



AGENDA

**CITY OF RIVIERA BEACH
LOCAL PLANNING AGENCY**

THE PLANNING AND ZONING BOARD

Dept. of Community Development: (561)845-4060 / comdev@rivierabch.com

Commencement – 6:30 PM
Thursday, February 27, 2014

Council Chambers – Municipal Complex
600 West Blue Heron Boulevard

If you wish to speak on any item(s) presented on this agenda, please complete a pink public comment card and provide it to Planning and Zoning Staff. Cards must be submitted prior to Board discussion of an item. Thank you.

I. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE

II. ROLL CALL

Tradrick McCoy, Chairperson	Edward Kunutty, Vice-Chairperson
S. Lashea Brooks, Board Member	Brian Coulton, Board Member
Marie Davis, Board Member	Rena James, Board Member (non-voting)
Julius Whigham, Sr., Board Member	
Kimberley Jackson, 1 st Alternate Member	Arthur Hamilton, 2 nd Alternate Member

III. ADDITIONS AND DELETIONS TO THE AGENDA

IV. DISCLOSURE BY BOARD MEMBERS AND ADOPTION OF AGENDA

V. APPROVAL OF MINUTES – November 14, 2013

VI. PRESENTATIONS – None

VII. UNFINISHED BUSINESS – None

VIII. NEW BUSINESS

- A. (SE-13-12) AN APPLICATION FROM THE FLORIDA POWER & LIGHT COMPANY (FPL) REQUESTING A FINDING THAT THE REMOVAL OF CONDITION OF APPROVAL NUMBER 14 FROM THE 1974 FPL PETROLEUM STORAGE FACILITY DEVELOPMENT OF REGIONAL IMPACT (DRI), WHICH LIMITS FUEL STORAGE TO #6 OIL, IS NOT CONSIDERED TO BE A SUBSTANTIAL DEVIATION TO THE DRI AND WILL NOT CREATE SIGNIFICANT REGIONAL IMPACTS ON RESOURCES AND FACILITIES IN THE AREA; AND APPROVAL OF AN AMENDMENT TO THE AFOREMENTIONED 1974 DRI TO REMOVE CONDITION OF APPROVAL NUMBER 14, WHICH RESTRICTS STORAGE OF PETROLEUM ON THE SITE TO #6 OIL; AND APPROVAL OF AN AMENDMENT TO THE DRI SITE PLAN TO PROVIDE FOR NEW DEVELOPMENT, WHICH INCLUDES THE RETROFIT OF AN EXISTING FUEL TANK, A DOUBLE WALL CONTAINMENT SYSTEM, A STORMWATER DETENTION POND, FUELING BAYS, LANDSCAPING, AND A 25,000 GALLON FUEL TANK AT 2400 PORT WEST BOULEVARD.

1. Presentation
2. Public Comments
3. Board Comments

- B. (LU-14-01) AN APPLICATION FROM THE CITY OF RIVIERA BEACH REQUESTING APPROVAL OF A COMPREHENSIVE PLAN LAND USE AMENDMENT, FROM INDUSTRIAL TO COMMUNITY FACILITY, IN ORDER TO FACILITATE THE DEVELOPMENT OF THE

CITY OF RIVIERA BEACH PUBLIC SERVICES COMPLEX, LOCATED AT 1481 WEST 15TH STREET, ON 13.3 ACRES.

1. Presentation
2. Public Comments
3. Board Comments

C. (RZ-14-01) AN APPLICATION FROM THE CITY OF RIVIERA BEACH REQUESTING APPROVAL OF A ZONING CHANGE, FROM GENERAL INDUSTRIAL TO COMMUNITY FACILITY, IN ORDER TO FACILITATE THE DEVELOPMENT OF THE CITY OF RIVIERA BEACH PUBLIC SERVICES COMPLEX, LOCATED AT 1481 WEST 15TH STREET, ON 13.3 ACRES.

1. Presentation
2. Public Comments
3. Board Comments

D. (SP-14-01) AN APPLICATION FROM THE CITY OF RIVIERA BEACH REQUESTING APPROVAL OF A SITE PLAN AMENDMENT IN ORDER TO FACILITATE THE DEVELOPMENT OF THE CITY OF RIVIERA BEACH PUBLIC SERVICES COMPLEX, LOCATED AT 1481 WEST 15TH STREET, ON 13.3 ACRES.

1. Presentation
2. Public Comments
3. Board Comments

IX. GENERAL DISCUSSION

- A. PUBLIC COMMENTS
- B. CORRESPONDENCE
- C. PLANNING AND ZONING BOARD COMMENTS
 1. Congratulations to Mr. Julius Whigham, Sr. – 2014 Senior Citizen of the Year
 2. Project Updates / Upcoming Projects
 3. Upcoming P&Z Board Meetings – March 13, 2013 / March 27, 2014.

X. ADJOURNMENT

NOTICE: In accordance with the Americans with Disabilities Act, persons in need of a special accommodation to participate in this proceeding shall, within a reasonable time prior to any proceeding, contact the office of the Legislative Aide of the City of Riviera Beach, 600 West Blue Heron Boulevard, Riviera Beach, Florida 33404, Telephone 561-845-4095 or TDD 561-840-3350, www.rivierabch.com.

November 14, 2013 - Planning and Zoning Board Meeting

The Planning and Zoning Board for the City of Riviera Beach met in regular session on Thursday, November 14, 2013 in the City Council Chambers, Municipal Complex, 600 West Blue Heron Blvd, Riviera Beach, FL 33404. The meeting was called to order at 6:30 PM. A moment of silence was followed by the Pledge of Allegiance and roll call.

ROLL CALL

Tradrick McCoy, Chairperson	Present
Edward Kunuty, Vice-Chair	Absent
S. Lashea Brooks, Board Member	Present
Julius Whigham, Board Member	Absent
Rena James, Board Member	Absent
Marie Davis, Board Member	Present
Brian Coulton, Board Member	Present
Kimberly Jackson, 1 st Alternate	Absent
Arthur Hamilton, 2 nd Alternate	Present*

* Alternate given voting rights.

Also present; Planning and Zoning Administrator Jeff Gagnon, Principal Planner Brad Stein, Senior Planner Mario Velasquez, Assistant City Attorney Valencia Stubbs, and approximately 8 individuals from the general public.

ADDITIONS AND DELETIONS TO THE AGENDA

Mr. Gagnon – Informed the board of members unable to attend tonight’s meeting and requested voting rights for alternate board member Arthur Hamilton.

DISCLOSURE BY BOARD MEMBERS TO THE AGENDA

No disclosures provided. Motion to approve the agenda by Ms. Jackson, 2nd by Ms. Brooks. Unanimous approval (5-0).

APPROVAL OF MINUTES

Motion to approve minutes from October 24, 2013 by Mr. Hamilton, 2nd by Ms. Brooks. Unanimous approval (5-0).

PRESENTATIONS – None

UNFINISHED BUSINESS – None

NEW BUSINESS

A. (SE-13-02) AN APPLICATION FROM BEAR NECESSITY DAYCARE REQUESTING A SPECIAL EXCEPTION APPROVAL TO OPERATE A LARGE FAMILY CHILD CARE HOME, AT 1951 AVENUE ‘H’ EAST, WITHIN A SINGLE FAMILY STRUCTURE ON A 9,323 SQ. FT. PARCEL.

1. Presentation

Mr. Velasquez – Presented the special exception application to the board and general public.

Ms. Davis asked if there are other childcare facilities in the area.

Mr. Velasquez, Mr. McCoy, Mr. Gagnon, and Ms. Davis discussed the separation requirement between daycares.

Mr. McCoy, Mr. Gagnon, Ms. Davis, Mr. Hamilton, and Ms. Brooks discussed the special exception application fee waiver time frames, when they were approved, the resolutions related to these cases, the signage related to this business.

2. Public Comments – None

3. Board Comments – Prior discussion during presentation. No additional comments.

Motion to approve application SE-13-02 by Ms. Brooks, 2nd by Mr. Coulton. Approved (4-1) with Ms. Davis dissenting.

B. (SE-13-03) AN APPLICATION FROM A GRANDMA’S LOVE FAMILY DAYCARE REQUESTING A SPECIAL EXCEPTION APPROVAL TO OPERATE A LARGE FAMILY CHILD CARE HOME, AT 1600 AVENUE ‘F’, WITHIN A SINGLE FAMILY STRUCTURE ON A 8,712 SQ. FT. PARCEL.

1. Presentation

Mr. Velasquez – Presented the special exception application to the board and general public.

Mr. Coulton, Mr. McCoy, and Mr. Gagnon discussed children at play signage and how to implement it.

2. Public Comments – None

3. Board Comments – None

Motion to approve application SE-13-03 by Ms. Brooks, 2nd by Mr. Coulton. Approved (4-1) with Ms. Davis dissenting.

C. (SE-13-04) AN APPLICATION FROM EULA GRAY’S FAMILY DAYCARE REQUESTING A SPECIAL EXCEPTION APPROVAL TO OPERATE A LARGE FAMILY CHILD CARE HOME, AT 301 WEST 22ND COURT, WITHIN A SINGLE FAMILY STRUCTURE ON A 6,684 SQ. FT. PARCEL.

1. Presentation

Mr. Velasquez – Presented the special exception application to the board and general public.

2. Public Comments – None

3. Board Comments – None

Motion to approve application SE-13-04 by Ms. Brooks, 2nd by Mr. Coulton. Approved (4-1) with Ms. Davis dissenting.

D. (SE-13-05) AN APPLICATION FROM ANDREA’S LITTLE ANGELS FAMILY CHILD CARE REQUESTING A SPECIAL EXCEPTION APPROVAL TO OPERATE A LARGE FAMILY CHILD CARE HOME, AT 574 WEST 6TH STREET, WITHIN A MULTIPLE FAMILY STRUCTURE ON A 5,000 SQ. FT. PARCEL.

1. Presentation.

Mr. Velasquez – Presented the special exception application to the board members and the public.

Mr. Hamilton, Mr. McCoy, and Mr. Velasquez discussed the amount of parking spaces required and provided by this applicant.

Mr. Coulton and Mr. Gagnon discussed the special exception and if it is transferable.

2. Public Comments – None

3. Board Comments – Prior discussion during presentation. No additional comments.

Motion to approve application SE-13-05 by Ms. Brooks, 2nd by Mr. Coulton. Approved (4-1) with Mr. Hamilton dissenting.

E. (SE-13-06) AN APPLICATION FROM BOATWRIGHT FAMILY CHILD CARE HOME REQUESTING A SPECIAL EXCEPTION APPROVAL TO OPERATE A LARGE FAMILY CHILD CARE HOME, AT 390 WEST 33RD STREET, WITHIN A SINGLE FAMILY STRUCTURE ON A 8,030 SQ. FT. PARCEL.

1. Presentation

Mr. Velasquez – Presented the special exception application to the board and general public.

Ms. Davis and Mr. Velasquez discussed the age ratios for children allowed in daycares.

2. Public Comments – None

3. Board Comments – Prior discussion during presentation. No additional comments.

Motion to approve application SE-13-06 by Ms. Brooks, 2nd by Mr. Coulton. Approved (4-1) with Ms. Davis dissenting.

GENERAL DISCUSSION

A. Public Comments – None

B. Correspondence – None

Planning and Zoning Board Comments

Mr. Hamilton and Mr. Gagnon discussed items associated with the marina project presentation given at an earlier P&Z Board Meeting.

Mr. McCoy – Commented on the applications that the board has the authority to review and the importance of keeping discussions on target.

1. Project Updates / Upcoming Projects – None

2. Next scheduled P&Z Meeting – TBD, (December 12, 2013 or January 2014).

ADJOURNMENT

Motion to adjourn by Ms. Brooks, 2nd by Ms. Davis at 7:40 pm.

STAFF REPORT
Case No. SP-13-12
CITY OF RIVIERA BEACH

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, FINDING THAT THE REMOVAL OF CONDITION NUMBER 14 IN THE FLORIDA POWER & LIGHT COMPANY PETROLEUM STORAGE FACILITY DEVELOPMENT OF REGIONAL IMPACT LIMITING FUEL STORAGE TO #6 OIL IS NOT CONSIDERED TO BE A SUBSTANTIAL DEVIATION TO THE DEVELOPMENT OF REGIONAL IMPACT AND WILL NOT CREATE SIGNIFICANT REGIONAL IMPACTS ON REGIONAL RESOURCES AND FACILITIES IN THE AREA; AND APPROVES AN AMENDMENT TO THE DRI TO REMOVE CONDITION 14 OF APPROVAL FROM THE ORIGINAL 1974 DRI THAT RESTRICTS STORAGE OF PETROLEUM ON THE SITE TO #6 OIL; AND APPROVING AN AMENDMENT TO THE DRI SITE PLAN TO PROVIDE FOR A TWO PHASE DEVELOPMENT TO RETROFIT AN EXISTING FUEL TANK, ADD A DOUBLE WALL CONTAINMENT SYSTEM, ADD A STORMWATER DETENTION POND, ADD FUELING BAYS, ADD LANDSCAPING, AND ADD A 25K GALLON FUEL TANK; AND PROVIDING AN EFFECTIVE DATE.

- A. Applicant:** The applicant is Florida Power & Light Company (FPL)
- B. Request:** The applicant is requesting an amendment to the 1974 DRI conditions of approval to remove the restriction limiting fuel storage to #6 oil and a site plan approval that will allow conversion of an existing fuel tank from #6 oil to Ultra Low Sulfur Diesel including the addition of a double wall containment system, stormwater retention pond, fueling bays, landscaping and a 25K gallon fuel tank to be completed in two phases.
- C. Location:** The property is located at the east end of 2400 Port West Blvd.
- D. Property Description and Uses:** The subject property description and uses are as follows:
- Size: 72 acres total
 - Existing Use: Multiple Industrial Buildings, Storage Tanks and Natural Gas Compressor Station
 - Future Land Use: Industrial
 - Zoning: General Industrial (IG)
- E. Adjacent Property Description and Uses:** The adjacent uses are as follows:
- North: Wooded Area / RO
 - South: Water, Large Power Lines / U
 - East: I-95, East of I-95 Cheney Brothers Inc./ IG
 - West: Water, Industrial / IG

F. Background: The DRI was originally approved by Palm Beach County on May 7, 1974 by Palm Beach County Resolution 74-334. The area was then annexed into the City of Riviera Beach on August 7, 1985 by City of Riviera Beach Resolution 176-85. On December 16, 1992 a finding of non-substantial deviation for a transmission tower was approved by the City of Riviera Beach by Resolution 206-92. On February 16, 2011 a finding of non-substantial deviation for a natural gas compressor station was approved by the City of Riviera Beach by Resolution No. 21-11.

The 1974 DRI document imposed storage conditions upon the DRI limiting storage to #6 oil. Times have changed and cleaner fuels are now available. At the same time, as some of FPL's power plants are converted to cleaner burning natural gas, the storage demands for #6 oil have diminished. Therefore, the #6 oil restriction is no longer viable.

FPL proposes to use its property for storage of alternative fuel, specifically at this time Ultra Low Sulfur Diesel. The converted Ultra Low Sulfur Diesel fuel tank would allow for FPL's regional emergency operations fuel storage tank facility to provide a nearby option for fueling FPL's fleet vehicles during emergency operations. During emergencies, FPL, as a first responder, must ensure fuel is available for fleet vehicles necessary to restore electrical power. To comply with Florida Department of Environmental Protection regulations, a second containment wall will be constructed around the Ultra Low Sulfur Diesel tank.

It is anticipated that the 4.8M gallon tank will be filled once each year prior to hurricane season. Over the course of the year periodic withdrawals will occur for FPL fleet vehicles, leaving enough fuel during hurricane season should an emergency arise. All fuel loading and unloading will occur from tanker trucks. Individual vehicles will not fuel from the facility.

G. Proposed Development/ Use: The proposed development will consist of two phases. Phase I will include retrofitting the existing 4.6M gallon tank to allow for storage of Ultra Low Sulfur Diesel, a double wall containment system around the 4.6M gallon tank, stormwater retention pond, new landscape buffer along the Northwest corner of the site, two fueling bays and modifications to the internal drive lane for tanker trucks. Phase II will include the addition of two fueling bays bringing the total number of fueling bays to four, relocating of the stormwater pond, construction of an additional 25K fuel tank and modifications to the internal drive lanes.

H. Staff Analysis:

Proposed Use: The proposed use is consistent with the future land use, zoning and current uses located within the site.

Zoning Regulations: The development complies with the City's Land Development Regulations.

Comprehensive Plan: The proposed use is consistent with the Comprehensive Plan.

Compatibility: The proposed project is compatible with the surrounding parcels and current uses located on the site.

Levels of Service: City services are currently available to the site.

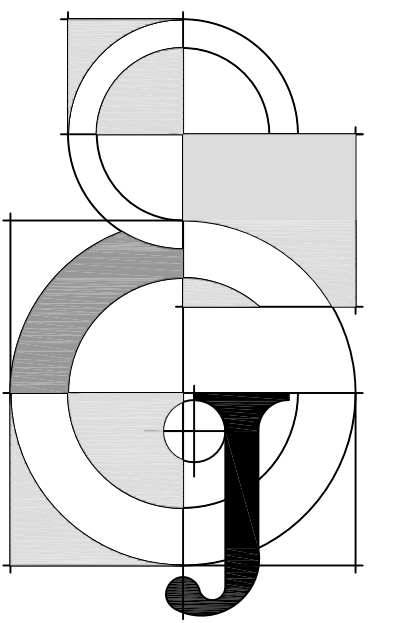
Landscaping: The proposed landscape plan is compatible with the City's Land Development Code.

Parking/ Traffic: Adequate parking has been provided in accordance with the City of Riviera Beach Land Development Regulations and will not be affected by the application. Traffic impacts are minimal and within the City's and County's concurrency requirements.

I. Recommendation:

Staff recommends approval of the finding that the DRI amendment removing the limitation to storage of #6 oil (condition 14) does not create a substantial deviation to the approved DRI, and that the site plan amendment as set forth in the site plan dated January 24, 2014 by Jon E. Schmidt and Associates should be approved with the following condition:

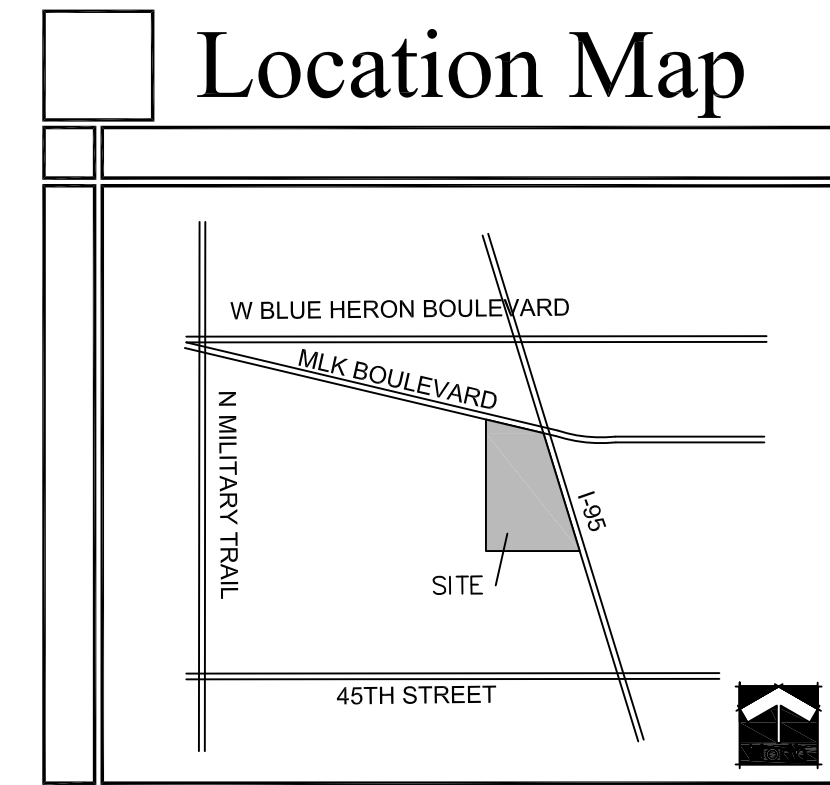
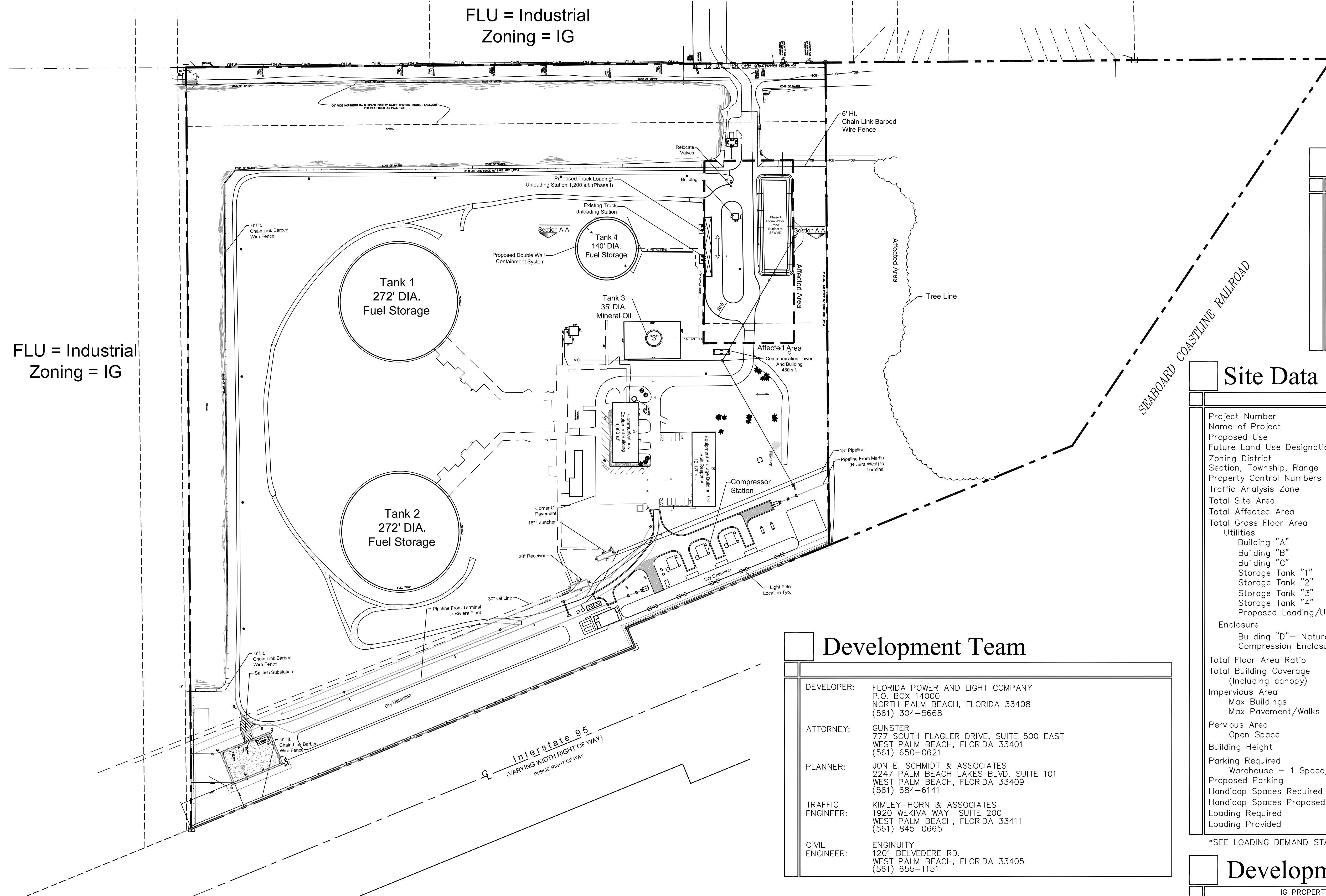
1. Prior to obtaining building permits for any portion of the Phase II build out FPL will obtain all required South Florida Water Management District approvals.
2. Construction must be initiated within 18 months of the effective date of this resolution in accordance with Section 31-60(a), of the City Code of Ordinances.
3. A two-year landscaping bond for 110% of the value of landscaping and irrigation shall be required before certificate of occupancy is issued.
4. All future advertising must state that the development is in the City of Riviera Beach. A fine of \$500 per day will be levied against the property owner for violation of this condition.



