE TITLE INFORMATION AND OTHER ENCOMBRANCES						
DOCUMENT NO.	DESCRIPTION	RECORDING DATA SCHEDULE B	AFFECTS	PLOTTED		
1	PLAT	P.B. 26, PG. 72, P.B.C.R.	YES	YES		
2	QUIT CLAIM DEED/EASEMENT	O.R.B. 28127, PG. 731, P.B.C.R.	YES	YES		

# IMPACT



( IN FEET )

SCHAIISTS ENGINEERS | PLANNERS | SCI CONSTRUCTION MANAGERS

DATE REVISIONS

4/9/21 ADD EASEMENT & ENCUMBRANCES TABLE
4/14/21 UPDATE SURVEY

3/15/2017 SCALE AS SHOWN FIELD BOOK \_\_\_\_\_\_1439/1443 DRAWN BY <u>DAS/SKN</u> CHECKED BY RKK/BBH

72, P.B.C.R.) RANGE 43 EAST TOPOGRAPHIC SURVEY WELL 8 RECREATION COMPLEX RIVIERA BEACH 26, PG. SOUTH, MANOR (P.B. 2 TOWNSHIP 42 5 NO. 1 PARK I SECTION 28, 1 BOUNDARY AND T NEW LIBRARY SITE AKA V CITY OF 1

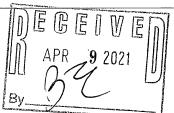
TRACT "C", PLAT AND A PORTION OF SHEET NO. SHEETS PROJECT NO. 181890

# THE ACTION OF TH

# APPLICATION FOR CITY OF RIVIERA BEACH ADVISORY BOARD

Please Note: Pursuant to 119.07 F.S. the information provided in this application is considered to be public record, except as provided by law.

Board Applying For: Planning and Zoning Board
Name: Darlene Cruz Home Address: 1923 Alamanda Way
City: Prviera Beach State: Przip: 33404 Home Phone No: (561) 960-9840
Work Phone No: N/A Email Address: darlandloagmail.com
Are you currently serving on a City Board or Committee? YES ( ) NO ( )
If so please indicate name: Library Advisory Date of Service(s) 4/19
Are you available for day time meetings ( ) evening meetings ( )
What would you hope to accomplish by participating if you are appointed?
To serve as well as growing through Planning
and zoning board membership. I am a community
creant who wants to give her time where ever
Present Employer: Beautofully Hornes Position: Business Chines
Address: 1923 Alamanda Wary; Kripra Ech State: FL Zip: 33404
Profession: Independent Business Length: //r.
How long have you practiced the above profession?
Preferred mailing address: SAME AS ABOVE
Could your occupation or employment present a conflict of interest on municipal subject matters discussed or decided upon by the Advisory Board? YES ( ) NO ( ) NOT SURE ( ) Please explain:
MEDEUN EN



Please explain your knowledge, experience, and interest in municipal functions; municipal charter, financing, Florida Constitution, and Florida Statutes pertaining to municipal law; if none, provide
your experiences or skills in dealing with business or communication: General government Knowledge & Election Knowledge
EDUCATIONAL BACKGROUND
Degree or Certificate Institution Course of Study
BBA Northwood University Business Alma
BBA Northwood University Business Alma M.S.: Reading Nova Southeastern University Reading Educ
Centificates: Busines Specialist + Logistics and Transportation
Are you registered and actively Vote in Palm Beach County? YES ( ) NO ( )
Are you currently participating in civic or community activities? YES ( ) NO ( )
If yes, explain: Virtual mereting by Conferences: 20 Mignig.
I understand the duties, rules and time commitment to the Advisory Board to which I have applied:
Malene Crus Date  O4/09/2021  Date
How did you learn about the Advisory Board?
City's website ( ) Community group ( ) Newspaper ( ) Other ( ) Clerks Office
If you desire, resume may be attached; Florida Law may require you to file a Financial Disclosure Form, If so, you will be notified upon appointment to City Advisory Board.
Please return application and resume to:
Office of the City Clerk 600 West Blue Heron Blvd, Riviera Beach, Fl 33404
FOR USE BY CITY OF RIVIERA BEACH
Appointment by: Date: Expiration Date:
Orientation Date: Notified by City Staff: Notified by City Staff: APR 9 2021

# Darlene S. Cruz

1923 Alamanda Way, Riviera Beach, FL 33404 | 561-460-9840 Email: darlcruz6160@gmail.com

I am a self-motivated, loyal, and dependable individual who has the ambition to succeed in any given environment. I am also teachable, enthusiastic, and eager to accept new challenges. I interact well with others, but I also work effectively and efficiently on my own. I am seeking a position where I can grow and excel while giving my very best to my employer.