Jon E. Schmidt and Associates
 Landscape Architecture & Site Planning
 2247 Palm Beach Lakes Blvd., Suite 101
 West Palm Beach, Florida 33409
 Tel. (561) 684-6141 • Fax. (561) 684-6142
 E-mail: jschmidt@jesla.com
 Website: www.jesla.com
 License No.: LC26000232

EPL Petroleum Storage Facility

City of Riviera Beach, Florida



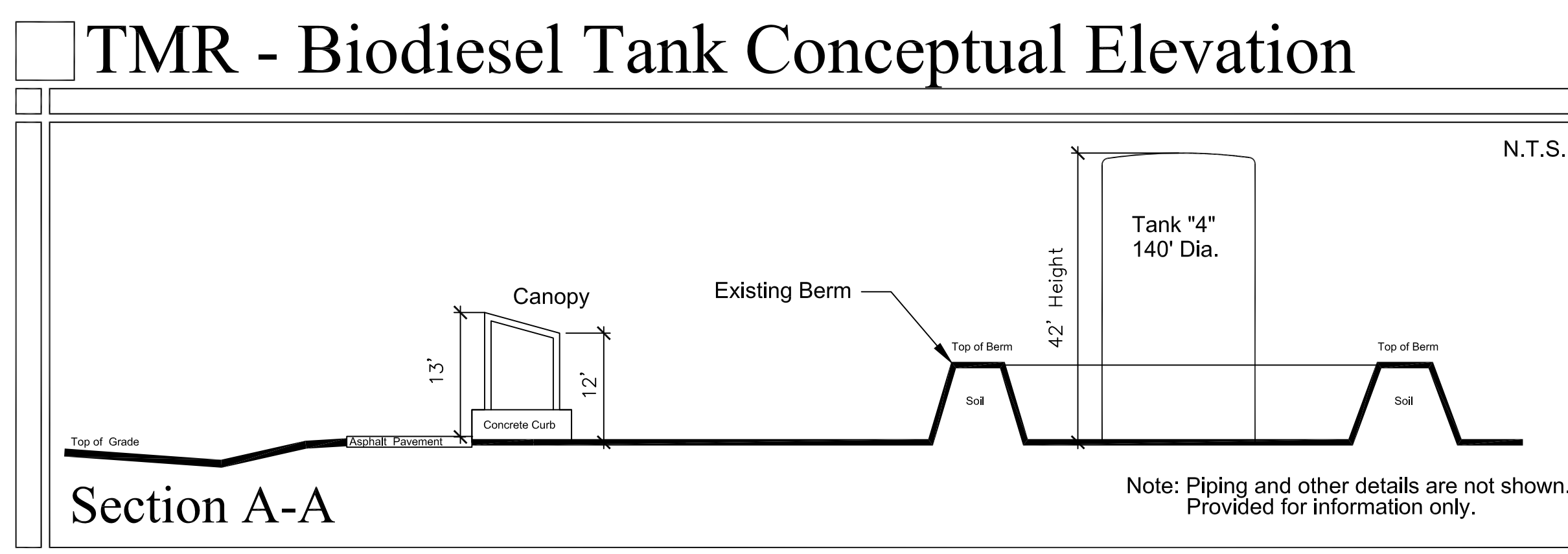
Site Data

Project Number	2013-XXX
Name of Project	FPL Petroleum Storage Facility
Proposed Use	Fuel Storage
Future Land Use Designation	Industrial
Zoning District	IG General Industrial
Section, Township, Range	31/42/43
Property Control Numbers	56-43-42-31-04-001-0000
Traffic Analysis Zone	115
Total Site Area	±70.26 a.c.
Total Affected Area	±4.44 a.c.
Total Gross Floor Area	±196,087 s.f.
Utilities	
Building "A"	9,600 s.f.
Building "B"	12,120 s.f.
Building "C"	480 s.f.
Storage Tank "1"	64,778 s.f.
Storage Tank "2"	65,242 s.f.
Storage Tank "3"	1,256 s.f.
Storage Tank "4"	17,441 s.f.
Proposed Loading/Unloading Station 1,200 s.f. (Open Air)	
Enclosure	
Building "D" - Natural Gas Compression Enclosure	24,000 s.f.
Total Floor Area Ratio	.07
Total Building Coverage (Including canopy)	7%
Impervious Area	17%
Max Buildings	196,087 s.f.
Max Pavement/Walks	209,670 s.f.
Pervious Area	83%
Open Space	2,654,768 s.f.
Building Height	max. 50'
Parking Required	8 SPACES
Warehouse - 1 Space/1000 s.f. @ 7,500 s.f. = 8	
Proposed Parking	8 SPACES
Handicap Spaces Required	1
Handicap Spaces Proposed	1
Loading Required	1
Loading Provided	1

*SEE LOADING DEMAND STATEMENT

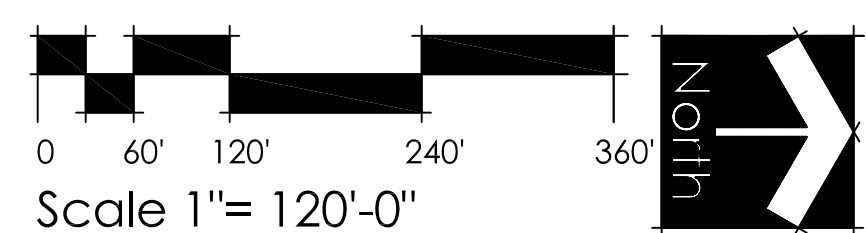
Development Team

DEVELOPER:	FLORIDA POWER AND LIGHT COMPANY P.O. BOX 14000 NORTH PALM BEACH, FLORIDA 33408 (561) 304-5668
ATTORNEY:	GUNSTER 777 SOUTH FLAGLER DRIVE, SUITE 500 EAST WEST PALM BEACH, FLORIDA 33401 (561) 650-0621
PLANNER:	JON E. SCHMIDT & ASSOCIATES 2247 PALM BEACH LAKES BLVD., SUITE 101 WEST PALM BEACH, FLORIDA 33409 (561) 684-6141
TRAFFIC ENGINEER:	KIMLEY-HORN & ASSOCIATES 1920 WEKIVA WAY, SUITE 200 WEST PALM BEACH, FLORIDA 33411 (561) 845-0665
CIVIL ENGINEER:	ENGINUITY 1201 BELVEDERE RD. WEST PALM BEACH, FLORIDA 33405 (561) 655-1151

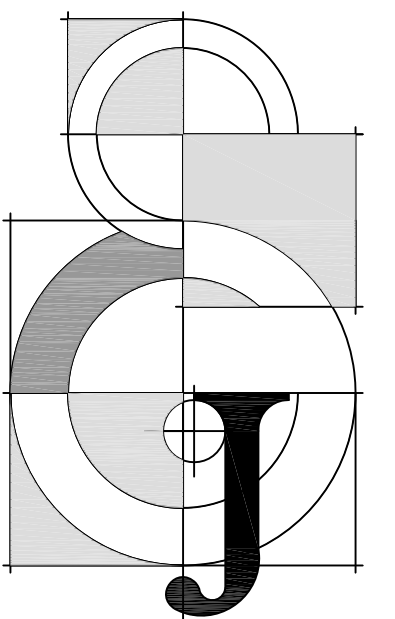


Development Regulations

ZONING DISTRICT	MINIMUM LOT DIMENSIONS				MAX. FAR	MAX. BLDG. COVER	SETBACKS/SEPARATIONS			
	SIZE	WIDTH	FRONTAGE	DEPTH			FRONT	SIDE INTERIOR	SIDE CORNER	REAR
IG	1.0 AC.	N/A	N/A	N/A	.45	45%	40'	15'	N/A	20'
IG	49.66 AC.	N/A	N/A	N/A	.07	7%	79'	165'	N/A	33'



- Date: 8/14/09
 Scale: 1" = 120'-0"
 Design By: JES
 Drawn By: JES
 Checked By: JES
 File No. 457.03
 Job No. 09-33
- #### REVISIONS / SUBMISSIONS
- 10/12/10 Revised Tabular Data
 - 12/02/10 Resubmittal
 - 10/24/13 Revised Site Plan
 - 10/31/13 Storm Water Pond
 - 11/06/13 Revised Site Plan
 - 12/13/13 Revised Site Plan
 - 01/02/14 Rev.Phase I&II and Section
 - 01/13/14 Rev.Phase I&II and Tabular
 - 01/24/14 Rev.Phase I&II and Tabular



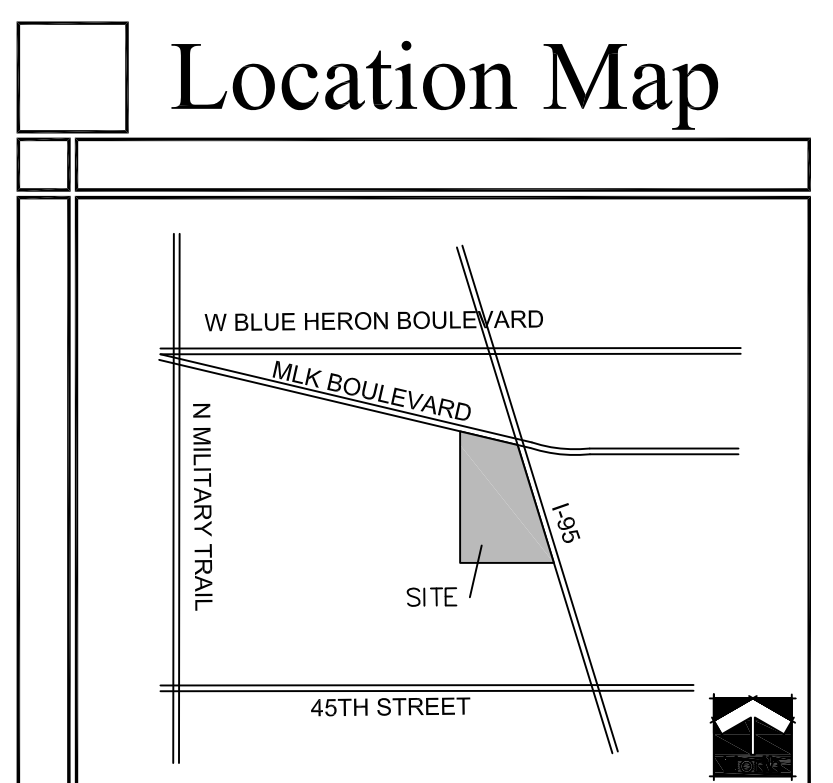
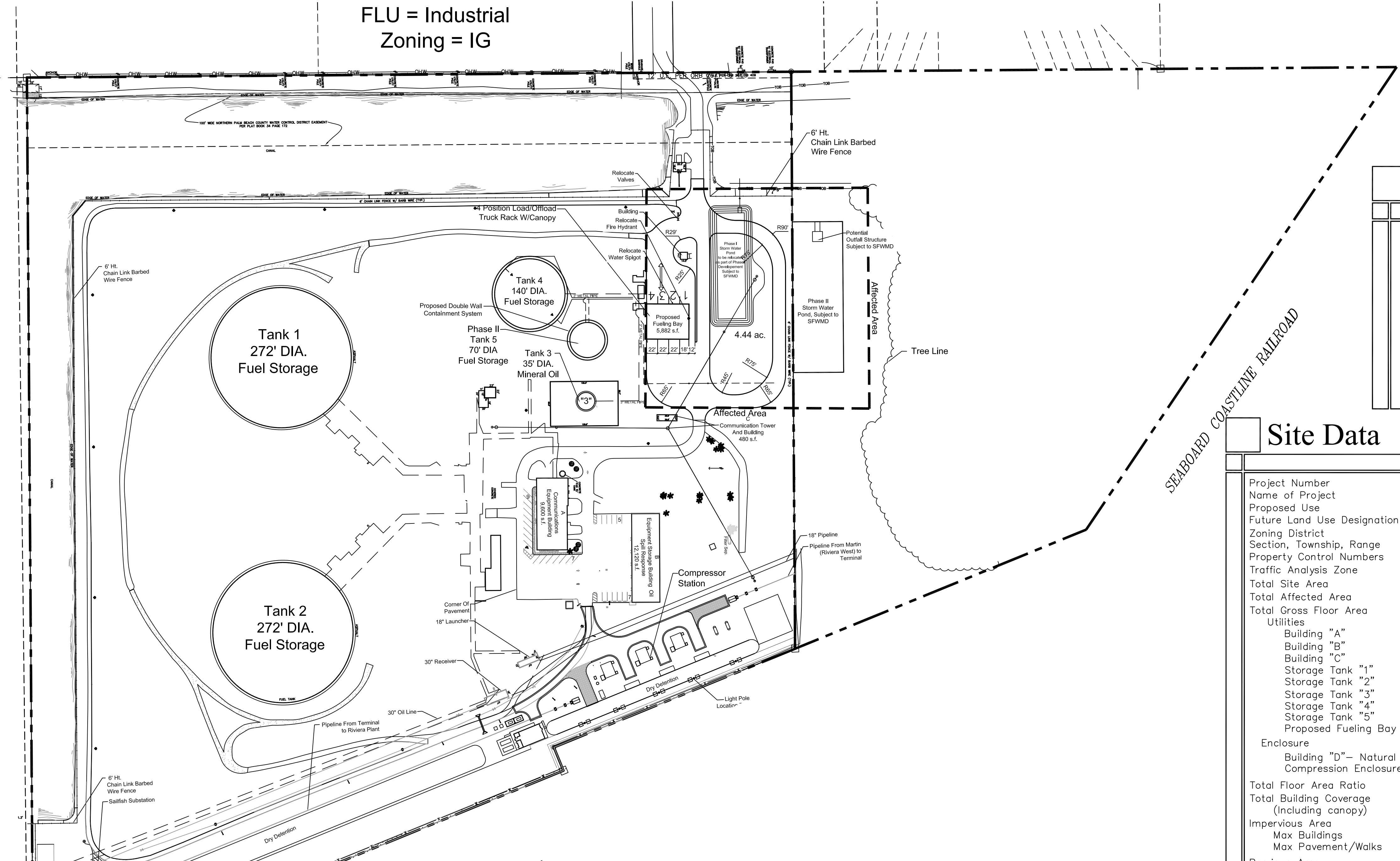
Jon E. Schmidt and Associates
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 Website: www.jesla.com
 License No.: LC26000232

EPL Petroleum Storage Facility

City of Riviera Beach, Florida

FLU = Industrial
 Zoning = IG

FLU = Industrial
 Zoning = IG



Site Data

Project Number	2013-XXX
Name of Project	FPL Petroleum Storage Facility
Proposed Use	Fuel Storage
Future Land Use Designation	Industrial
Zoning District	IG General Industrial
Section, Township, Range	31/42/43
Property Control Numbers	56-43-42-31-04-001-0000
Traffic Analysis Zone	115
Total Site Area	±70.26 a.c.
Total Affected Area	±4.44 a.c.
Total Gross Floor Area	±204,647 s.f.
Utilities	
Building "A"	9,600 s.f.
Building "B"	12,120 s.f.
Building "C"	480 s.f.
Storage Tank "1"	64,778 s.f.
Storage Tank "2"	65,242 s.f.
Storage Tank "3"	1,256 s.f.
Storage Tank "4"	17,441 s.f.
Storage Tank "5"	3,848 s.f.
Proposed Fueling Bay (4)	5,882 s.f. (Open Air)
Enclosure	
Building "D" - Natural Gas Compression Enclosure	24,000 s.f.
Total Floor Area Ratio	.07
Total Building Coverage (Including canopy)	7%
Impervious Area	17%
Max Buildings	204,647 s.f.
Max Pavement/Walks	322,094 s.f.
Pervious Area	83%
Open Space	2,533,784 s.f.
Building Height	max. 50'
Parking Required	8 SPACES
Warehouse - 1 Space/1000 s.f. @ 7,500 s.f. = 8	
Proposed Parking	8 SPACES
Handicap Spaces Required	1
Handicap Spaces Proposed	1
Loading Required	1
Loading Provided	1

Date:	8/14/09
Scale:	1" = 120'-0"
Design By:	JES
Drawn By:	JES
Checked By:	Jes
File No.	457.03
Job No.	09-33

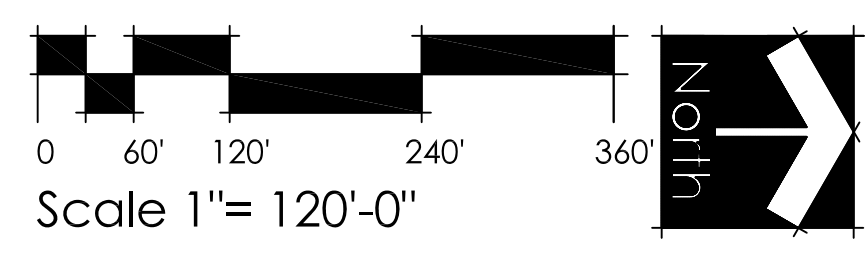
- REVISIONS / SUBMISSIONS
- 10/7/10 Revised Site Plan
 - 10/12/10 Revised Tabular Data
 - 12/02/10 Resubmittal
 - 10/24/13 Revised Site Plan
 - 10/31/13 Storm Water Pond
 - 11/06/13 Revised Site Plan
 - 12/13/13 Revised Site Plan
 - 01/13/14 Rev.Phase I&II and Tabular
 - 01/24/14 Rev.Phase I&II and Tabular

Seperation Distances

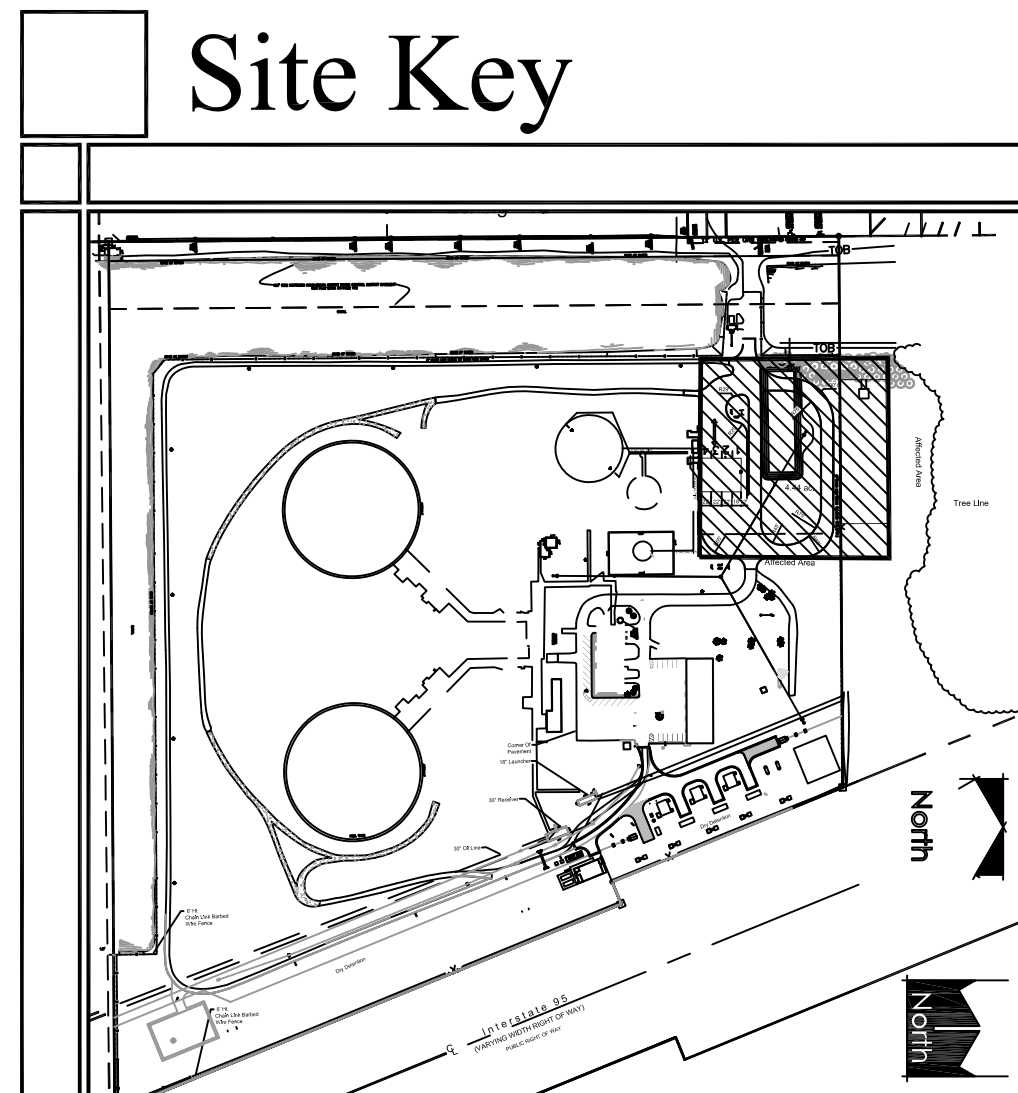


Development Regulations

ZONING DISTRICT	MINIMUM LOT SIZE	LOT DIMENSIONS			MAX. FAR	MAX. BLDG. COVER	SETBACKS/SEPARATIONS			
		WIDTH	FRONTAGE	DEPTH			FRONT	INTERIOR	CORNER	REAR
IG	1.0 AC.	N/A	N/A	N/A	.45	45%	40'	15'	N/A	20'
IG	49.66 AC.	N/A	N/A	N/A	.07	7%	79'	165'	N/A	33'



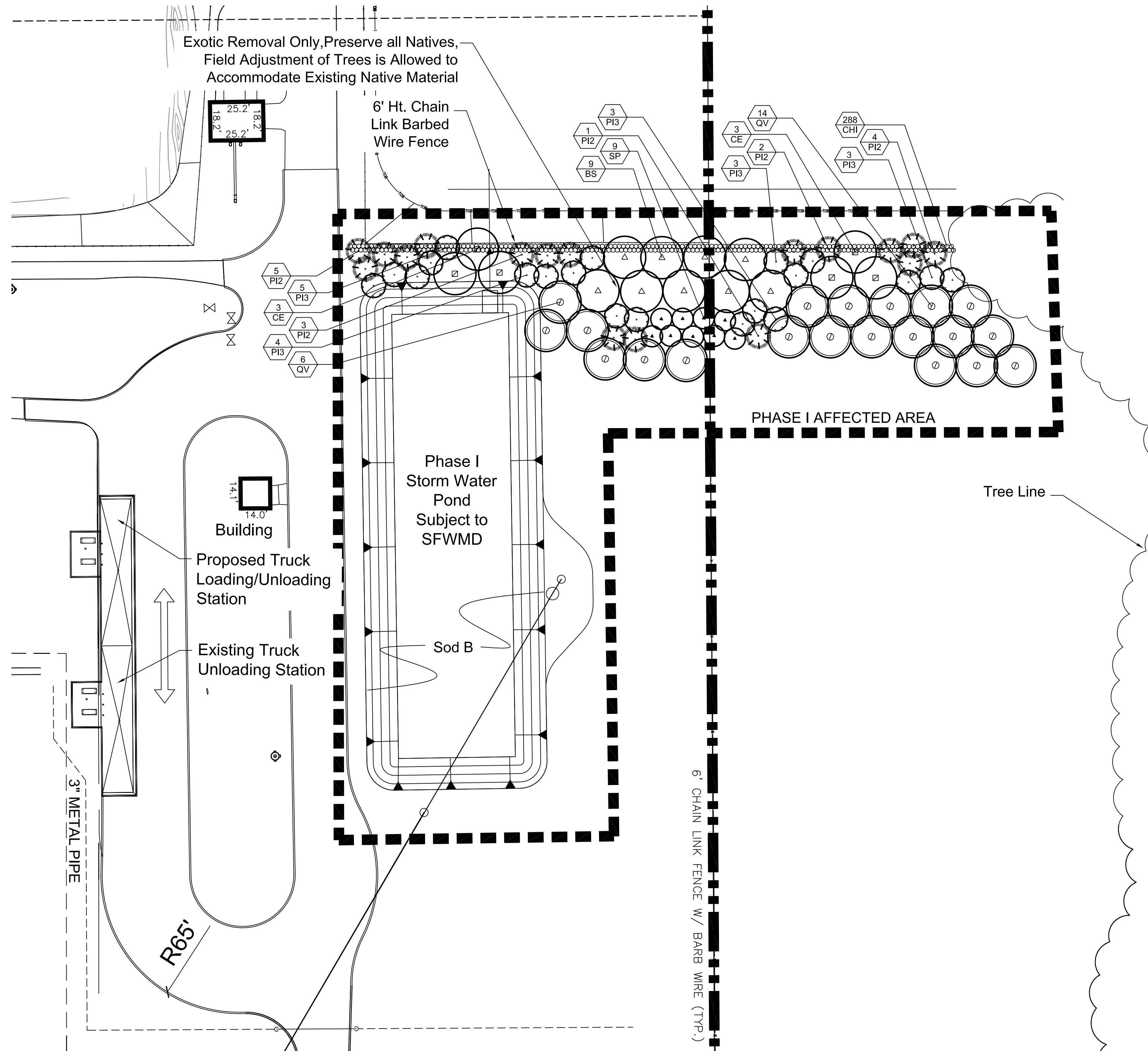
Site Plan Phase II



Phase I Plant List

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD
	BS	9	Bursera simaruba / Gumbo Limbo Single Straight Trunk, Min. 5" CT.	25 Gal. Min.	1.5" DBH	10'	5'
	CE	6	Conocarpus erectus / Green Buttonwood Single Straight Trunk, Min. 5" CT.	25 Gal. Min.	1.5" DBH	10'	5'
	PI2	17	Pinus elliotti / Slash Pine Single Straight Trunk, 1.75" DBH	30 Gal. Min.	1.75" DBH	12'	4'-6"
	PI3	20	Pinus elliotti / Slash Pine Single Straight Trunk, 2" DBH	45 Gal. Min.	2" DBH	15'	6'
	QV	20	Quercus virginiana / Southern Live Oak Single Straight Trunk, Min. 5" CT.	45 Gal. Min.	2" DBH	15'	7'
	SP	9	Sabal palmetto / Cabbage Palmetto Slick Trunks, Hurricane Cut, Stagger Heights	N/A	N/A	10'-16" OA	N/A
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONTAINER	SPACING	HEIGHT	SPREAD
	CHI	288	Chrysobalanus icaco / Coco Plum+ Full To Base	3 gal. min.	24" o.c.	24"	24"
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONTAINER	SPACING	HEIGHT	SPREAD
	SOD B	20,406 sf	Paspalum notatum / Bahia Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	sod			

- ### Landscape Notes
- All trees must be installed at the Height and DBH indicated on the plant list. Container size is given only as a suggestion.
 - All plantings shall be provided with a min. of 3" of pine straw mulch or approved equal.
 - Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
 - Trees are to be installed with a ten foot (10') separation from any water or sewer main and/ or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements.
 - Preserve existing native understory with affected area.
 - Plantings shall be irrigation with an underground irrigation system providing 100% coverage or contractor to provide water truck schedule for approval by the Landscape Architect.



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FPL Petroleum Storage Facility

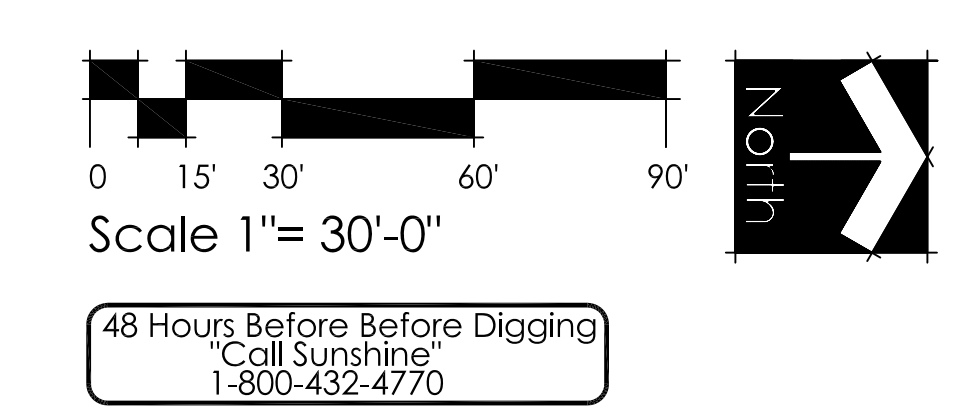
City of Riviera Beach, Florida

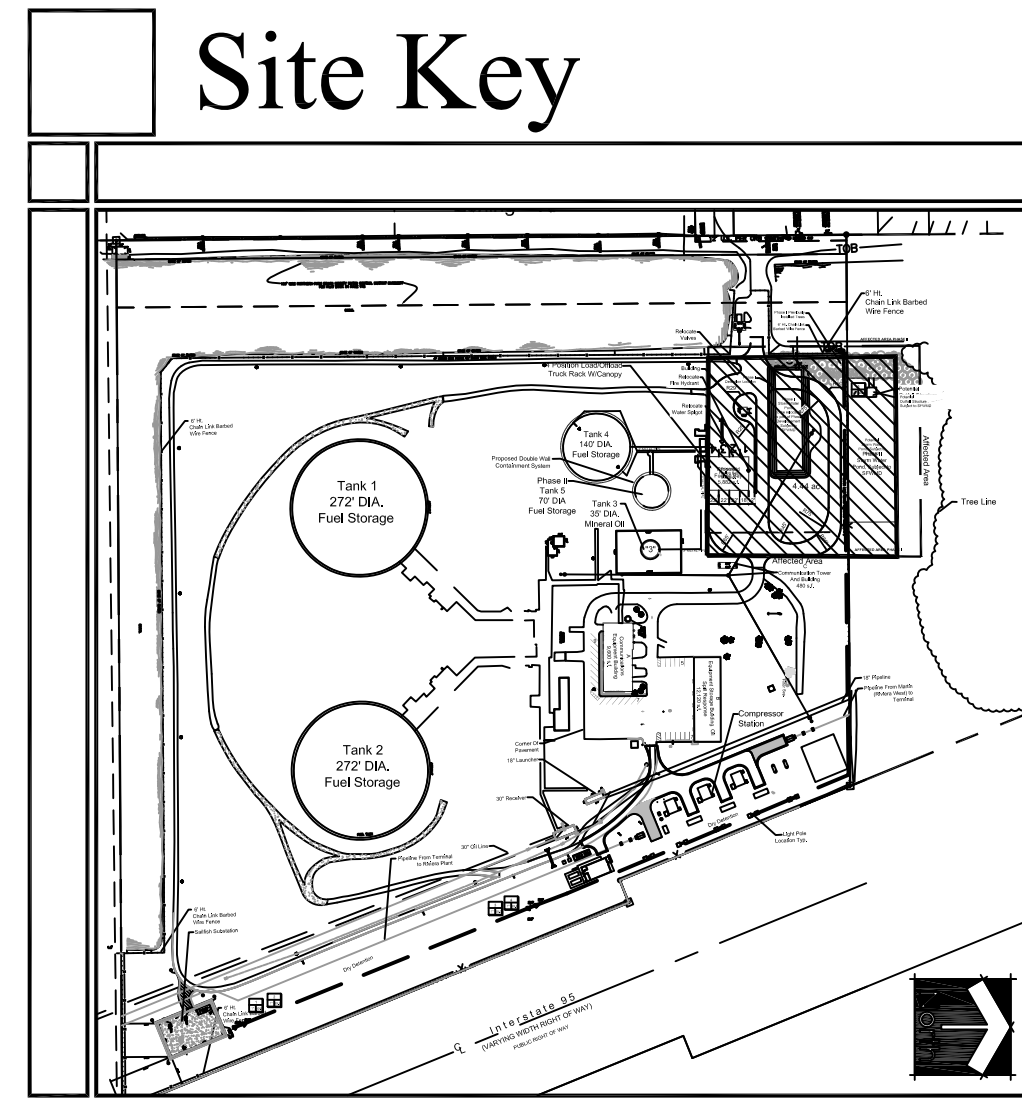
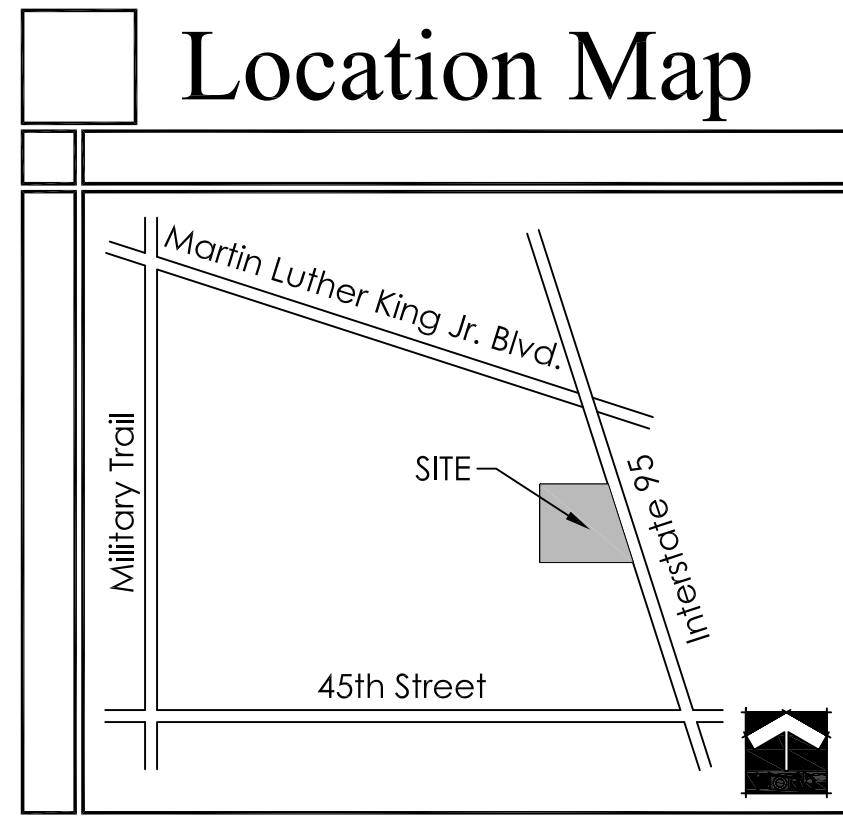
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Drawn By: Coy
Checked By: Jes
File No. 457.03A
Job No. 09-33

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION
02/14/14		Phased Plan

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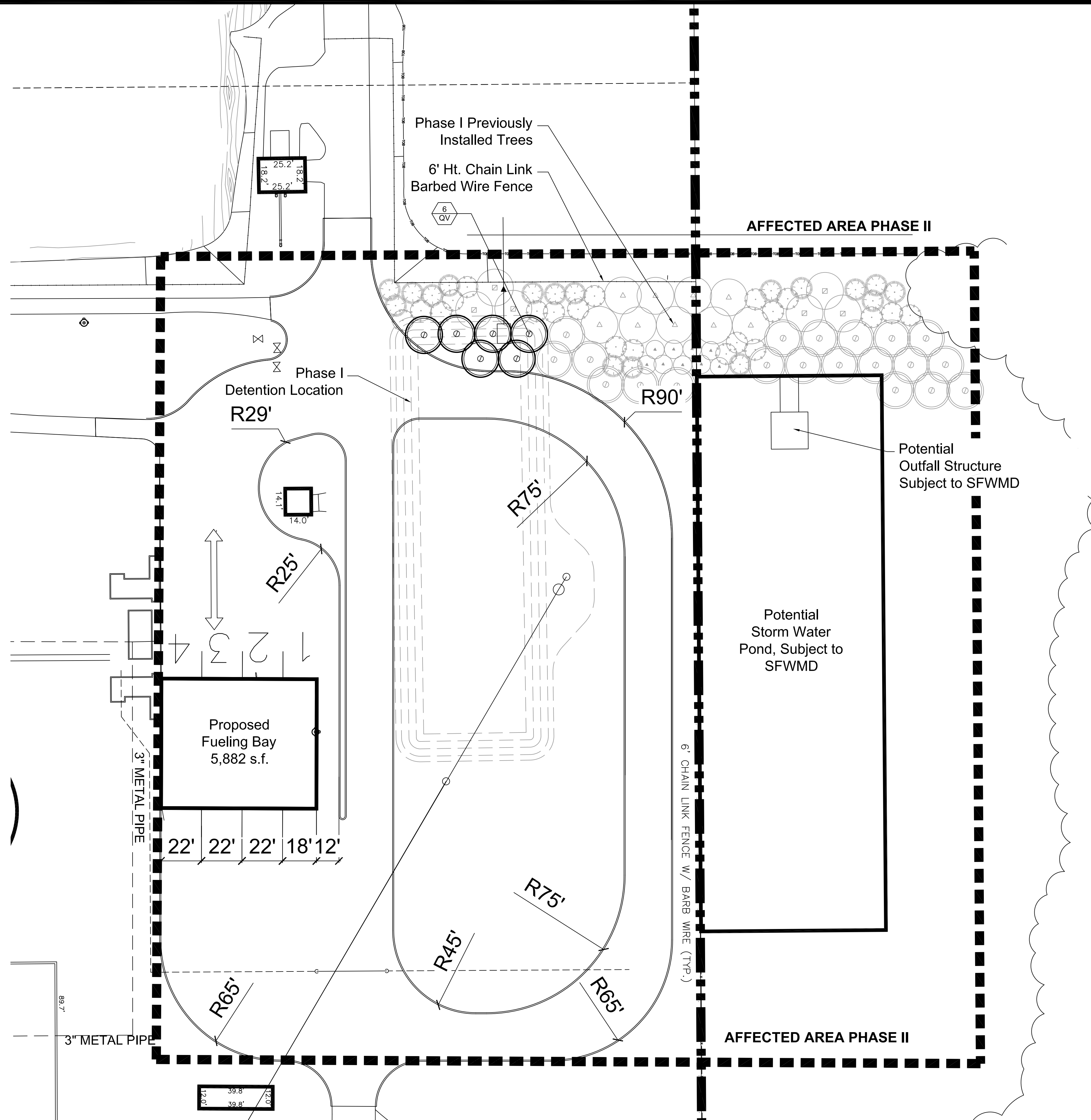


Phase II Plant List

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD
	QV	6	Quercus virginiana / Southern Live Oak Single Straight Trunk, Min. 5' CT.	45 Gal. Min.	2" DBH	15'	7'

Landscape Notes

- All trees must be installed at the Height and DBH indicated on the plant list. Container size is given only as a suggestion.
- All plantings shall be provided with a min. of 3" of pine straw mulch or approved equal.
- Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
- Trees are to be installed with a ten foot (10') separation from any water or sewer main and/ or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements.
- Preserve existing native understory with affected area.
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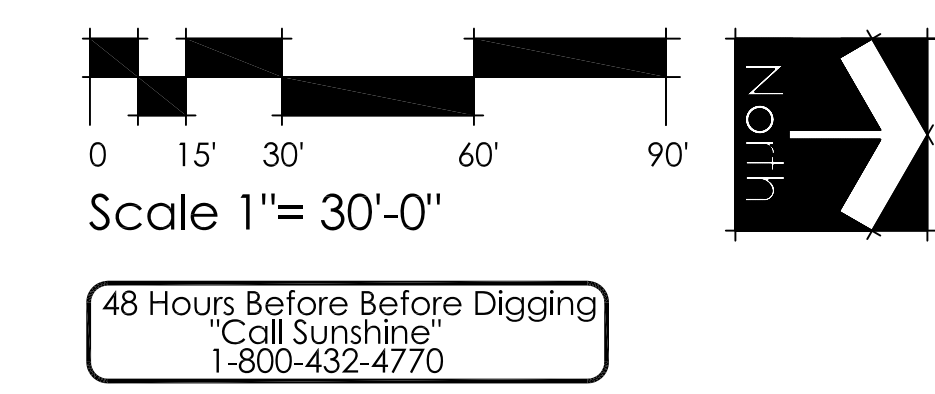
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Printed name
FLORIDA REGISTRATION NO. LA 0001638

Phase II Landscape Plan



Trees, Shrubs and Ground Cover
PART 1 GENERAL

1.01 WORK INCLUDED

- A. Extent of planting work is shown on drawings and in schedules.
- B. Subgrade Excavation, filling and grading required to establish elevations 4" lower than elevations and contours shown on drawings are not specified in this Section.
- C. Finish Grade Elevations: 1 inch below top of pathway edging.

1.02 QUALITY ASSURANCE

- A. Subcontract Landscape work to a single firm specializing in landscape work.
- B. Source Quality Control:
 - 1. General: Ship landscape materials with certificates of inspection required by governing authorities. Comply with regulations applicable to landscape materials.
 - 2. Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, wherever applicable.
 - 3. Trees, Palms and Shrubs: Provide trees, palms and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as decay, knots, sun-scald, injuries, abrasions, discoloration. Provide trees, palms and shrubs for grade needed as outlined under Grades and Standards for Nursery Plants, State Plant Board of Florida, unless otherwise noted.
 - a. Sizes: Provide trees and shrubs of sizes shown or specified. Trees, palms and shrubs of larger size may be used if acceptable to Landscape Architect, and if sizes of roots or balls are increased proportionately.
 - C. Inspection: Landscape Architect reserves right to inspect trees, palms and shrubs either at place of growth or at site before planting, for compliance with requirements for name, variety, size and quality.

1.03 SUBMITTALS

- A. Certification: Submit certificates of inspections as required by governmental authorities, and manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with specified requirements.
- B. Submit seed vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentage by weight, and percentage of purity, germination, and weed seed for each grass seed species.
- C. Planting Schedule: Submit planting schedule showing schedule dates for each type of planting in each area of site.
- D. Maintenance Instructions: Submit typewritten procedures for maintenance of landscape work.

1.04 DELIVERY, STORAGE AND HANDLING

- A. Packaged Materials: Deliver packaged materials in original containers showing weight analysis and name of manufacturer. Protect materials from deterioration during delivery, and while stored at site.
- B. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips.
- C. Trees, palms and shrubs: Provide freshly dug trees, palms and shrubs. Do not prune prior to delivery. Do not bend or bind-tie trees or shrubs in such a manner to damage bark, break branches or destroy natural shape. Provide protective covering during delivery.
- D. Deliver trees, palms and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist.
- E. Do not remove container grown stock from containers until planting time.

1.05 JOB CONDITIONS

- A. Proceed with and complete landscape work as rapidly as portions of site become available.
- B. Utilities: Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
- C. Excavations: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.
- D. Planting Schedule: Where applicable, prepare a proposed planting schedule. Schedule dates to establish a logical sequence for completing each type of landscape work to avoid damage to other landscape work and work performed by other disciplines. Correlate with specified maintenance periods to provide maintenance from date of substantial completion. Once accepted, revise dates only as approved in writing, after documentation of reasons for delay.
- E. Coordination with Lawns: Plant trees, palms and shrubs after final grades are established and prior to planting of lawns, unless otherwise acceptable to Landscape Architect. If planting of trees, palms and shrubs occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.

1.06 SPECIAL PROJECT WARRANTY

- A. Warrant law through specified maintenance period, and until final acceptance. The required period is for one full year following installation of lawn areas.
- B. Warrant trees for a period of one year after date of substantial completion against defects death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond Landscape Contractor's control.
- C. Warrant shrubs for 1 full year after date of substantial completion.
- D. Remove and replace trees, shrubs or other plants found to be dead or in unhealthy condition during warranty period. Make replacements during growth season following end of warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period; unless, in opinion of the Landscape Architect, it is advisable to extend warranty period for a full growing season or for one full year.
 - 1. Another inspection will be conducted at end of extended warranty period, to determine acceptance or rejection. Only one replacement will be required at end of warranty period, except for losses or replacements due to failure to comply with specified requirements.

PART 2 PRODUCTS

2.01 TOPSOIL

- A. If topsoil is not available on site it must be furnished as specified. Throughout all parts of site where finish grades and contour lines differ from existing contour lines, bring to finish grade contours shown on "Grading Plan."
- B. Topsoil shall be friable fertile soil with representative characteristics of area soils. It should be free of heavy clay, silt, stone, extraneous lime, plant roots and other foreign matter greater than 1 1/2" in diameter. It shall not contain noxious plant growth (such as bermuda or nut grass). It shall test in neutral Ph range of 5.0 to 6.75 and contain no toxic substances that can be deemed to impede plant growth. The contractor shall be prepared to have soil lab-tested at his expense by the Landscape Architect. Topsoil shall comply with the following quantitative analysis.

COMPONENTS	VOLUME MEASURE	PARTICLE SIZE
Organic Matter	3 - 5%	
Silt	10 - 30%	0.05 to 0.002 MM
Sand	25 - 75%	0.2 to 0.05 MM
Clay	5 - 25%	0.002 MM and below

2.02 SOIL AMENDMENTS

- If necessary to bring soil into above specified limits:
 - A. Lime: Natural limestone (Dolomite) containing not less than 85% of total carbonates, ground so that not less than 90% passes a 10-mesh sieve and not less than 50% passes a 100-mesh sieve.
 - B. Peat Humus or Peat Moss: Texture, moisture and pH range suitable for intended use.
 - C. Humus Soil Conditioner: Consisting of dry trimmings and biosolids co-compost.
 - D. Commercial Fertilizer: Complete fertilizer of neutral character, with 40% - 50% of the total nitrogen in a water insoluble form. It shall be uniform in composition, dry and free flowing.

- 1. For trees, palms and shrubs, provide fertilizer with not less than 6% available phosphoric acid, 6% nitrogen and 6% soluble potash.
- 2. For lawn areas, provide fertilizer with not less than 6% phosphoric acid, and 6% potassium, and percentage of nitrogen required to provide not less than 1 lb. of actual nitrogen per 1000 square feet of lawn area. Provide nitrogen in a form that will be available to lawn during initial period of growth.

2.03 PLANT MATERIAL

- A. Plant list is part of this specification section.
- B. Quality: Trees, palms, shrubs and other plants shall conform to the standards for Florida No. 1 or better as given in the latest edition of Grades and Standards for Nursery Plants, State Plant Board of Florida.
- C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration for No. 1 graded trees in Grades and Standard for Nursery Plants for type and species required. Provide single stem trees except where special forms are shown or listed. Ball condition variable.
- D. Coniferous and Broadleafed Evergreens: Provide evergreens of size shown or listed. Dimensions indicate minimum height and spread. Provide specified quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown.

2.04 GRASS MATERIALS

- A. Grass Seed: Provide fresh, clean, new-crop seed complying with established tolerance for purity and germination. Provide seed of grass species, proportions and minimum purity level specified. Provide seed of grass species, proportions and minimum purity level specified. Provide seed of grass species, proportions and minimum purity level specified.
- B. Sod: Provide strongly rooted sod free of weeds and undesirable native grasses, capable of growth and development when planted.

2.05 MISCELLANEOUS LANDSCAPE MATERIALS

- A. Ground Cover: Provide plants established and well-rooted in removable containers or internal peat pots and with not less than minimum number and length of runners specified.
- B. Anti-Erosion Mulch: Provide clean, dry, mulching hay or straw of coastal bermuda, pangola or bahia grass. Only undereriated mulch which can be readily cut into the soil shall be used.
- C. Mulch: Melaleuca or equal.
- D. Stakes and Guys: When required provide stakes and deadmen of sound new hardwood, treated softwood, or redwood, free of knot holes and other defects. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire not lighter than 12 ga. with zinc-coated turnbuckles. Provide not less than 1/2" hose, cut to required lengths to protect tree trunks from damage by wires.