#### **Education and Credentials**

Business Management, (AS) and Bachelor of Business Administration, (BBA) 2003-2006 Northwood University West Palm Beach, Florida

## **Affiliations**

Compassion Integrated Outreach Services, Inc. (Current) | Non-Profit | Founder City of Riviera Beach Library Advisory Board Member

## **Certifications**

• Business Specialist Certified • Logistics and Transportation Specialist Certified

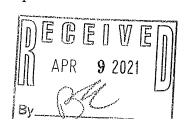
# **Professional Experience**

Business Owner | January 2014-September 2019 • Gifted Hands Cleaning Services, LLC

- Excellent customer service skills and contract negotiations.
- Customize deep cleanings include (dusting, sweeping, vacuuming, mopping, restroom cleaning etc.).
- Performed routine inspections and maintenance cleanings for residential, office and commercial cleaning jobs.
- Managed and effectively facilitated the daily functions of the business.

<u>Independent Business Owner</u> | September 2019-September 2021 • Beautifully Adorned Jewels, LLC

- Communicates effectively both verbally and in writing.
- Accurately processes orders, store inventory and ship product to the customers.
- Uses appropriate managing software to assist with optimization processes.
- Manages company website and all social media platforms.



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# APPLICATION FOR CITY OF RIVIERA BEACH ADVISORY BOARD

Please Note: Pursuant to 119.07 F.S. the information provided in this application is considered to be public record, except as provided by law.

Board Applying For: Planning	g and Zoning Board			
Name: Frank X. Fernandez	Home Address:	PO Box 14631		
City: North Palm Beach	_State: FL Zip: 33408	Home Phone No	: 305-218-1686	
Work Phone No:				
Are you currently serving on a			NO ( 🗸 )	
If so please indicate name:		Date of Service(s	)	
Are you available for day time	meetings ( 🗸 ) evening	g meetings ( 🗸 )		
What would you hope to accon			I hope my 32 years	
of work related experience	with the USG would allow r	me the opportun	ity to enhance the	
Quality of Life, well being of	our citizenry. Community	service is tops of	on my priority list.	
Present Employer: Retired	Posi	ition: Criminal In	vestigations USG	
Address:				
Profession:	Len	gth:		
How long have you practiced the above profession? 32 Years				
Preferred mailing address: PO	Box 14631, North Palm B	each, FL 33408		
Could your occupation or empl discussed or decided upon by t Please explain: FYI: I utilize PO Box as resi	loyment present a conflict of he Advisory Board? YES (	interest on munici	NOT SURE ( )	
Prior to retirement.				

Please explain your knowledge, experience financing, Florida Constitution, and Florida your experiences or skills in dealing with b 32 years of service with USG, major m	Statutes pertaining to r	nunicipal law; if none, provide
with State, Federal, Local agencies (mo		
the citizens I served. Worked alongsid		
EDUCATIONAL BACKGROUND		
Degree or Certificate	Institution	Course of Study
BA	Rutgers College (N.	J) Language/Crim Justice
Are you registered and actively Vote in Pal	m Beach County?	YES ( 🗸 ) NO ( )
Are you currently participating in civic or c	community activities?	YES ( 🗸 NO ( )
If yes, explain: Assist Dr. J. Botel, Counc	cil Member with Comr	nunity Matters
I understand the duties, rules and time company Signature	mitment to the Advisory  5-6-20  Date	
How did you learn about the Advisory Boa	rd?	
City's website ( ) Community group (	Newspaper (	Other ( )
If you desire, resume may be attached; Flor Form, If so, you will be notified upon appo		
Please return application and resume to:		
Office of the City Clerk 600 West Blue Heron Blvd, Riviera Beach, Fl 33404		
FOR USE BY CITY OF RIVIERA BEAC	Н	the state of the s
Appointment by:	Date:	_Expiration Date:
Orientation Date:	Jotified by City Staff	