PART 3 EXECUTION

3.01 LAYOUT

- A. Layout individual trees and shrub locations and areas for multiple plantings. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as maybe required.

3.02 PREPARATION OF PLANTING SOIL

- A. Before mixing, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth.
- B. Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow placing of planting soil within a few days.
- C. For planting beds, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting.
 - 1. Mix lime with dry soil prior to mixing of fertilizer.
 - 2. Prevent lime from contacting roots of acid-loving plants.
 - D. Remove all shellrock encountered and backfill with clean sand or sand/soil mix.

3.03 PREPARATION FOR PLANTING AREAS (To include Lawn and Planting Bed Areas)

- A. Spread a layer of 2 to 3 inches of humus soil conditioner over the entire planting area. Planting areas shall include all new sod areas, shrub areas and tree areas. These areas shall be as large as 3 times the diameter of the beds of the plants, except where confined by hardscape features such as paved parking areas, paved walk ways, structures, etc. Overlapping areas shall be considered to be one large planting area for the entire mass. The humus soil conditioner shall then be uniformly disked, tilled or aerified into the existing soil to a depth of 6 to 8 inches with the following exception: no rototilling shall occur closer to the trunk of established plants than one half the distance to the dripline of the existing plant canopy. All plants, including hedges and ground cover shall be planted in individually dug holes and the material dug from the holes shall then be further mixed with the prepared site soil prior to backfilling of the planting holes around the rootballs.

3.04 PREPARATION FOR PLANTING LAWNS

- A. Preparation of Unchanged Grades: Where lawns are to be planted in areas that have not been altered or disturbed by excavating, grading, or stripping operations, prepare soil for lawn planting as follows: Till to a depth of not less than 6", apply soil amendments and initial fertilizers; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, free of lumps, clods, stones, roots and other extraneous matter.

- 1. Prior to preparation of unchanged areas, remove existing grass, vegetation and turf. Dispose of such material outside of Owner's property; do not turn over into soil being prepared for lawns.
- B. Elsewhere: Loosen subgrade of lawn areas to a minimum depth of 4". Remove stones over 1 1/2" in any dimension and sticks, roots, rubbish and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.

- 1. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural settlement.
- 2. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil.
- 3. Allow for sod thickness in areas to be sodded.

- C. Grade lawn areas to smooth, even surface with loose, uniformly fine texture. Roll and rake and remove ridges and fill depressions, as required to meet finish grades. Limit fine grading to areas which can be planted immediately after grading.
- D. Moistened prepared lawn areas before planting if soil is dry. Water thoroughly and allow surface moisture to dry before planting lawns. Do not create a muddy soil condition.
- E. Restore lawn areas to specified condition if eroded or otherwise disturbed after fine grading and prior to planting.

3.05 PREPARATION OF PLANTING BEDS

- A. Loosen subgrade of planting bed areas to a minimum depth of 12" using a cultimulcher or similar equipment. Remove stones over 1 1/2" in any dimension, and sticks, stones, rubbish and other extraneous matter. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural settlement. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer, then place remainder of the planting soil. Add soil amendment.

- B. Excavation for Trees and Shrubs: Excavate pits, beds and trenches with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard subsoil in bottom of excavation.
 - 1. For balled and burlapped (B & B trees and shrubs), make excavations at least half again as wide as the ball diameter and equal to the ball depth. For container grown stocks, excavate as specified for balled and burlapped stock, adjusted to size of container width and depth.
- C. Dispose of subsoil removed from landscape excavations. Do not mix with planting soil or use as backfill. Fill excavations for trees and shrubs with water and allow to percolate out before planting.

3.06 PLANTING TREES, PALMS AND SHRUBS

- A. Lay out individual trees, palm and shrub locations and areas for multiple plantings where required. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as may be required.
- B. Set balled and burlapped (B&B) stock on layer of compacted planting soil mixture, plumb and center of pit or trench with top of ball at same elevation as adjacent finished landscape grades. Remove burrap from sides of balls; retain on bottoms. When set, place additional backfill around base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer

- of backfill.
- C. Set container grown stock as specified for balled and burlapped stock, except cut cans on 2 sides with an approved cut cutter; remove bottoms of wooden boxes after partial backfilling so as not to damage root balls.
- D. Dish top of backfill to allow for mulching.
- E. Mulch pits, trenches and planting areas. Provide not less than following thickness of mulch and work into top of backfill and finish level with adjacent finish grades: Provide 3" thickness of mulch.
- F. Guy and stake trees immediately after planting, as indicated.

3.07 PRUNING

- A. All pruning shall be done on the site before planting as directed by Landscape Architect. Pruning shall follow modern horticultural practices (Grades and Standards for Nursery Plants) and shall be done with approved tools designed for the purpose intended. Lopping, topping, or shearing of trees or shrubs will be grounds for rejecting the plants as unsuitable and not meeting requirements. Damaged, scarred, frayed, split, or skinned branches, limbs or roots shall be pruned back to line wood nearest to the next sound outside lateral bud, branch, limb or root. The terminal leader or bud in all trees or shrubs shall be left intact and not removed unless damaged.
- B. Prune, thin out and shape trees and shrubs. Prune trees to retain required height and spread. Unless otherwise directed by Landscape Architect, do not cut tree leaders, and remove only injured or dead branches from flowering trees, if any. Prune shrubs to retain natural character.

3.08 SODDING NEW LAWNS

- A. Lay sod within 24 hours from time of stripping.
- B. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work silted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
- C. Water sod thoroughly with a fine spray immediately after planting.

3.09 MAINTENANCE

- A. Begin maintenance immediately after planting.
- B. Maintain trees, palms, shrubs and other plants until final acceptance but in no case less than following period: 30 days after substantial completion of planting.
- C. Maintain trees, palms, shrubs and other plants by pruning, cultivating and weeding as required for healthy growth. Restore planting saucers, tighten and repair stake and guy supports and reset trees and shrubs to proper grades or vertical position as required. Restore or replace damaged wrappings. Spray as required to keep trees and shrubs free of insects and diseases.
- D. Remove and replace excessively pruned or misformed stock resulting from improper pruning.
- E. Maintain lawns for not less than the period stated below, and longer as required to establish an acceptable lawn.
 - 1. Sodded lawns, not less than 30 days after substantial completion.
 - 2. Seeded lawns, not less than 60 days after substantial completion.

F. Maintain lawns by watering, fertilizing, weeding, mowing, trimming, and other operations such as rolling, regrading and replanting as required to establish a smooth, acceptable lawn, free of eroded or bare areas.

- G. Landscape Contractor is responsible for watering all sod and plant materials from day of final acceptance even if irrigation is not in place, unless this responsibility is assumed in writing by another party.
- H. Landscape Contractor is to maintain the site weed-free until acceptance by the Owner.

3.10 CLEANUP AND PROTECTION

- A. During landscape work, keep pavement clean and work area in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other contractors and trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed.

3.11 INSPECTION AND ACCEPTANCE

- A. When landscape work is completed, including maintenance, Landscape Architect will, upon request, make an inspection to determine acceptability. Landscape work may be inspected for acceptance in parts agreeable to Landscape Architect, provided where confined by hardscape features such as paved parking areas, paved walk ways, structures, etc. Overlapping areas shall be considered to be one large planting area for the entire mass. The humus soil conditioner shall then be uniformly disked, tilled or aerified into the existing soil to a depth of 6 to 8 inches with the following exception: no rototilling shall occur closer to the trunk of established plants than one half the distance to the dripline of the existing plant canopy. All plants, including hedges and ground cover shall be planted in individually dug holes and the material dug from the holes shall then be further mixed with the prepared site soil prior to backfilling of the planting holes around the rootballs.
- B. Sodded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, uniform close stand of specified grass is established, free of weeds, bare spots and surface irregularities (95% coverage required for acceptance).
- C. Sodded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, well-rooted, even-colored, viable lawn is established, free of weeds, open joints and bare areas (95% coverage required for acceptance). Where inspected landscape work does not comply with requirements, reject work and continue specified maintenance until reinspected by Landscape Architect and found to be acceptable. Remove rejected plants and materials promptly from project site.

3.12 IRRIGATION

- A. An automatic irrigation system providing 100% coverage with 50% overlap is to be provided.
- B. A rain sensor is required on all Irrigation Systems.
- C. Provide an as built drawing of the irrigation system to the Landscape Architect.

LANDSCAPE NOTES

GENERAL

- 1. All proposed material shall be Florida No. 1 or better as set forth in "Grades & Standards for Nursery Plants," Florida Dept. of Agriculture, 2nd Edition 2/98. No deviations will be permitted.
- 2. By submitting a bid, the landscape contractor is responsible for providing the material specified on the plans. No substitutions will be accepted without prior written approval and acceptance by the Owner or his representative, or Landscape Architect.
- 3. Materials to be hand-selected at the discretion of the Owner or his representative, or Landscape Architect.
- 4. All work shall proceed in a professional manner in accordance with standard nursery and installation practices.
- 5. Quantities on plant list are for convenience only. Landscape Contractor is responsible for all plants shown on planting plans. When discrepancies occur between plant list and planting plans, the plans are to override the plant list in all cases. Contractor is responsible for confirming sod quantities and certifying such to the Owner or his representative.
- 6. Contractor is responsible for locating all underground utilities prior to digging. Notify the Owner or his representative, or the Landscape Architect immediately regarding discrepancies or conflicts.
- 7. Landscape Contractor to notify the Owner or his representative, or Landscape Architect at least three (3) working days prior to beginning any stage of work.
- 8. Owner or Landscape Architect to be immediately notified of any discrepancies found in field.
- 9. The Owner or his representative, or Landscape Architect reserve the right to field adjust plant material on-site to avoid conflicts or discrepancies not anticipated in the planning process.
- 10. Existing plant material to be removed, except as noted.

TREES & PALMS

- 1. All trees, new and relocated, to be staked and guyed as detailed.
- 2. No double or multi-trunk trees unless otherwise specified.
- 3. Face of trees and palms to be located a minimum of 2' off all sidewalks/bike paths and other paved surfaces, unless otherwise noted on plans.
- 4. Root suckers on Live Oaks are not acceptable.
- 5. All trees falling within graded areas to have a 3" mulch ring with no more than 1" of mulch directly adjacent to the trunk of the tree. Min. 3' radius mulch ring to be provided.

PLANTING BEDS

- 1. Groundcover and shrubs to be laid out in a uniform and consistent pattern.
- 2. All planting beds to receive 3" deep shredded mulch per specifications.
- 3. Landscape Contractor is responsible for verifying that clean top soil, meeting the attached specifications, exists in each planting bed prior to planting. Contractor shall add or amend top soil if necessary. Tree pits shall be backfilled as noted in attached specifications. Excavate all shrub and groundcover beds as specified and backfill with planting soil per specifications.
- 4. All existing asphalt base material to be removed from planting areas and replaced with clean top soil prior to planting. Final grade within planting areas to be 2" below adjacent paved areas or top of curb.

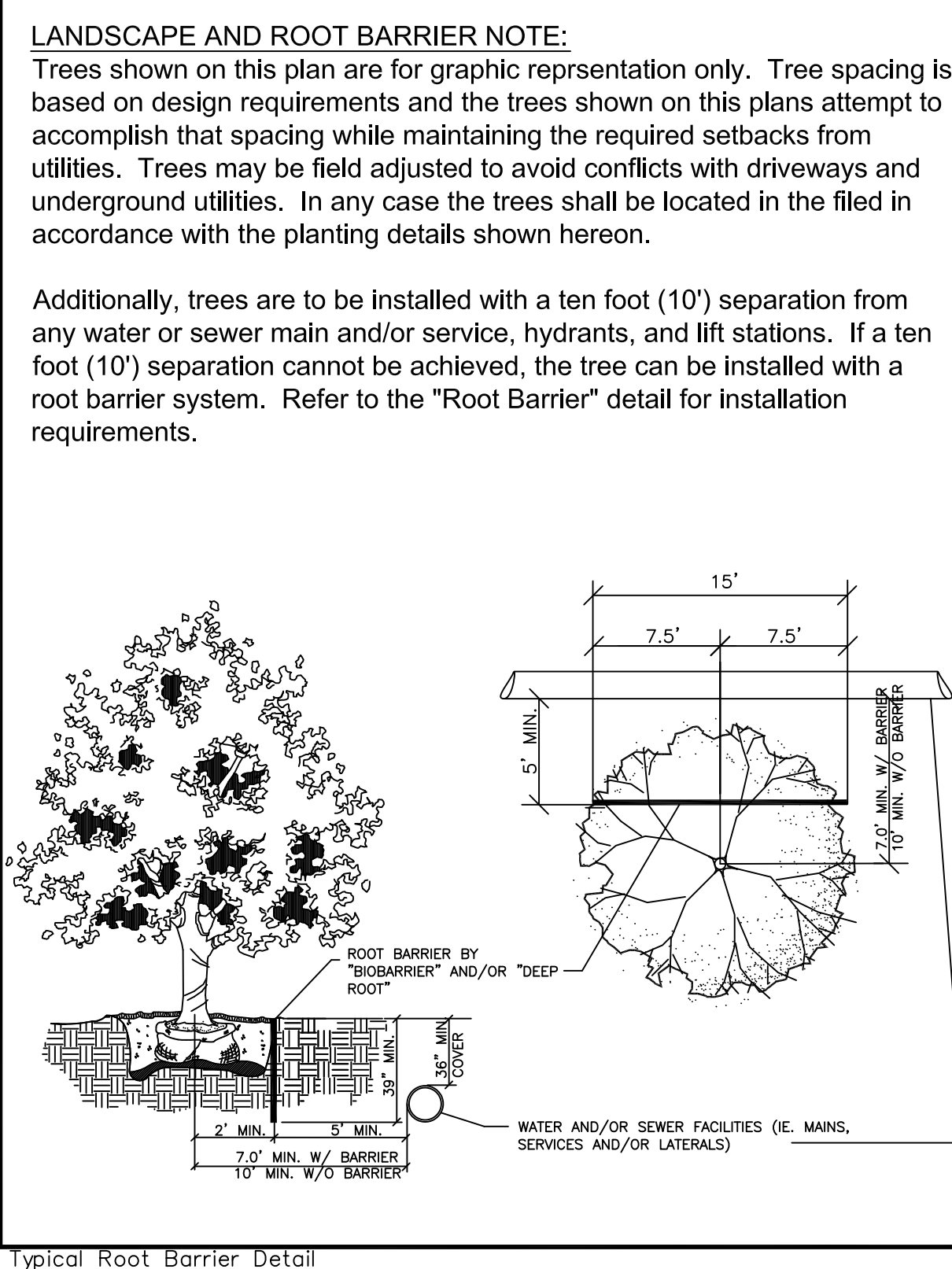
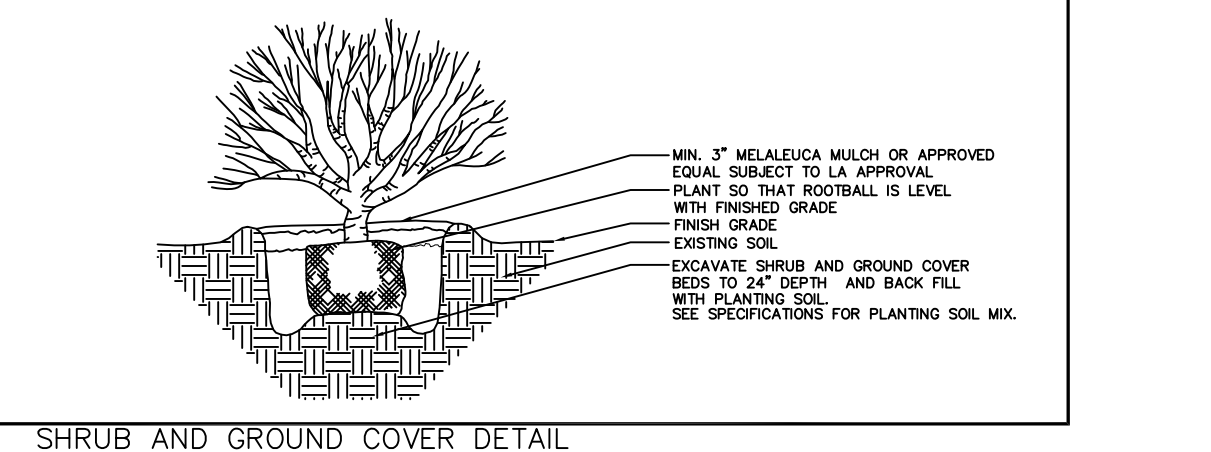
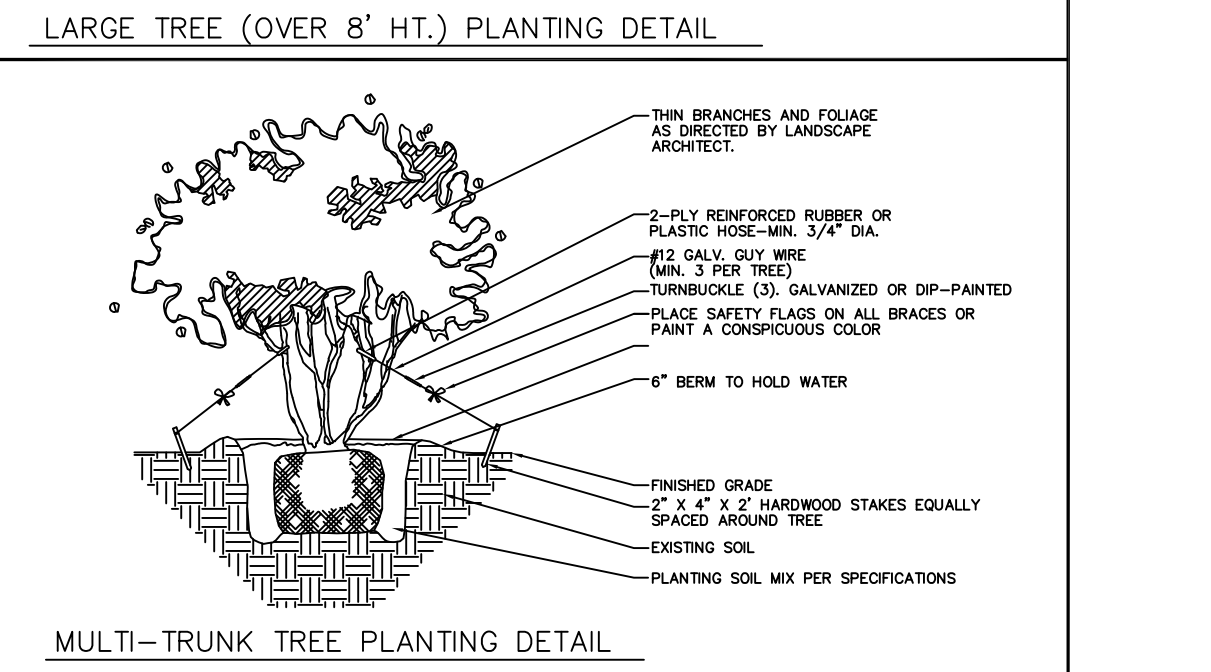
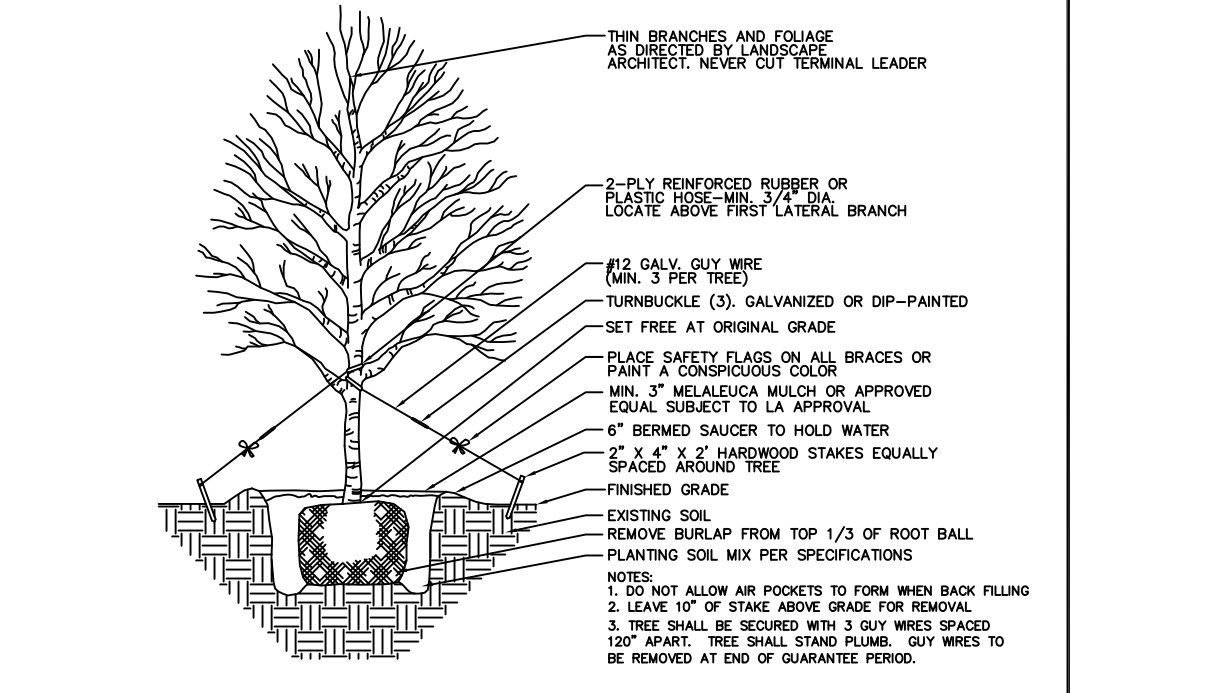
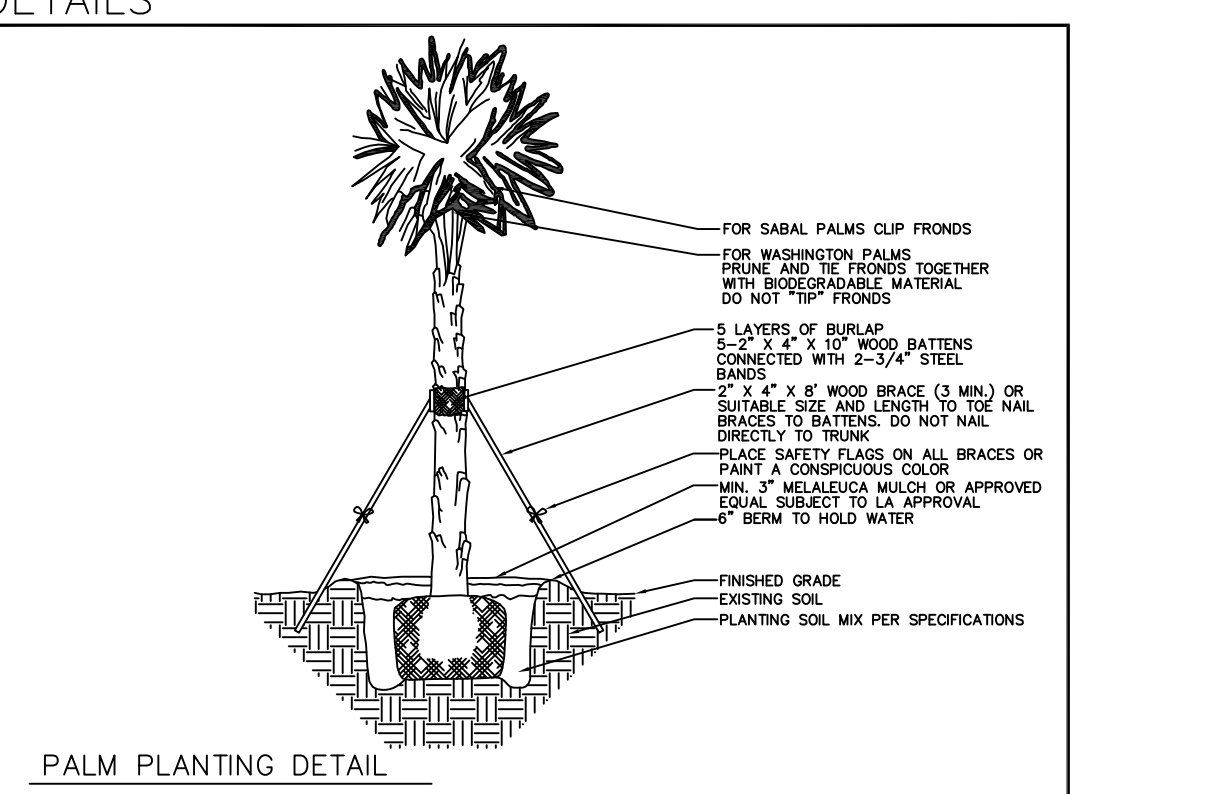
SOD

- 1. Landscape Contractor is responsible for replacing any damaged sod.
- 2. All sod areas to receive a 3" top dressing of soil per specifications.

IRRIGATION

- 1. All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing 100% coverage, and a rain sensor per attached plans. No landscape installation shall occur until the irrigation system is operational, unless approval is granted by Owner or his representative, or Landscape Architect.

DETAILS



Additionally, trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements.

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FPL Petroleum Storage Facility
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Landscape Specs.
LP-3 of 3

RESOLUTION NO. R-74-334

RESOLUTION APPROVING DEVELOPMENT OF REGIONAL IMPACT

WHEREAS, the Board of County Commissioners, as the governing body, pursuant to the authority vested in Chapter 163 and Chapter 125, Florida Statutes, and Chapter 70-863, Laws of Florida, Special Acts of 1970, is authorized and empowered to consider petitions relating to zoning; and

WHEREAS, the Board of County Commissioners, as the governing body of local government having jurisdiction, pursuant to Chapter 380.031 and Chapter 380.06, Florida Statutes, is authorized and empowered to consider applications for development approval of developments of regional impact; and

WHEREAS, the notice and hearing requirements as provided for in Chapter 402.5 of the Palm Beach County Zoning Code Ordinance No. 73-2 and Chapter 380.06 (7) have been satisfied; and

WHEREAS, Petition No. DRI-74-1 was presented to the Board of County Commissioners of Palm Beach County at its public hearing conducted on 25 April 1974.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF PALM BEACH COUNTY, FLORIDA, assembled in regular session this 25th day of April, 1974, that Petition No. DRI-74-1 by Florida Power and Light Company for development approval of a development of regional impact of a parcel of land lying and being in Section 31, Township 42 South, Range 43 East, more particularly described as follows: all that portion of Section 31, Township 42 South, Range 43 East, lying South of the Southerly right-of-way line of the Seaboard Airline Railroad, less the South 300.00 feet thereof for the Florida Power and Light Company fee property and less the right-of-way for the Central and Southern Florida Flood Control District Canal C-17, and also less the North 120.00 feet of the South 420.00 feet thereof, lying West of Canal C-17 for the Northern Palm Beach County Water

1974 0507
Bulk Oil Storage

Control District right-of-way, and more particularly described as follows, to-wit: commencing at the Southwest corner of Section 31, Township 42 South, Range 43 East; thence North 0° 24' 03" East along the West line of said Section 31 (the West line of said Section 31 is assumed to bear North 0° 24' 03" East and all other bearings are related thereto) a distance of 420.00 feet to a point in a line 420.00 feet North of and parallel with the South line of said Section 31 and the Point of Beginning; thence continue North 0° 24' 03" East along the said West line of Section 31, a distance of 2265.90 feet to the West one quarter section corner of said Section 31; thence North 0° 13' 30" West along the West line of said Section 31, a distance of 450.99 feet to a point in the Southerly right-of-way line of the Seaboard Airline Railroad; thence South 55° 37' 06" East along the said Southerly right-of-way line, a distance of 1452.57 feet to a point of intersection with the proposed centerline of State Road No. 9; thence South 21° 41' 47" East, along the said proposed centerline of State Road No. 9, a distance of 2046.72 feet to a point in a line 420.00 feet North of and parallel with the South line of said Section 31; thence North 89° 50' 59" West, along said line parallel with the South line of Section 31, a distance of 1969.41 feet to the Point of Beginning, less the right-of-way for Interstate 95 (State Road No. 9), located at the southwest corner of the intersection of Interstate 95 (S.R. No. 9) and the Seaboard Airline Railroad in an IL-Light Industrial District, containing approximately 71 acres, was approved as advertised, subject to the following special conditions:

- 1) The petitioner shall provide a mechanical arm for offloading in the Port of Palm Beach;
- 2) The petitioner shall provide a twelve hundred (1200) foot floating boom that could encircle an oil tanker in the Port of Palm Beach;
- 3) The petitioner shall provide the needed skimming equipment and barge floating tanks in the Port of Palm Beach;

- 4) The petitioner shall arrange with the United States Coast Guard, or other Port boats such as the Port tugs, to deploy and maneuver the boom and test the oil spill plan by simulation on an annual basis;
- 5) The petitioner shall provide revetments to hold all the oil from the two (2) proposed tanks in case of simultaneous destruction;
- 6) The petitioner shall install automatic shut off valves on both sides of the canals in areas where breaks in the lines could pollute waterways. The automatic shut off valves are to be tested on an annual basis;
- 7) The petitioner shall provide on-site security protection at the tank farm;
- 8) The petitioner shall provide on-site fire fighting equipment or an area with the trained manpower to fight an oil fire of the proposed capacity;
- 9) The petitioner shall provide proper vegetation and screening for the site;
- 10) The petitioner shall take the necessary precautions to protect the area ground water supplies from seepage or leakage into the C-17 Canal by means of treatment of soil and banks to render seepage unlikely;
- 11) The petitioner shall preserve the northern vacant area of the property in question as a buffer with landscaping;
- 12) The pipeline between the Port of Palm Beach and the subject site and the pipeline from the subject site to the Martin County line shall be buried at a minimum depth of three (3) to four (4) feet below the surface;
- 13) The petitioner shall provide fire protection equipment at the Port of Palm Beach and tank farm site as approved by the District Fire Chief;
- 14) The storage tanks shall solely pertain to the storage of #6 oil;

- 15) All the stated conditions shall be completed prior to filling of the pipelines and tanks with #6 oil;
- 16) In the event a third tank is required at some future date, a Special Exception application shall be filed with the Planning, Zoning and Building Department and be subject to Planning Commission and County Commission approval.

BE IT FURTHER RESOLVED that a copy of this resolution (Development Order) shall be transmitted to the State Land Planning Agency, the owner or developer (petitioner) and a courtesy copy furnished to the South Florida Regional Planning Council.

The foregoing resolution was offered by Commissioner Warren , who moved its adoption. The motion was seconded by Commissioner Weaver , and upon being put to a vote, the vote was as follows:


Robert F. Culpepper	- Aye
E. W. Weaver	- Aye
Robert C. Johnson	- Aye
George V. Warren	- Aye
Lake Lytal	- Aye

The Chairman thereupon declared the resolution duly passed and adopted this 7th day of May , 1974, confirming action of 25 April 1974.

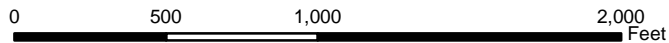
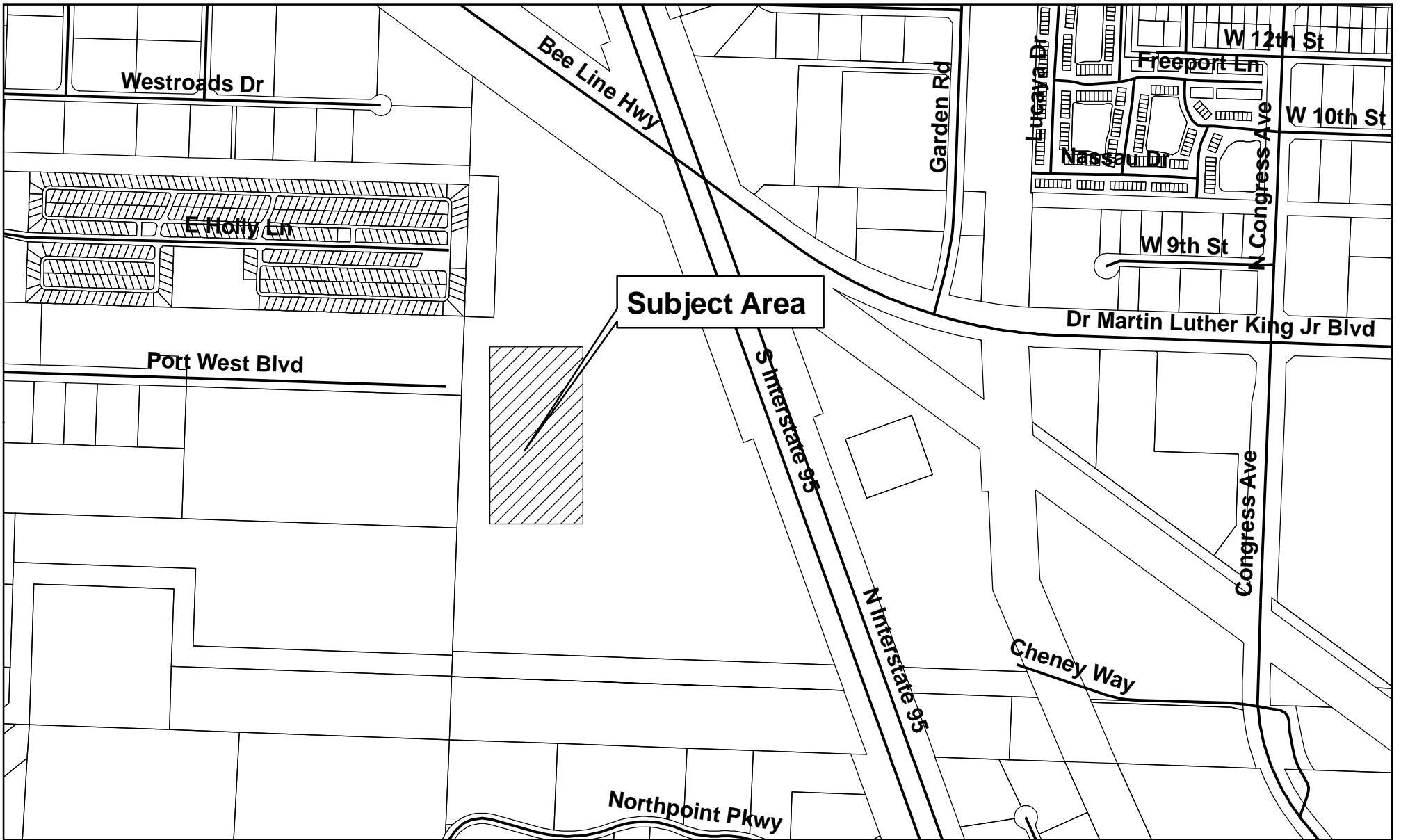
PALM BEACH COUNTY, FLORIDA
BY ITS BOARD OF COUNTY
COMMISSIONERS

JOHN B. DUNKLE, Clerk

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY



Michael B. Small
County Attorney

By 
Deputy Clerk



**FPL NOPC
Fleet Fueling
2400 Port West Blvd
Riviera Beach, FL**



 Subject Area

STAFF REPORT
Case No. SP-14-01
CITY OF RIVIERA BEACH

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING AN AMENDMENT TO A SITE PLAN ORIGINALLY APPROVED OCTOBER 2002 FOR 122,725 SQUARE FEET OF INDUSTRIAL OFFICE AND WAREHOUSE FACILITY FOR THE NEW CITY OF RIVIERA BEACH PUBLIC SERVICE COMPLEX TO HOUSE FIRE, POLICE AND PUBLIC WORKS DEPARTMENTS; AND PROVIDING FOR AN EFFECTIVE DATE.

A. Applicant: City of Riviera Beach

B. Request: The applicant is requesting an amendment to a Site Plan to convert an existing industrial office and warehouse property to the City's New Public Service Complex for Police, Fire and Public Works Departments.

C. Location: 1481 West 15th Street.

D. Property Description and Uses: The subject property description and uses are as follows:

Size: 13.3 acres

Existing Use: Industrial office and warehouse.

Future Land Use: Industrial

Zoning: General Industrial (IG)

E. Adjacent Property Description and Uses: The adjacent uses are as follows:

North: United Parcel Service (UPS), Industrial land use, and General Industrial zoning classification (IG)

South: Industrial Condo with Various Industrial businesses, Industrial land use, and General Industrial zoning classification (IG)

East: Trucking Distribution warehouse and Storage, Industrial land use, and General Industrial zoning classification (IG)

West: Directly west of the property is a 60 foot wide drainage canal. Located across the canal is single family residential, Single Family Residential land use, and Residential zoning classification (RS-6, RS-8).

F. Background: the property was originally built and developed for Gulf Stream Lumber in 2004, but due to the economy Gulf Stream pulled out of the facility and sold it to Global Energy United (GEU) who planned to use the location for a solar power manufacturing plant. The plant was not built and GEU leased the property to Zachry Construction Corporation, which is constructing the new Florida Power and Light Energy Center located in the City east of US 1 Broadway south of the Port of

Palm Beach. The City purchased the property November 7, 2012 by Resolution 128-12 for 6.6 million dollars. The City intends to renovate the existing Industrial office and warehouse facility to replace the aging City facilities for Police, Fire and Public Works, and to construct a new Emergency Operations Center (EOC). After the approval of the purchase the City then approved an amendment to the City's Capital Improvement Plan on January 2, 2013 by Ordinance 4022 to include the cost of the purchase and renovations for 13 million dollars to the proposed Public Service Complex.

G. Proposed Development/Use: The City is requesting an amendment to an existing Industrial office and warehouse site consisting of 16.3 acres to modify the property and existing buildings for new Police, Fire and Public Works departments, and to construct a new Emergency Operations Center. The main building is 122,725 square feet and will be converted to the new Police Facility, Fire Station with offices, and EOC. The buildings located to the southeast side of the property will be converted to the new Public Works offices, maintenance bays and storage. The entire site will be fenced and gated with limited access. Public parking areas are located on the south side of the property and parallel parking along Avenue R on the west side of the property.

H. Staff Analysis:

Proposed Use: The proposed amendment to the site plan is consistent with the City's Land Development Regulations.

Comprehensive Plan: The proposed site plan amendment is consistent with the proposed City's Comprehensive Plan Amendment.

Compatibility: The proposed project is compatible with the surrounding parcels and uses.

Levels of Service: City services such as water, sewer and paved roads are currently available for the development.

Landscaping: The proposed landscape plan is compatible with the City's Land Development Code.

Parking/Traffic: Adequate parking has been provided in accordance with the City of Riviera Beach Land Development regulations.

I. Recommendation:

Staff recommends approval of the proposed site plan amendment from an existing Industrial office and warehouse site consisting of 16.3 acres to a renovated complex to accommodate new Police, Fire and Public works departments.

1. Construction must be initiated within 18 months of the effective date of this resolution in accordance with Section 31-60(a), of the City Code of Ordinances.
2. Palm Beach County Traffic Engineering suggests the City provide an exclusive West Bound Left turn lane at the intersection of Congress Ave and 13th Street and exclusive East Bound Right turn lane at the intersection of Australian Ave and 13th Street (see attached letter).

3. Staff recommends a vegetative buffer be installed on the Westside of Avenue R to reduce noise and traffic impacts to residents west of the canal.

The project was noticed in the Palm Beach Post February 10th, notices were sent to property owners within 500 feet of the facility and signs were posted at the property's north, south and west sides.



**Department of Engineering
and Public Works**

P.O. Box 21229

West Palm Beach, FL 33416-1229

(561) 684-4000

FAX: (561) 684-4050

www.pbcgov.com

**Palm Beach County
Board of County
Commissioners**

Steven L. Abrams, Mayor

Priscilla A. Taylor, Vice Mayor

Hal R. Valeche

Paulette Burdick

Shelley Vana

Mary Lou Berger

Jess R. Santamaria

County Administrator

Robert Weisman

January 27, 2014

Mr. Jeff Gagnon
Planning & Zoning Administrator
City of Riviera Beach
600 W. Blue Heron Boulevard
Riviera Beach, FL 33404

**RE: Public Safety & Public Works Complex
Project #: 140111
TRAFFIC PERFORMANCE STANDARDS REVIEW**

Dear Jeff:

The Palm Beach County Traffic Division has reviewed the traffic study for the proposed government office project entitled; **Public Safety & Public Works Complex**, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Land Development Code. The project is summarized as follows:

Location: South of Blue Heron Boulevard, east of Avenue R, north of 13th Street.
Municipality: Riviera Beach
PCN #: 56-43-42-29-55-003-0010, 56-43-42-29-55-004-0010.
Existing Uses: 20,000 SF Building Materials Store and 69,500 SF Warehouse – to be demolished.
Proposed Uses: 151,495 SF Government Offices.
New Daily Trips: 3,104
New PH Trips: 265 AM and 342 PM
Build-Out: End of Year 2018

Based on our review, the Traffic Division has determined the proposed government office project meets the Traffic Performance Standards of Palm Beach County. The following reviews for addition of exclusive intersection turn-lanes with significant project peak hour demand are suggested:

- Exclusive WBL turn lane at the intersection of Congress Avenue/13th Street.
- Exclusive EBR turn lane at the intersection of Australian Avenue/13th Street.

No building permits are to be issued by the City after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance. If you have any questions regarding this determination, please contact me at 684-4030 or send me an e-mail to matefi@pbcgov.org.

Sincerely,

Masoud Atefi, MSCE
TPS Administrator, Municipalities - Traffic Engineering Division

MA:sf

ec: Bryan Kelley PE., - Simmons & White
Bogdan Piorkowski PE., - Sr. Professional Engineer – PBC Traffic Division
Steve Bohovsky, Technical Assistant III, Traffic Division

File General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\ma\Admin\Approvals\2014\140111.doc

RECEIVED

FEB - 3 2014

COMMUNITY DEVELOPMENT
DEPARTMENT

"An Equal Opportunity
Affirmative Action Employer"

enter. Min 3 yrs. exp. Pro- aspects of billing, Excel in coding, W/PB location. MHays@mri-imaging.com

ER FT for BUSY Retinal. Must have EXPERIENCE of all types of ins. Incl: retinal, patient acct's & work-payers. Handle all corre- spondence to ins. Contracting/ins. plans. Knowledge of Ophth. exp pref. Email spabbly.com

etail/ s Dev

Marketing Co for BBB. Reps. No exp necessary. All leads provided. yr. No nites/weekends. 0-1333 ext. 460. Email il.com

ENERATION SENTATIVE BEACH POST

I be responsible for developing new re- creating business needs. Leads to the appro-

ks primarily on the rd calling as well as calls on our toll free also leverage social media and on-site B2B business opportuni-

de but are not lim- degree from a four- ersity, preferably in ersity or Communica- work experience. with a CRM tool is a rience with a PC or spread word process- spreadsheet skills

our resume to. @gmail.com

MARKETING AND PROMOTIONS

ing for 2-3 motivated sales reps e upwards of \$500+ a week or to door. Money motivated als are encouraged to call!

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You have goals. We have solutions.

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- Research

Let's talk soon. **561-820-4300**

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The Palm Beach Post

Conference Room 1E/1F located at 12300 Forest Hill Boulevard, Wellington, FL 33414. FOR INFORMATION For information on this Request for Proposal, contact Ed De La Vega in the Purchasing Division, (561) 791-4055. **ACCEPTANCE AND REJECTIONS** Wellington reserves the right to reject any or all proposals with or without cause, to waive any or all irregularities with regard to the specifications and to make the award to the firm offering the greatest advantage to the Wellington. PUB: The Palm Beach Post 2-10/2014 #199163

NOTICE OF ACTION BEFORE THE BOARD OF Massage Therapy IN RE: The license to Massage Therapy of Guozhen Shang, LMT, 2202 N. Federal Highway Boca Raton, Florida 33431. CASE NO.: 2012-13667. LICENSE NO.: MA61841

The Department of Health has filed an Administrative Complaint against you, a copy of which may be obtained by contacting Candace A. Rochester, Assistant General Counsel, Prosecution Services Unit, 4052 Bald Cypress Way, Bin #C65, Tallahassee Florida 32399-3265, (850) 245-4444.

If no contact has been made by you concerning the above by February 10, 2014, the matter of the Administrative Complaint will be presented at an ensuing meeting of the Board of Massage Therapy in an informal proceeding. In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the individual or agency sending this notice not later than seven days prior to the proceeding at the address given on the notice. Telephone: (850) 245-4444, 1-800-955-8771 (TDD) or 1-800-955-8770 (V), via Florida Relay Service. PUB: The Palm Beach Post 1-20-1-27-2-3-2-10/2014 #186792

PUBLIC HEARING NOTICE DEVELOPMENT OF REGIONAL IMPACT DRI-74-1 NOTICE OF PROPOSED CHANGE TO THE FPL SITE LOCATED AT 2400 PORT WEST BLVD CITY OF RIVIERA BEACH, FLORIDA

The Planning and Zoning Board will conduct a public hearing on Thursday, February 27, 2014 at 6:30 PM or soon thereafter, and from time to time thereafter as necessary, in the Council Chambers at the Municipal Complex, 600 West Blue Heron Blvd., Riviera Beach.

Background material is available for review in its entirety in the Community Development Department between the hours of 8:30 AM and 5:00 PM, except holidays. **PLEASE TAKE NOTICE AND BE ADVISED**, that if any interested person desires to appeal any decision made by the City Council with respect to any matter considered at the meetings, such interested person, at their own

this meeting or hearing, he or she will need to ensure that a verbatim record of the proceedings is made, which record should include the testimony and evidence upon which the appeal is to be based. The Village of Royal Palm Beach does not provide such a record. PUB: The Palm Beach Post 2-10/2014 #199153

PUBLIC NOTICE COMPREHENSIVE PLAN AMENDMENT FUTURE LAND USE CHANGE FROM INDUSTRIAL TO COMMUNITY FACILITY AND ZONING FROM GENERAL INDUSTRIAL TO COMMUNITY FACILITY FOR THE CITY OF RIVIERA BEACH PUBLIC SERVICE COMPLEX TO BE LOCATED AT 1481 W. 15TH ST CITY OF RIVIERA BEACH, FLORIDA

The Planning and Zoning Board will conduct a public hearing on Thursday, February 27, 2014 at 6:30 PM or soon thereafter, and from time to time thereafter as necessary, in the Council Chambers at the Municipal Complex, 600 West Blue Heron Blvd., Riviera Beach.

Background material is available for review in its entirety in the Community Development Department between the hours of 8:30 AM and 5:00 PM, except holidays.

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision made by the Board or Council with respect to any matter considered at the meetings, such interested person, at own expense, will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodations should contact the Legislative Aide at 561-845-4095 no later than 96 hours prior to the proceedings. If hearing impaired, telephone the Florida Relay Services 1-800-955-8771 (TDD) or 1-800-955-8770 (Voice) for assistance. PUB: The Palm Beach Post 2-10/2014 #199417

TOWN OF LOXAHATCHEE GROVES NOTICE OF PUBLIC HEARING FOR CHANGES TO TOWN UNIFIED LAND DEVELOPMENT CODE

The Town Council for the Town of Loxahatchee Groves proposes to adopt the following Ordinance, No. 2013-011:

ORDINANCE NO. 2013-11 AN ORDINANCE OF THE TOWN OF LOXAHATCHEE GROVES, FLORIDA, RELATING TO HISTORICAL LEGACY USES AND APPROVALS; AMENDING THE TOWN OF LOXAHATCHEE GROVES UNIFIED LAND DEVELOPMENT CODE (ULDC), TO AMEND SECTION 75-035, ENTITLED "USES AS OF OCTOBER 1,

St. Lucie, Florida, Suite 217, Port at least 7 days before the scheduled upon receiving notice immediately time before the scheduled appearance if the is less than 7 days before the hearing or voice impaired, you are hearing PUB: The Palm Beach Post 2-10/2014 #19505

IN THE CIRCUIT COURT OF THE NINETEENTH JUDICIAL CIRCUIT IN AND FOR ST. LUCIE COUNTY, FLORIDA CIVIL ACTION CASE NO.: 56-2013-CA-002721

DIVISION: JPMORGAN CHASE BANK NATIONAL ASSOCIATION, SUCCESSOR IN INTEREST BY PURCHASE FROM THE FEDERAL DEPOSIT INSURANCE CORPORATION AS RECEIVER OF WASHINGTON MUTUAL BANK F/K/A WASHINGTON MUTUAL BANK, FA, Plaintiff, vs. **BARBARA R. KING, et al,** Defendant(s).

NOTICE OF ACTION

To: PERRY KING
Last Known Address:
145 S.E. Silky Ct

High Springs, FL 32643

Current Address: Unknown

ANY AND ALL UNKNOWN PARTIES CLAIMING BY, THROUGH, UNDER, AND AGAINST THE HEREIN NAMED INDIVIDUAL DEFENDANT(S) WHO ARE NOT KNOWN TO BE DEAD OR ALIVE WHETHER SAID UNKNOWN PARTIES MAY CLAIM AN INTEREST AS SPOUSES, HEIRS, DEVISEES, GRANTEEES, OR OTHER CLAIMANTS

Last Known Address: Unknown

Current Address: Unknown

YOU ARE NOTIFIED that an action to foreclose a mortgage on the following property in St. Lucie County, Florida, LOT 5, BLOCK 1377, PORT ST. LUCIE SECTION FOURTEEN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 13, PAGES 5, 5A THROUGH 5H, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. A/K/A 1432 SW MELROSE AVE., PORT SAINT LUCIE, FL 34953

has been filed against you and you are required to serve a copy of your written defenses within 30 days after the first publication. If any, on Albertelli Law, Plaintiff's attorney, whose address is P.O. Box 23028, Tampa, FL 33623, and file the original with this court either before March 10, 2014, service on Plaintiff's attorney, or immediately thereafter; otherwise, a default will be entered against you for the relief demanded in the Complaint or petition.

This notice shall be published once a week for two consecutive weeks in the The Palm Beach Post.

WITNESS my hand and the seal of this court on this 25th day of November, 2013.

Clerk of the Circuit Court
By: B Caqbridge

CLASS ACTION SUIT

Use source Place a ad The Palm 24-hour seven day Phc 561-82 or v Palm Beach online. W forward to from y

The Palm B Palm Beach



Legals

yment

**Sales/Retail/
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for Country Club community located in Palm Beach. New Home sales experience required. Please fax resume to 1-800-730-0874 EOE

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Sales

9 state Manufacturers Rep Firm seeks South Florida a sales person to call on major OEM customers. Salary, Earned Bonus- and full benefits included. Technical "RF" background required. Send resume: Sales@EMARep.com

Sales

9 state Manufacturers Rep Firm seeks South Florida a sales person to call on major OEM customers. Salary, Earned Bonus- and full benefits included. Technical "RF" background required. Send resume: Sales@EMARep.com

SALESPERSON

A rapidly growing commercial roofing contractor is looking for a Salesperson with exp selling commercial re-roofing, roof coating, & roofing repairs & maintenance. The ideal candidate will have a proven track record of developing a customer base in the South Florida market. Candidate must have exp estimating & quoting all types of commercial roofing systems applicable to the So. Florida Market. Salary commensurate with prior exp & industry knowledge. Basic computer skills required incl: MS Outlook, Word, Excel. Knowledge of marketing software (ACTS, or comparable) is a plus. Bilingual (Spanish & English) is a strong +. Please email your resume to: 408468@pbapply.com

**Security/Protective
Services**

POLICE OFFICER
City of West Palm Beach
Details online at www.wpb.org/career/job-opportunities/DFWP/EOE

POLICE OFFICERS
Town of Juno Beach
Apply: www.juno-beach.fl.us

Other Employment

CALL CENTER REPS
mediate openings \$8-\$11/hr + Bonus.
Full & Part time - 3 shifts available.
ike Worth location. Call: 561-649-4274

MINORIAL / MAINTENANCE PERSON
5 yrs exp. for cond...

Legal Notices

FIRST INSERTION NOTICE OF PUBLIC SALE OF PERSONAL PROPERTY BY HJH. PROPERTIES LLC
Notice is hereby given that household and miscellaneous items stored at 2640 Lake Shore Drive unit 2108 Riviera Beach FL 33404 will be sold by competitive bidding in their entirety to the highest bidder. The auction will be held February 24, 2014. The contents may be inspected starting at 9am. The auction will commence at 11am. The contents consist of living, dining kitchen and bedroom(2) general household and miscellaneous items. The terms of sale will be cash only and must be paid for at the time of the sale. All goods are sold as is. All contents must be removed in 48 hours or sooner. HJH Properties reserves the right to modify the contents auctioned. Call 561-319-8162 to receive an inventory list. PUB: The Palm Beach Post 2-10/2014 #199535

**INVITATION TO BID
REPAIRS AND EMERGENCY SERVICES
FOR WATER DISTRIBUTION,
WASTEWATER COLLECTION AND
STORM WATER UTILITY SYSTEMS**
BID No.: 026-2821-14/JMA

Sealed Bids will be received by PROCUREMENT SERVICES, City of Boynton Beach, 100 E. Boynton Beach Boulevard, or mail to P.O. Box 310, Boynton Beach, Florida 33425-0310. All Bids are due by MARCH 20, 2014, no later than 2:30 P.M. (Local Time). REASON FOR BID: The City of Boynton Beach is seeking a maximum of two qualified contractors to demonstrate specific experience in utility system general repairs and emergency services. The contractor shall furnish, install and provide all labor and materials to complete repairs to the City's utility systems. The Scope of Work will be performed on an "As Needed Basis" based on the established bid pricing.

MANDATORY PRE-BID MEETING: A MANDATORY Pre-Bid Conference is scheduled for February 25, 2014, 10:00 A.M. (local time), to be held in the EOC Room, Utilities Administration, 124 East Woodbright Road, Boynton Beach, Florida. Attendance is mandatory and proof of attendance will be evidence by the Bidder's signature or signature of Bidder's designee on the attendance sheet provided.

Bid documents are available in Procurement Services at 100 E. Boynton Beach Blvd., Boynton Beach, Florida; or, you may download the documents from www.demandstar.com or by calling 1-800-711-1712 for a \$5.00 fee. Office hours are from 7:30 A.M. to 6:00 P.M., Monday through Thursday. Telephone number: (561) 742-6322.

JANET M. PRAINITO,
MMC CITY CLERK
CITY OF BOYNTON BEACH
PUB: The Palm Beach Post
2-10/2014 #199114

LEGAL NOTICE
ON FEBRUARY 21, 2014 AT 10 AM A PUBLIC AUCTION WILL BE HELD AT 2712 PARK STREET LAKE WORTH FL. THE FOLLOWING VEHICLES WILL BE AUCTIONED OFF FOR CHARGES . ALL SALES CASH.
YEAR MAKE VIN
2007 HONDA 1HGCCM554X7A185271
2008 FORD 3FAHP06Z58R170196
2000 CHRYSLER 1C3EJ56HXN208919
PUB: The Palm Beach Post
2-10/2014 #196868

LEGAL NOTICE
REQUEST FOR PROPOSALS
(RFP# 003-14/ED -
INSURANCE BROKERAGE

Legal Notices

expense, will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.
In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodations to participate in the proceedings should contact the Legislative Aide at 561-845-4095 no later than 96 hours prior to the proceedings. If hearing impaired, telephone the Florida Relay Services 1-800-955-8771 (TDD) or 1-800-955-8770 (Voice) for assistance. PUB: The Palm Beach Post 2-10/2014 #199434

PUBLIC NOTICE

The Village Council of the Village of Royal Palm Beach will conduct a Public Hearing in the Village Meeting Center, 1050A Royal Palm Beach Boulevard, Royal Palm Beach, Florida 33411 on Thursday, February 20, 2014 at 7:00 p.m., or as soon thereafter as possible and continuing from time to time and place to place as necessary to consider and take final action regarding the following:
1. Application - No. 10-21(J)(SVAR) Aspen Dental and Mattress Firm @ Royal Palm Toys PCD - The applicant, Anchor Signs, on behalf of owner, Pebb Enterprises Royal Palm Beach Prop., LLC, is requesting a Sign Variance from Sec. 20-60 (1) e. and 20-60 (3) a. to permit a front facing wall sign and a rear facing wall sign which exceed the maximum allowable square footage for each of the two (2) retail bays located at the premises, and to allow for each front facing wall sign to be affixed to the top of the canopies where Village Code prohibits signs from projecting above canopies. Related documents are available for inspection and copying in the office of the Village Planning & Zoning Department during normal business hours Monday through Friday from 8:00 a.m. to 4:30 p.m. All interested parties are invited to come and be heard at the public hearing. If a person decides to appeal any decision made by the Village Council with respect to any matter considered at such meeting or hearing, that person will need a record of the proceedings, and for such purpose, that person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The Village of Royal Palm Beach does not provide such a record. PUB: The Palm Beach Post 2-10/2014 #198262

PUBLIC NOTICE

The Village Council of the Village of Royal Palm Beach will conduct a public hearing in the Village Meeting Hall located at 1050-A Royal Palm Beach Boulevard on Thursday, February 20, 2014 at 7:00 p.m. or as soon thereafter as possible and continuing from time to time and place to place as necessary, at which time the following ordinances will be adopted:

ORDINANCE NO. 891
AN ORDINANCE OF THE VILLAGE COUNCIL OF THE VILLAGE OF ROYAL PALM BEACH, FLORIDA, PROVIDING FOR THE REZONING OF CERTAIN REAL PROPERTY WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF ROYAL PALM BEACH, FLORIDA, WHICH PROPERTY CONSISTS OF A PARCEL OF REAL PROPERTY COMPRISING A TOTAL OF 2.60+ ACRES, MORE OR LESS, LOCATED ON THE WEST SIDE OF STATE ROAD 7/US 441 APPROXIMATELY 6710THS OF A MILE SOUTH OF SOUTHERN BOULEVARD, INFORMALLY KNOWN AS "LOT 1 OF THE ANTHONY GROVES PLAZA

Legal Notices

2006" TO ADD THE TERM HISTORICAL LEGACY TO THE SECTION TITLE; TO SPECIFY THE CATEGORY OF SPECIAL EXCEPTION NECESSARY FOR CERTAIN USES IN THE ZONING CATEGORY; TO REQUIRE THAT THE PROPERTY ON WHICH THE USE IS LOCATED SHALL HAVE BEEN OWNED AND SUBJECT TO A HOMESTEAD EXEMPTION IN THE NAME OF THE OPERATOR; TO REQUIRE THAT THE USE DOES NOT PRESENT A THREAT TO PUBLIC HEALTH; TO REQUIRE THAT THE VIOLATIONS OR THE USE HAS BEEN BROUGHT INTO CODE COMPLIANCE; TO REQUIRE THAT THE OWNER-OPERATOR SUBMIT AN AFFIDAVIT STIPULATING TO COMPLIANCE WITH CERTAIN CONDITIONS; TO REQUIRE REVIEW AND INSPECTION BY THE TOWN; PROVIDING THAT CERTAIN USES ARE NOT ELIGIBLE FOR APPROVAL UNDER THIS SECTION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND, PROVIDING FOR AN EFFECTIVE DATE. The Town Council of the Town of Loxahatchee Groves will conduct a public hearing on the ordinance on Tuesday, February 18, 2014 commencing at 7:00 p.m. The hearing of the Town Council shall be held at the Loxahatchee Groves Water Control District meeting room West "D" Road, Loxahatchee Groves, Florida, 33470. The Town Council shall consider approval of the ordinance at its second reading.

All interested persons are invited to appear at the public hearing, which may be continued from time to time, and may be heard with respect to these matters. A copy of Ordinance 2013-011 is on file at the Town Management Office 14579 Southern Boulevard, Suite 2, Loxahatchee Groves, Florida, 33470 for inspection by members of the public during normal business hours.

In accordance with the Americans with Disabilities Act, any person who may require special accommodations to participate in this meeting should contact the Town Management Office at: (561) 793-2418 at least five days prior to the Public Hearing date.
Janet K. Whipple,
Town Clerk
PUB: The Palm Beach Post
2-10/2014 #199199

**Legal
Foreclosures**

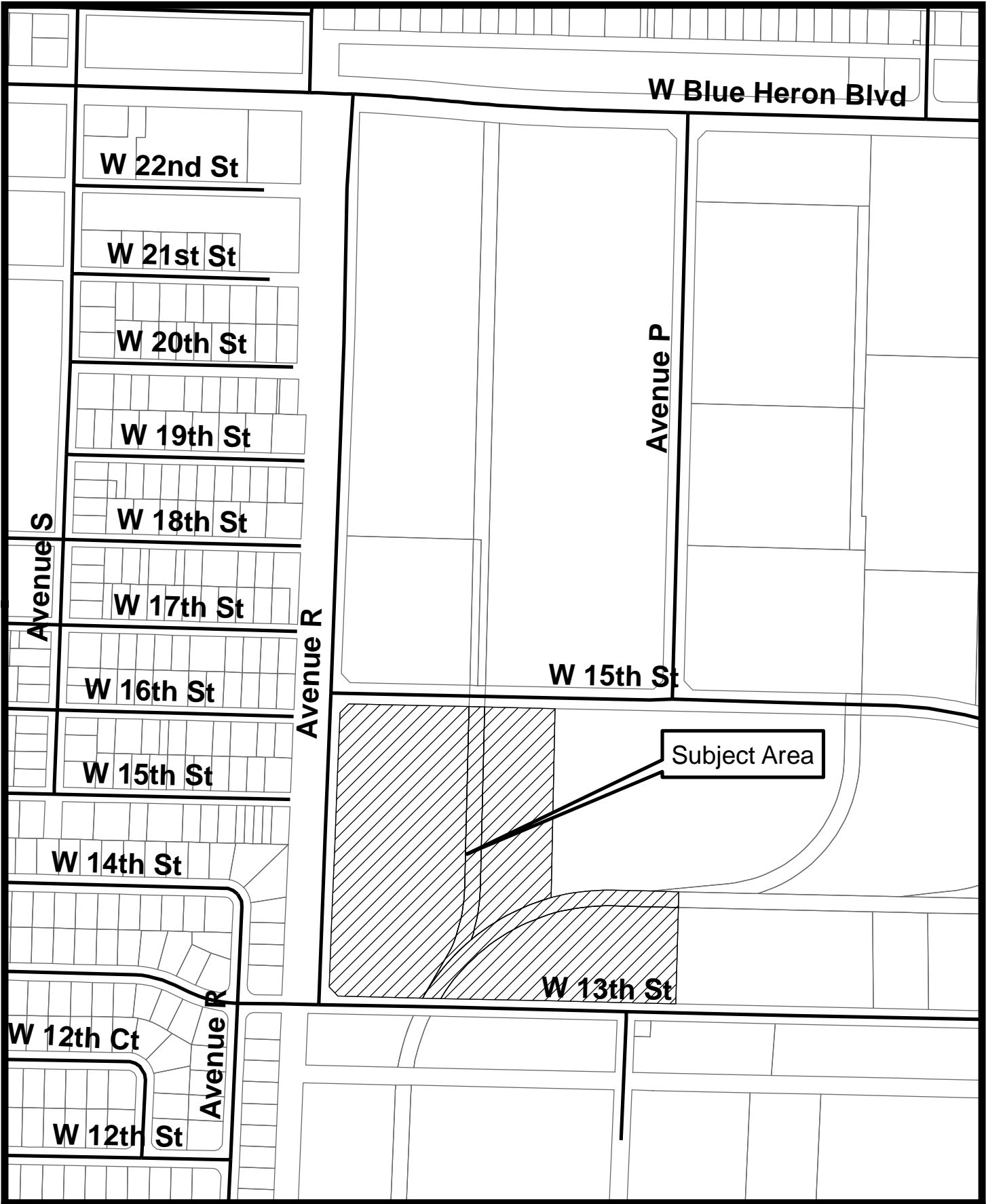
**IN THE CIRCUIT COURT OF THE
NINETEENTH JUDICIAL CIRCUIT
IN AND FOR ST. LUCIE COUNTY,
FLORIDA CIVIL ACTION
CASE NO.: 562010CA005927AXXXHC
DIVISION:**
WELLS FARGO BANK, N.A.,
Plaintiff,

vs.
ODEN, LARRY et al,
Defendant(s).
NOTICE OF SALE PURSUANT TO
CHAPTER 45

NOTICE IS HEREBY GIVEN Pursuant to a Final Judgment of Foreclosure dated October 16, 2014, and entered in Case No. 562010CA005927AXXXHC of the Circuit Court of the Nineteenth Judicial Circuit in and for St. Lucie County, Florida in which Wells Fargo Bank, N.A., is the Plaintiff and City of Port St. Lucie, Florida, is the Defendant, the following property is being sold:




**Legal
Foreclosures**

Deputy Clerk
Please send invoice and copy
Albertelli Law
P.O. Box 23028
Tampa, FL 33623
EF - 13-116726
**See the Americans with Disabilities Act, if you person with a disability want an accommodation in order court facilities or participate in a proceeding, you are at no cost to you, to get certain assistance. To request an accommodation, please call 462-2758(voice), (800) 955-8770 or fax your request to (407) 462-2758. You must request a file response please contact County Clerk of Court, 210 S Dr., Ft. Pierce, FL 34950, Tel: (772) 462-1998. PUB: The Palm Beach Post 2-10, 2-17/2014 #199382



Public Service Complex
 Comprehensive Plan Amendment
 Future Land Use Change and Rezoning

Legend

-  Subject Area
-  Roads
-  Parcels

TO: Brad Stein, Principal Planner
FROM: Terrence N. Bailey, City Engineer
DATE: 2/10/14
RE: Riviera Beach Public Services Complex - Site Plan Submittal

Mr. Stein, it is with great pleasure that they engineering department submits the following documents in response to site plan review comments:

Building and Permits

1. As it relates to Riviera Beach Code 25-127, a memo was provided to the building department on January 29, 2014 demonstrating compliance with the above referenced code section. A copy of the cover letter is enclosed.
2. The design criterion for an Emergency Operations Center of 220 mph is noted and all appropriate Florida Building Code requirements shall be met through the design of the facility.

Utilities

1. The design revisions requested have been noted and all requirements shall be met through the design of the facility.

Planning and Zoning

1. Provide phasing plan for complex including estimated timeframes.
Response: The current intention of the design team is that public works improvements shall encompass phase 1 and will commence immediately. The improvements associated with the police department shall be phase 2 and also implemented immediately. Phase 3 shall be construction of the fire department administration and fire station. A more specific and detailed timeline for phase 3 is not available as the implementation is budget driven and determination of a course of action is currently in process.
2. Provide floor plans delineating department's areas Police, Fire, etc.
Response: Please see the enclosed floor plan.
3. Label the Fire storage area in the NW parking lot.
Response: Please see the revised site plan enclosed.
4. Provide the schedule for trains entering and exiting site from the FEC spur.
Response: A request has been made to the FEC for a schedule of trains utilizing the spur in question, and shall be provided as soon as it becomes available.
5. Provide color elevations and show any proposed façade improvements for exterior of building.
Response: Please see the revised color renderings enclosed.

6. Label and show location of E. O. C. on site plan.
Response: Please see the revised site plan enclosed.
7. Provide traffic plan for public service vehicles and for employees to parking areas and bays entering and exiting site.
Response: Please see the revised site plan enclosed.
8. How will public service vehicles go west on Blue Heron at Avenue R and Avenue P?
Response: Engineering Department has been in communication with the Florida Department of Transportation in reference to modifying the median opening at Blue Heron and Avenue P to allow Fire Department vehicles access to the west. The DOT has provided preliminary approval of the modifications and final approval will occur as a component of the normal permitting process for the DOT.
9. Landscaping buffering should be provided on the Westside of Avenue R for the residences along the canal and Avenue R.
Response: The canal along the western portion of Avenue R is a critical component of the City's drainage network and space does not allow for a landscape buffer in this area.
10. Rail spur in parking lot conflicts with the parking. Please explain.
Response: The existing rail spur extending into the site has been abandoned by the FEC and the fee simple land is owned by the City. The site is constructed to allow the free flow of vehicles across the rail spur. Asphalt and concrete abut the rails allowing vehicles to cross unabated thus eliminating any potential for conflict with the proposed parking.

If you have any questions, please do not hesitate to call.

Sincerely,



Terrence Bailey, P.E.
City Engineer

INTER-DEPARTMENTAL COMMUNICATION

Memorandum

To: Brad Stein, Principal Planner
From: Peter Ringle, Building Official
Date: January 30, 2014
Subject: Public Services Complex SP-14-01

Because this facility is for police and fire the facility is considered critical facilities and accessible routes should be provided during the 100 year storm

City of Riviera Beach Code:

Sec. 25-127. Critical facility.

Construction of new critical facilities shall be, to the extent possible, located outside the limits of the special flood hazard area (SFHA) (100-year floodplain). Construction of new critical facilities shall be permissible within the SFHA if no feasible alternative site is available. Critical facilities constructed within the SFHA shall have the lowest floor elevated three feet or more above the level of the base flood elevation at the site. Floodproofing and sealing measures must be taken to ensure that toxic substances will not be displaced by or released into floodwaters. Access routes elevated to or above the level of the base flood elevation shall be provided to all critical facilities to the extent possible

The design criterion for the Emergency Operations Center must be 220 mph. The EOC design requirements will be the same as a storm shelter. That documentation is a requirement for permitting and must be provided before the issuance of a building permit.

Peter Ringle

TO: Peter Ringle, Building Official
FROM: Terrence N. Bailey, PE, City Engineer
DATE: 1/29/14
RE: SP-14-01 – Public Safety Building - Site Plan Review

Ordinance 25-127 reads as follows:

Sec. 25-127. Critical facility.

Construction of new critical facilities shall be, to the extent possible, located outside the limits of the special flood hazard area (SFHA) (100-year floodplain). Construction of new critical facilities shall be permissible within the SFHA if no feasible alternative site is available. Critical facilities constructed within the SFHA shall have the lowest floor elevated three feet or more above the level of the base flood elevation at the site. Floodproofing and sealing measures must be taken to ensure that toxic substances will not be displaced by or released into floodwaters. Access routes elevated to or above the level of the base flood elevation shall be provided to all critical facilities to the extent possible.

The proposed Public Safety Complex is located outside of the 100year flood zone and within the 500year zone B according to the FEMA 1982 flood panel. The draft FEMA flood panel issued May 31, 2013 has the area surrounding the Public Safety Facility as outside of the 500year flood zone. In accordance with City of Riviera Beach Master Stormwater Plan, the 100 year flood elevation along the RC-1 Canal between 13th street and Blue Heron is approximately 14.8 NGVD(16.3 NAVD). The finished floor elevation of the Public Safety Building is 20.0 NAVD providing three feet of freeboard above the 100 year flood elevation. In addition the parking lot ranges from a low of 16.5 to elevation 18 in the northern portion. The elevation of the intersection of 15th Street and Avenue R is approximately 16.7 NAVD thus making Avenue R the accessible route to the DOT thoroughfare along Blue Heron Boulevard.



Terrence Bailey, P.E.
City Engineer

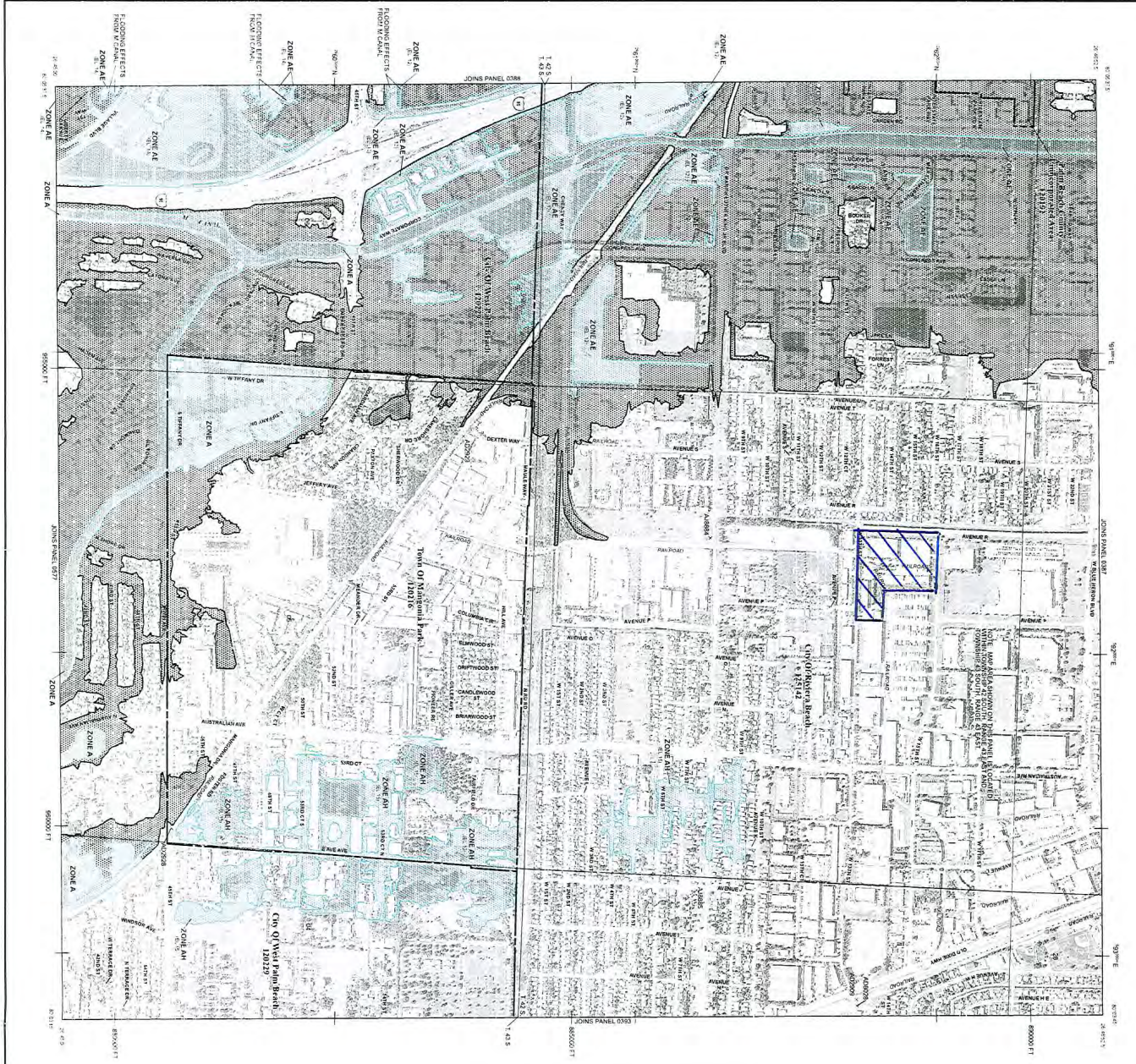
NOTES TO USERS

The map is to be used in conjunction with the National Flood Insurance Program's Risk Factor Manual, Volume 2, and the Flood Hazard Determination Manual, Volume 1, as published by the Federal Emergency Management Agency in 1982. The map was prepared using the Flood Hazard Determination Manual, Volume 1, and the Risk Factor Manual, Volume 2, as published by the Federal Emergency Management Agency in 1982. The map was prepared using the Flood Hazard Determination Manual, Volume 1, and the Risk Factor Manual, Volume 2, as published by the Federal Emergency Management Agency in 1982. The map was prepared using the Flood Hazard Determination Manual, Volume 1, and the Risk Factor Manual, Volume 2, as published by the Federal Emergency Management Agency in 1982.

Special Flood Hazard Areas (SFHA): This map shows the Special Flood Hazard Areas (SFHA) for the City of West Palm Beach, Florida. The SFHA are shown in the following colors: Zone AE (shaded gray), Zone AH (stippled), Zone A (solid black), Zone B (dotted), Zone V (diagonal lines), and Zone VE (cross-hatched). The SFHA are shown in the following colors: Zone AE (shaded gray), Zone AH (stippled), Zone A (solid black), Zone B (dotted), Zone V (diagonal lines), and Zone VE (cross-hatched).

Flood Hazard Determination Manual (FHDM): The Flood Hazard Determination Manual (FHDM) is a manual published by the Federal Emergency Management Agency in 1982. It provides the procedures and criteria for determining the flood hazard areas for the National Flood Insurance Program. The FHDM is published by the Federal Emergency Management Agency in 1982.

Risk Factor Manual (RFM): The Risk Factor Manual (RFM) is a manual published by the Federal Emergency Management Agency in 1982. It provides the criteria for determining the risk factors for the National Flood Insurance Program. The RFM is published by the Federal Emergency Management Agency in 1982.



LEGEND

SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INSURANCE BY THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP)

Zone AE: Shaded gray. Areas subject to $1\frac{1}{2}\%$ annual chance flooding, including $1\frac{1}{2}\%$ annual chance flooding from storm surge, high tides, or other means, and $1\frac{1}{2}\%$ annual chance flooding from wave action.

Zone AH: Stippled. Areas subject to $1\frac{1}{2}\%$ annual chance flooding from storm surge, high tides, or other means, and $1\frac{1}{2}\%$ annual chance flooding from wave action.

Zone A: Solid black. Areas subject to $1\frac{1}{2}\%$ annual chance flooding from storm surge, high tides, or other means, and $1\frac{1}{2}\%$ annual chance flooding from wave action.

Zone B: Dotted. Areas subject to $1\frac{1}{2}\%$ annual chance flooding from storm surge, high tides, or other means, and $1\frac{1}{2}\%$ annual chance flooding from wave action.

Zone V: Diagonal lines. Areas subject to $1\frac{1}{2}\%$ annual chance flooding from storm surge, high tides, or other means, and $1\frac{1}{2}\%$ annual chance flooding from wave action.

Zone VE: Cross-hatched. Areas subject to $1\frac{1}{2}\%$ annual chance flooding from storm surge, high tides, or other means, and $1\frac{1}{2}\%$ annual chance flooding from wave action.

OTHER FEATURES

Zone I: Areas determined to be in $1\frac{1}{2}\%$ annual chance flooding.

Zone X: Areas subject to $1\frac{1}{2}\%$ annual chance flooding.

COASTAL BARREER REDUCES SYSTEM (CBRS) AREAS

OTHER FEATURES (NOT TO SCALE)

1.5% Annual Chance Flooding: Areas subject to $1\frac{1}{2}\%$ annual chance flooding.

1% Annual Chance Flooding: Areas subject to $1\frac{1}{2}\%$ annual chance flooding.

0.5% Annual Chance Flooding: Areas subject to $1\frac{1}{2}\%$ annual chance flooding.

0.2% Annual Chance Flooding: Areas subject to $1\frac{1}{2}\%$ annual chance flooding.

Other Features: Areas subject to $1\frac{1}{2}\%$ annual chance flooding.

Map Scale: 1" = 400'

NATIONAL FLOOD INSURANCE PROGRAM

FIRM

FLOOD INSURANCE RATE MAP

PALM BEACH COUNTY, FLORIDA

AND INCORPORATED AREAS

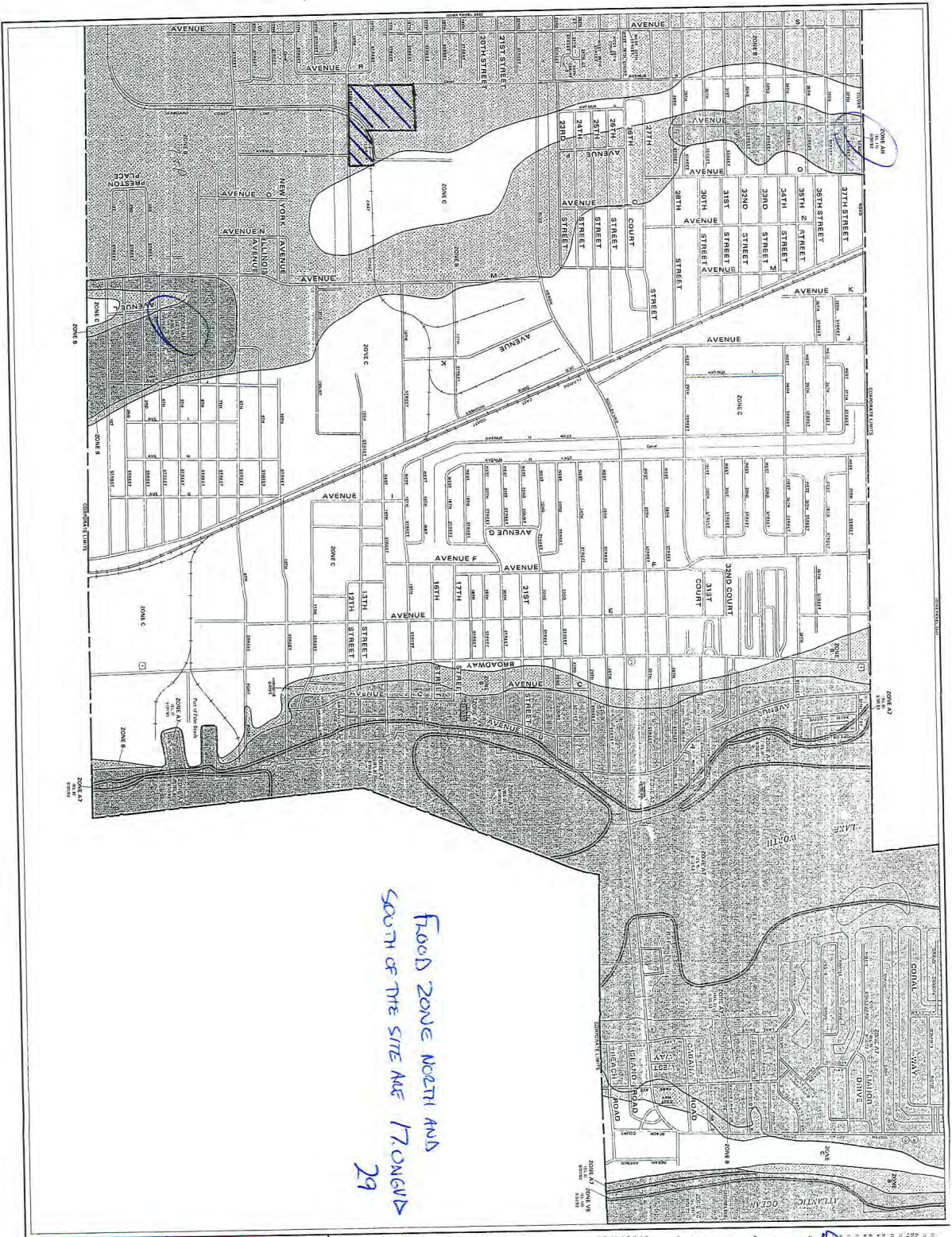
PANEL 0198F OF 1300

DATE: MAY 1982

MAP NUMBER: 12099-0198F

EFFECTIVE DATE:

Federal Emergency Management Agency



Flood Zone North and South of the Site Ave 17.01NGVD 29

FIRCA
FLOOD INSURANCE RATE MAP

NATIONAL FLOOD INSURANCE PROGRAM

**CITY OF PALM BEACH
 FLORIDA
 PALM BEACH COUNTY**

**COMMUNITY PANEL NUMBER
 12312 000 D
 MAP REVISION
 SEPTEMBER 24, 1993**

PANEL 3 OF 3

SECTION 17.01

1. FLOOD ZONE A: SPECIAL HAZARD AREA

17.01-01. This zone is located in the area of the ...

17.01-02. This zone is located in the area of the ...

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17.01-60. This zone is located in the area of the ...

Figure 4.4
City of Riviera Beach
Canal Condition Index Map

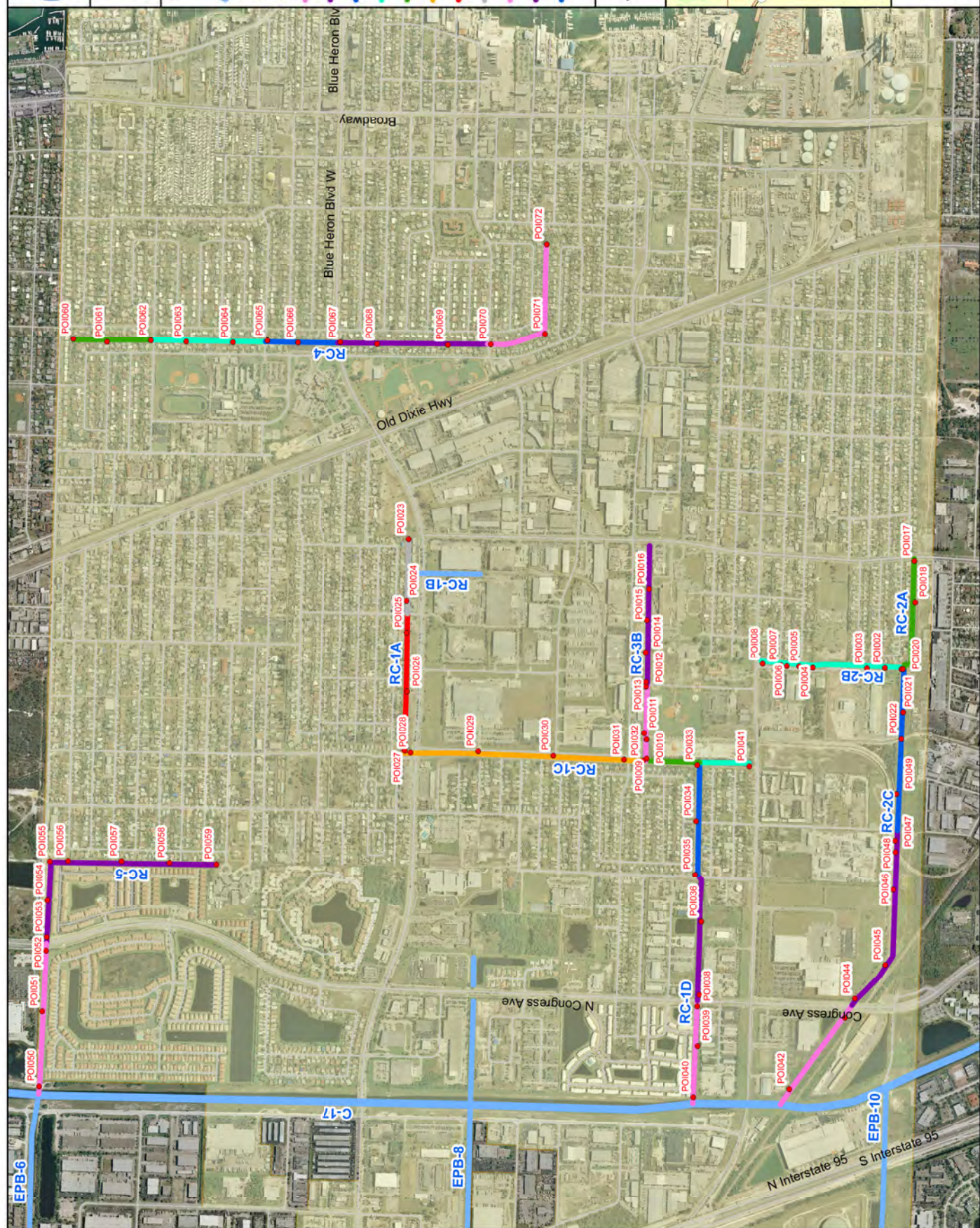
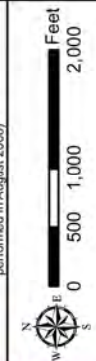
Legend

- Canal Survey Location
- Canal
- Corporate Limit

Canal Segment

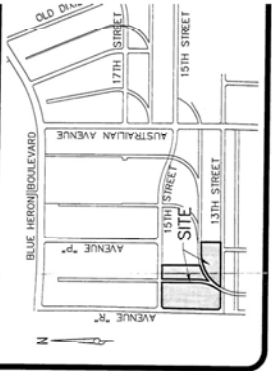
RC1-1	RC2-4
RC1-2	RC2-5
RC1-3	RC3-1
RC1-4	RC3-2
RC1-5	RC4-1
RC1-6	RC4-2
RC1-7	RC4-3
RC1-8	RC4-4
RC2-1	RC4-5
RC2-2	RC5-1
RC2-3	RC5-2

(Information based on field investigation performed in August 2008)



Location	Model Junction	*Reference Street Elevation, ft NGVD	Modeled Maximum Flooding Depth, feet										Modeled Maximum Flooding Depth, feet			
			24HR Duration					Flooding Code					72HR Duration		Flooding Code	
			3YR 24HR	10YR 24HR	25YR 24HR	100YR 24HR	3YR 24HR	10YR 24HR	25YR 24HR	100YR 24HR	25YR 72HR	100YR 72HR	25YR 72HR	100YR 72HR		
RCl Canal System																
Along 30th btw Ave R and Ave S north	RCl-NODE-268	14.65	...	0.24	0.54	0.61	A	B	C	C	0.68	1.33	C	F		
At intersection of Avenue R and 30th	RCl-NODE-270	16.87	...	...	...	A	A	A	A	...	...	...	A	A
Outfall Int RCl directly south of 13th	RCl-NODE-280	14.05	...	...	0.81	A	A	A	C	0.52	0.54	C	C	
Along 33rd btw Ave R and Ave S south	RCl-NODE-282	16.51	...	...	...	A	A	A	A	...	...	...	A	A
Along 33rd btw Ave R and Ave S north	RCl-NODE-282	16.51	...	...	...	A	A	A	A	...	...	...	A	A
Along RCl parallel to Ave R directly north of 13th	RCl-NODE-30	14.05	...	...	0.79	A	A	A	C	>2.0 feet	1.08	1.08	F	F
Along 10th east of the intersection with Congress	RCl-NODE-302	13.14	...	...	1.7	A	A	A	F	...	0.04	0.04	A	B
At east end of 22nd south	RCl-NODE-338	13.97	...	0.44	1.01	A	B	B	F	0.5	1.08	1.08	B	F		
At east end of 22nd north	RCl-NODE-340	13.91	0.01	0.35	1.11	B	B	B	F	0.6	1.21	1.21	C	F		
At east end of 21st north	RCl-NODE-342	14.31	...	0.34	0.62	A	B	B	C	0.7	0.62	0.62	C	C		
At east end of 20th north	RCl-NODE-344	14.37	...	0.18	0.56	A	B	B	C	0.52	0.9	0.9	C	C		
At east end of 20th south	RCl-NODE-346	13.85	...	0.39	1.09	A	B	B	F	0.64	1.16	1.16	C	F		
At east end of 19th south	RCl-NODE-348	13.86	...	0.34	1.07	A	B	B	F	0.58	1.07	1.07	C	F		
At east end of 19th north	RCl-NODE-350	13.41	0.01	0.68	1.47	B	C	C	F	0.67	1.12	1.12	C	F		
At east end of 18th north	RCl-NODE-352	13.45	...	0.64	1.43	A	C	C	F	0.63	1.08	1.08	C	F		
At east end of 18th south	RCl-NODE-354	14.83	...	...	0.05	A	A	A	B	...	...	...	A	A
At east end of 18th south	RCl-NODE-356	14.95	...	...	...	A	A	A	A	...	...	...	A	A
Along Avenue S north of intersection with 20th	RCl-NODE-358	17.35	0.05	0.14	1	B	B	B	C	0.61	1.33	1.33	C	F		
Outfall to RCl parallel to Ave R near 14th	RCl-NODE-36	14.7	...	...	0.14	A	A	A	B	...	...	...	A	A
Along Avenue S south of intersection with 20th	RCl-NODE-360	17.17	...	0.07	0.43	A	A	A	B	0.08	0.6	0.6	B	C		
Along Ave S btw 19th and 20th west	RCl-NODE-362	16.9	...	0.06	0.47	A	B	B	B	0.13	0.62	0.62	B	C		
Along Ave S btw 19th and 20th east	RCl-NODE-364	16.93	...	0.03	0.44	A	B	B	B	0.1	0.58	0.58	B	C		
Directly south of intersection of Ave S and 19th	RCl-NODE-366	17.33	...	...	...	A	A	A	A	...	...	...	A	A
South of intersection of Ave S and 19th	RCl-NODE-368	17.29	...	...	...	A	A	A	A	...	...	...	A	A
At intersection of 18th and Avenue S	RCl-NODE-370	18.09	...	...	...	A	A	A	A	...	...	...	A	A
Along Ave S btw 17th and 18th west	RCl-NODE-372	17.69	...	...	...	A	A	A	A	...	...	...	A	A
Along Ave S btw 17th and 18th east	RCl-NODE-374	17.65	...	...	...	A	A	A	A	...	...	...	A	A
At intersection of 17th and Avenue S	RCl-NODE-376	18.13	...	...	...	A	A	A	A	...	...	...	A	A
Along 18th west of intersection with Ave S north	RCl-NODE-378	15.61	...	0.16	0.42	A	B	B	B	0.39	0.21	0.21	B	B		
Along RCl parallel to Ave R near 15th	RCl-NODE-38	14.7	...	...	0.14	A	A	A	B	...	...	...	A	A
Along 18th east of Ave U north	RCl-NODE-380	14.91	...	0.23	0.49	A	B	B	C	0.65	0.68	0.68	C	C		
Along 18th east of Ave U south	RCl-NODE-382	15.01	...	0.13	0.38	A	B	B	C	0.54	0.57	0.57	C	C		
Along 18th west of Ave S south	RCl-NODE-384	15.59	...	0.15	0.31	A	B	B	B	0.38	0.22	0.22	B	B		
At intersection of Avenue U and 18th	RCl-NODE-386	15.17	...	...	0.44	A	A	A	B	...	0.06	0.06	A	B
At intersection of Avenue U and 17th	RCl-NODE-388	14.53	...	...	0.74	A	A	A	C	0.18	0.18	0.18	B	B
Along 17th east of Avenue U north	RCl-NODE-390	14.15	...	...	1.05	A	A	B	F	0.42	0.49	0.49	B	B
Along 17th east of Avenue U south	RCl-NODE-392	14.05	...	...	1.15	A	A	B	F	0.53	0.59	0.59	C	C
Along 17th west of Avenue S	RCl-NODE-394	15.63	...	...	...	A	A	A	A	...	...	...	A	A
Along 17th east of Avenue S	RCl-NODE-396	17.45	...	...	...	A	A	A	A	...	...	...	A	A
At east end of 17th near RCl	RCl-NODE-398	14.63	...	...	0.31	A	A	A	B	...	...	...	A	A
Along RCl parallel to Ave R near 16th	RCl-NODE-40	14.9	...	...	...	A	A	A	A	...	...	...	A	A
At intersection of Avenue U and 16th	RCl-NODE-404	13.41	0.08	0.64	1.93	B	C	C	F	1.32	1.37	1.37	F	F		
west of intersection of Ave R and 13th north	RCl-NODE-414	13.3	...	0.19	1.52	A	B	B	F	0.76	0.58	0.58	C	C		
west of intersection of Ave R and 13th south	RCl-NODE-416	13.28	...	0.17	1.51	A	B	B	F	0.72	0.52	0.52	C	C		
east of intersection of Ave R and 13th south	RCl-NODE-418	13.25	...	0.14	1.58	A	B	C	F	0.63	0.78	0.78	C	C		

Location	Model Junction	*Reference Street Elevation, ft NGVD	Modeled Maximum Flooding Depth, feet						Modeled Maximum Flooding Depth, feet						
			24HR Duration						72HR Duration						
			3YR 24HR	10YR 24HR	25YR 24HR	100YR 24HR	3YR 24HR	10YR 24HR	25YR 24HR	100YR 24HR	25YR 72HR	100YR 72HR	25YR 72HR	100YR 72HR	
Along RCI parallel to Ave R btw 17th and 16th	RCI-NODE-42	14.9	...	...	...	...	A	A	A	A	...	...	...	A	A
east of intersection of Ave R and 13th north	RCI-NODE-420	13.13	...	0.26	0.2	1.7	A	B	C	F	...	0.75	...	C	B
west of intersection of Ave R and 14th north	RCI-NODE-424	13.19	...	0.52	0.53	1.54	A	C	C	F	...	0.88	...	C	F
west of intersection of Ave R and 14th south	RCI-NODE-426	13.1	...	0.6	0.61	1.62	A	C	C	F	...	0.95	...	C	F
east of intersection of Ave R adn 14th	RCI-NODE-428	13.31	...	0.37	0.39	1.4	A	B	B	F	...	0.68	...	C	F
east of intersection of 12th St and 12th Ct	RCI-NODE-434	13.05	...	0.02	0.06	1.86	A	B	B	F	...	0.34	...	B	C
west of intersection of 12th St and 12th Ct	RCI-NODE-436	13.14	...	...	...	1.74	A	A	A	F	...	0.23	...	B	B
Along 11th btw Ave S and Ave R north	RCI-NODE-438	13.24	...	...	...	1.62	A	A	A	F	...	0.11	...	B	B
Along RCI parallel to Ave R near 18th	RCI-NODE-44	14.9	...	...	...	...	A	A	A	A	...	...	...	A	A
Along 11th btw Ave S and Ave R south	RCI-NODE-440	13.06	...	...	0.01	1.79	A	A	B	F	...	0.28	...	B	B
east of intersection of Congress and 12th south	RCI-NODE-442	12.86	...	0.31	0.29	>2.0 feet	A	B	B	F	...	0.41	...	B	C
east of intersection of Congress and 12th north	RCI-NODE-444	12.91	...	0.09	0.11	>2.0 feet	A	B	B	F	...	0.26	...	B	C
Along west side of 12th btw Ave U and Congress	RCI-NODE-446	14.5	...	...	...	0.34	A	A	A	B	...	...	...	A	A
west of intersection of Ave U and 12th south	RCI-NODE-448	13.36	...	0.1	0.15	1.53	A	B	B	F	...	0.01	...	B	C
west of intersection of Ave U and 12th north	RCI-NODE-450	13.27	...	0.12	0.18	1.62	A	B	B	F	...	0.09	...	B	C
center of 12th btw Ave U and Congress north	RCI-NODE-452	12.59	...	...	...	>2.0 feet	A	A	A	F	...	0.22	...	B	C
east side of 12th between Ave U and Congress	RCI-NODE-454	12.5	...	...	0.04	>2.0 feet	A	A	B	F	...	0.31	...	B	C
Outfall to RCI at east end of 19th	RCI-NODE-456	13.38	...	...	...	1.46	A	A	A	F	...	...	...	A	A
west of intersection of Ave T and 11th	RCI-NODE-476	14.9	...	...	...	0.48	A	A	A	A	...	...	...	A	A
directly south of intersection of Ave T and 11th	RCI-NODE-478	13	...	...	0.03	1.8	A	A	B	F	...	0.22	...	B	C
At intersection of Avenue O and 37th	RCI-NODE-480	13.11	...	...	...	...	A	A	A	A	...	...	...	A	A
Along 37th btw Ave O and Old Dixie	RCI-NODE-482	18.05	...	...	...	...	A	A	A	A	...	...	...	A	A
Along Ave P ext. at intersection w/ 31st	RCI-NODE-486	25.1	...	...	...	...	A	A	A	A	...	...	...	A	A
west of Ave O btw 27th and 28th	RCI-NODE-502	16.29	...	...	...	0.04	A	A	A	B	...	...	...	A	A
Along Ave N ext. btw 27th and 28th	RCI-NODE-504	16.39	...	...	...	...	A	A	A	A	...	...	...	A	A
Along Ave N ext. at intersection w/ 28th	RCI-NODE-506	25.2	...	...	...	...	A	A	A	A	...	...	...	A	A
Along Ave N at intersection with 30th	RCI-NODE-508	29.8	...	...	...	...	A	A	A	A	...	...	...	A	A
At intersection of Avenue N and 31st	RCI-NODE-510	24.17	...	...	...	...	A	A	A	A	...	...	...	A	A
At intersection of Avenue N and 32nd	RCI-NODE-512	18.57	...	...	...	...	A	A	A	A	...	...	...	A	A
At intersection of Avenue N and 33rd	RCI-NODE-514	16.35	...	0.27	0.39	>2.0 feet	A	B	C	F	...	1.39	>2.0 feet	F	F
east of intersection of Ave R and 32nd north	RCI-NODE-516	22.7	...	0.01	0.2	0.24	A	B	B	B	...	0.06	...	B	B
east of intersection of Ave R and 32nd south	RCI-NODE-518	20.3	...	...	...	...	A	A	A	A	...	...	...	A	A
Along 32nd btw Ave P ext and Ave R south	RCI-NODE-520	20.3	...	...	...	...	A	A	A	A	...	...	...	A	A
Along 32nd btw Ave P ext and Ave R north	RCI-NODE-522	18.07	...	...	...	...	A	A	A	A	...	...	...	A	A
Along 32nd btw Ave O and Ave P ext south	RCI-NODE-524	18	...	...	...	...	A	A	A	A	...	...	...	A	A
Along 32nd btw Ave O and Ave P ext north	RCI-NODE-526	16.3	...	...	...	...	A	A	A	A	...	...	...	A	A
Intersection of RCI and RC3 near Ave R and 13th	RCI-NODE-528	16.3	...	...	...	0.03	A	A	A	A	...	...	...	A	A
Along Ave P ext at intersection w/ 32nd north	RCI-NODE-530	14.8	...	0.37	0.5	1.04	A	B	B	F	...	0.68	...	C	F
Along RCI SE of intersection of Ave R & Blue Heron	RCI-NODE-532	15.64	...	...	...	...	A	A	A	A	...	...	...	A	A
At bend of RCI SE of intersection of Ave R & Blue Heron	RCI-NODE-54	15.09	...	...	...	...	A	A	A	A	...	...	...	A	A
Along RCI at east end of 17th	RCI-NODE-56	15.4	...	...	...	...	A	A	A	A	...	...	...	A	A
At bend of RCI NE of Ave R & Blue Heron intersect	RCI-NODE-60	13.5	...	0.68	0.74	1.44	A	C	C	F	...	0.85	...	C	F
Along RCI at east end of 17th	RCI-NODE-90	14.9	...	...	...	...	A	A	A	A	...	...	...	A	A
At bend of RCI NE of Ave R & Blue Heron intersect	RCI-NODE-92	15.5	...	...	...	...	A	A	A	A	...	...	...	A	A



LOCATION MAP
NOT TO SCALE

LEGEND

- PROPOSED STORM SEWER AND CATCH BASIN
- EXISTING STORM SEWER AND CATCH BASIN
- DIRECTION OF FLOW
- PROPOSED STOP SIGN & BAR
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN AND VALVE
- EXISTING SANITARY SEWER
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- PROPOSED 4' X 8' EXFILTRATION TRENCH

NOTICE

Failure to call for final inspection immediately after completion of the work is a violation of the rules and regulations of the Department of Public Works. Failure to comply with the attached detail of any City requirements will result in reinspection fee of \$1,000.

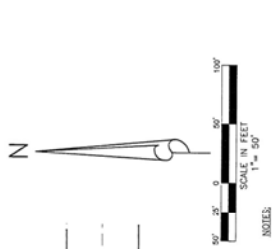
Subject to NPDES permit requirements

APPROVED BY
CITY ENGINEER
5/25/2003

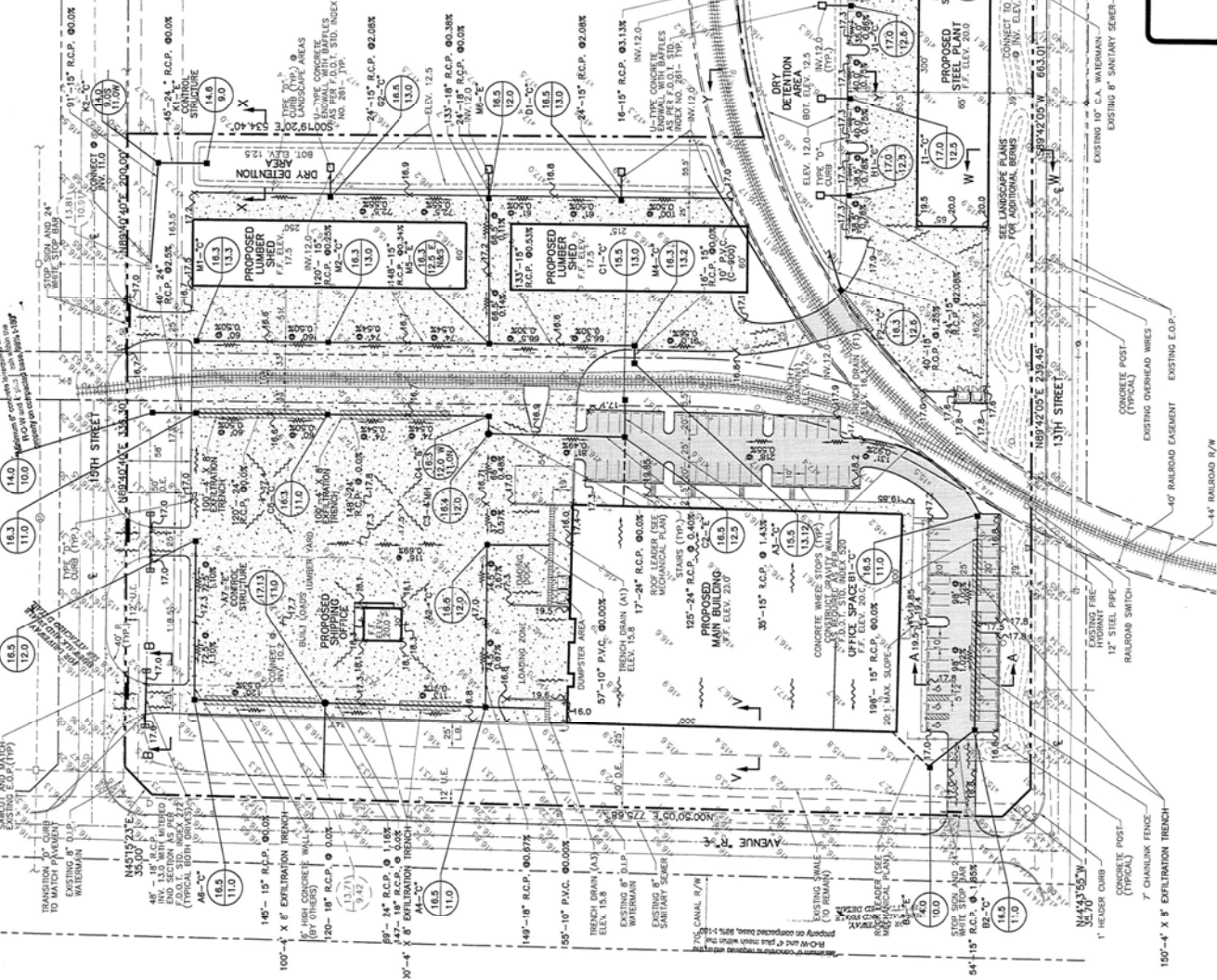
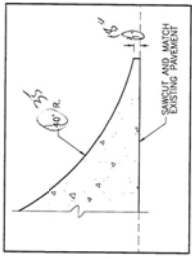
FOR INSPECTION ON PAVING AND DRAINAGE CALL 646-8600. MARKS IN ADVANCE TO BE MADE IN CONCRETE BEFORE PAVING. CONCRETE SHALL BE 4" THICK AND ASPHALT SHALL BE 2" THICK.

FILE COPY

SHEET OF 1
NOT TO SCALE
J. McDaniel
FLA. REG. 1000



INDEXES TO BE IN ACCORDANCE WITH P.E.C. DRAWING REQUIREMENTS FOR ROAD AND DRAINAGE CONSTRUCTION. ALL CONSTRUCTION SHALL BE COORDINATED WITH ALL CITY DEPARTMENTS AND/OR INSTALLED BY INVOICED CONTRACTOR.

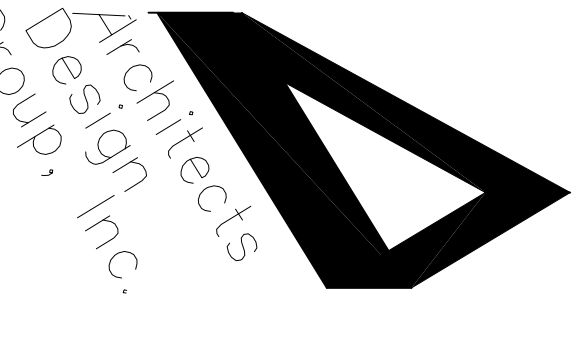


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 Engineering & Surveying
 560 Corporate Center Blvd., Suite 3300
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 Phone: (904) 425-7248
 Fax: (904) 425-7249

DESIGN: JAVL, E.E.
 DRAWN: JAVL, E.E.
 CHECKED: JAVL, E.E.
 DATE: 02-08-04
 DRAWING NO.: 02084502
 SHEET NO.: 2

REVISIONS

NO.	DATE	DESCRIPTION



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Corporate Registration
 No. 00000001



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 PUBLIC SAFETY AND
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 COMPLEX**
**RIVIERA BEACH,
 FLORIDA**

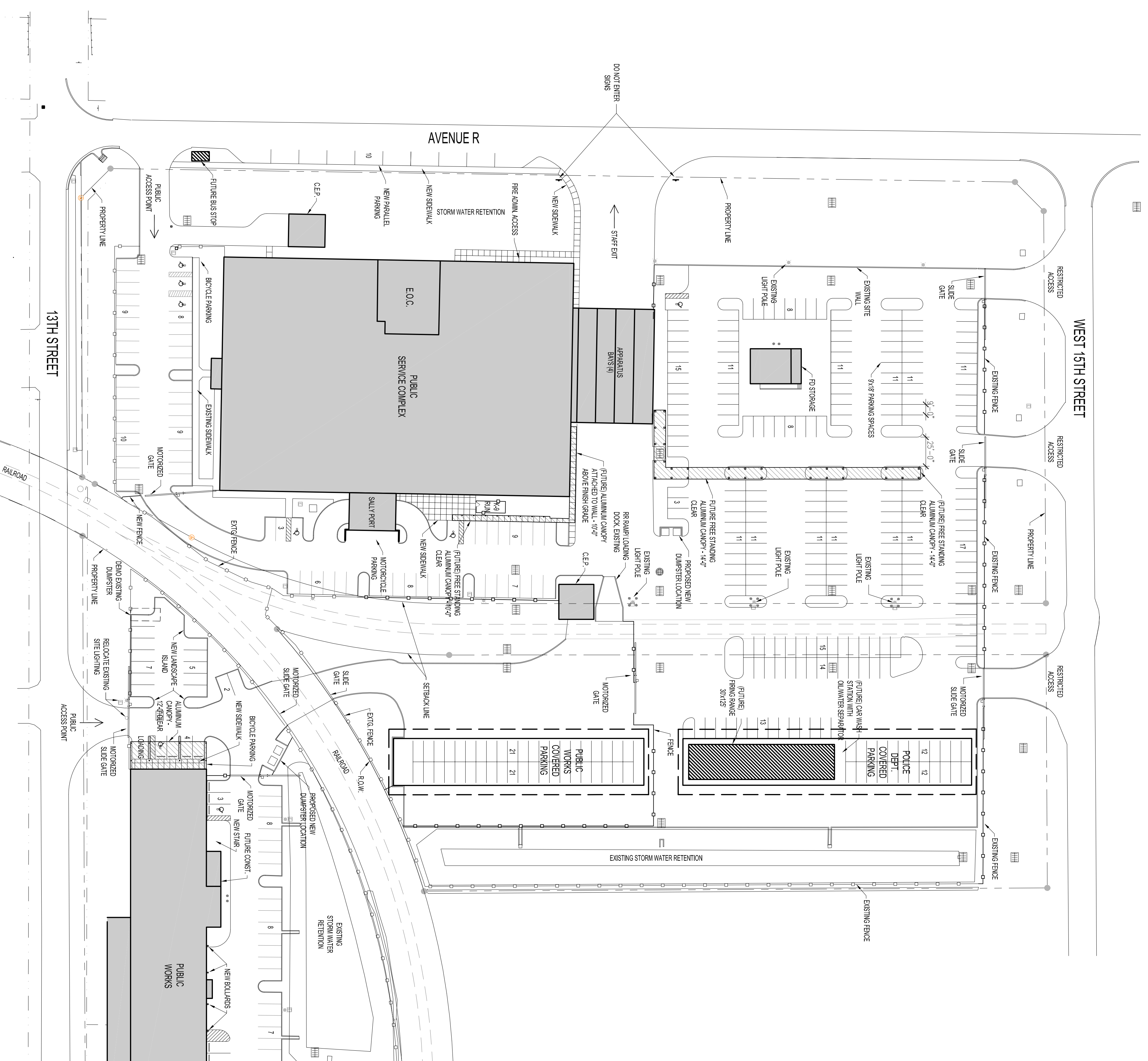
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• revisions

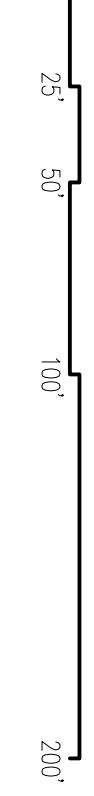
• sheet title
MASTER PLAN

- scale: AS SHOWN
- drawn: DEB
- checked: OFB
- approved:
- date: January 16, 2014
- project no. 904-13
- sheet A-001

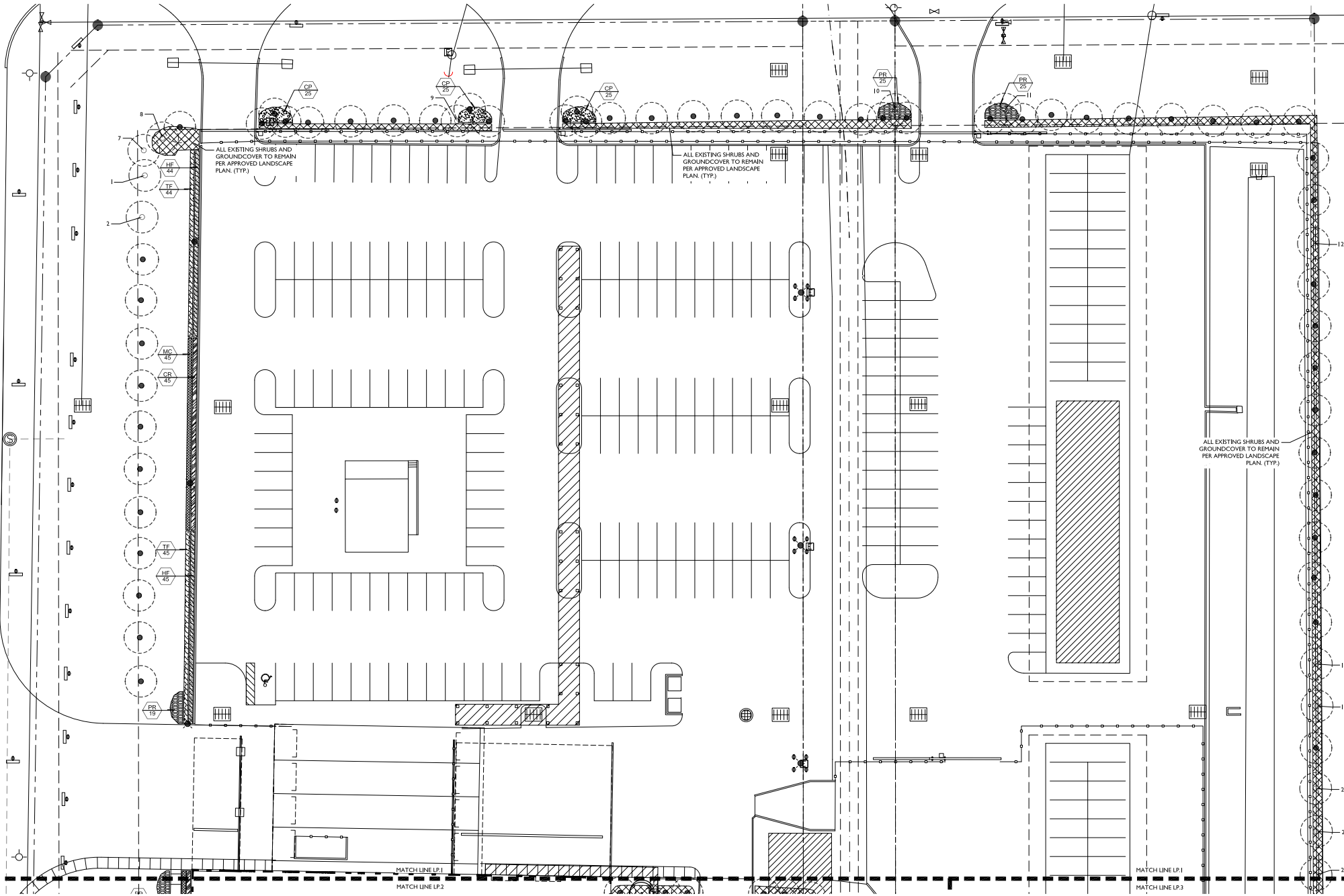
SITE DATA			
ZONING			
LAND USE	TOWNSHIP 42	IC	INDUSTRIAL
SECTION 32		RANGE 43	
TOTAL SITE AREA	13,365 ACRES		
TOTAL LOT/DOCK AREA	122,543 SF		
BUILDING FOOTPRINT	1 & 2 STORES		
PUBLIC WORKS			
FLOOR AREA	PARKING RATIO	REQUIRED PARKING	PROVIDED PARKING
OFFICE	1/200	34 SPACES	
MAINTENANCE BAYS	1/1000	13 SPACES	
WAREHOUSE/STORAGE	1/1000	9 SPACES	
SUBTOTAL	31754 SF	56 SPACES	72 SPACES
PUBLIC SAFETY BLDG.			
FLOOR AREA	PARKING RATIO	REQUIRED PARKING	PROVIDED PARKING
POLICE DEPARTMENT	1/200	225 SPACES	
EOC	1/200	11 SPACES	
SHELL SPACE	1/1000	33 SPACES	
SUB TOTAL	102,861 SF		
PHASE II			
FIRE DEPT. OFFICE	1/200	39 SPACES	
APPARATUS BAY	1/1000	6 SPACES	
FIRE DEPT. STOR. BLDG.	1/1000	1 SPACE	
SUB TOTAL	18,450 SF	315 SPACES	399 SPACES
TOTAL PARKING			
ADJ. PARKING		REQUIRED	PROVIDED
BICYCLE PARKING		371 SPACES	435 SPACES
		8 SPACES	8 SPACES
		NA	6
PARKING DISTRIBUTION PROVIDED			
PUBLIC SAFETY PARKING	315	PUBLIC WORKS	58
SECURE SPACES -		SECURE SPACES -	18
PUBLIC SPACES -	46	PUBLIC SPACES -	18
TOTAL SPACES -	359	TOTAL SPACES -	76



ARCHITECTURAL MASTER PLAN
 SCALE: 1" = 50'



**PUBLIC SAFETY COMPLEX
 LANDSCAPE PLAN
 PREPARED FOR CITY OF RIVIERA BEACH
 PALM BEACH COUNTY, FLORIDA**



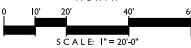
ALL EXISTING SHRUBS AND
 GROUNDCOVER TO REMAIN
 PER APPROVED LANDSCAPE
 PLAN. (TYP.)

ALL EXISTING SHRUBS AND
 GROUNDCOVER TO REMAIN
 PER APPROVED LANDSCAPE
 PLAN. (TYP.)

ALL EXISTING SHRUBS AND
 GROUNDCOVER TO REMAIN
 PER APPROVED LANDSCAPE
 PLAN. (TYP.)

REVISION DATES		
DATE	APPROVAL	NOTES

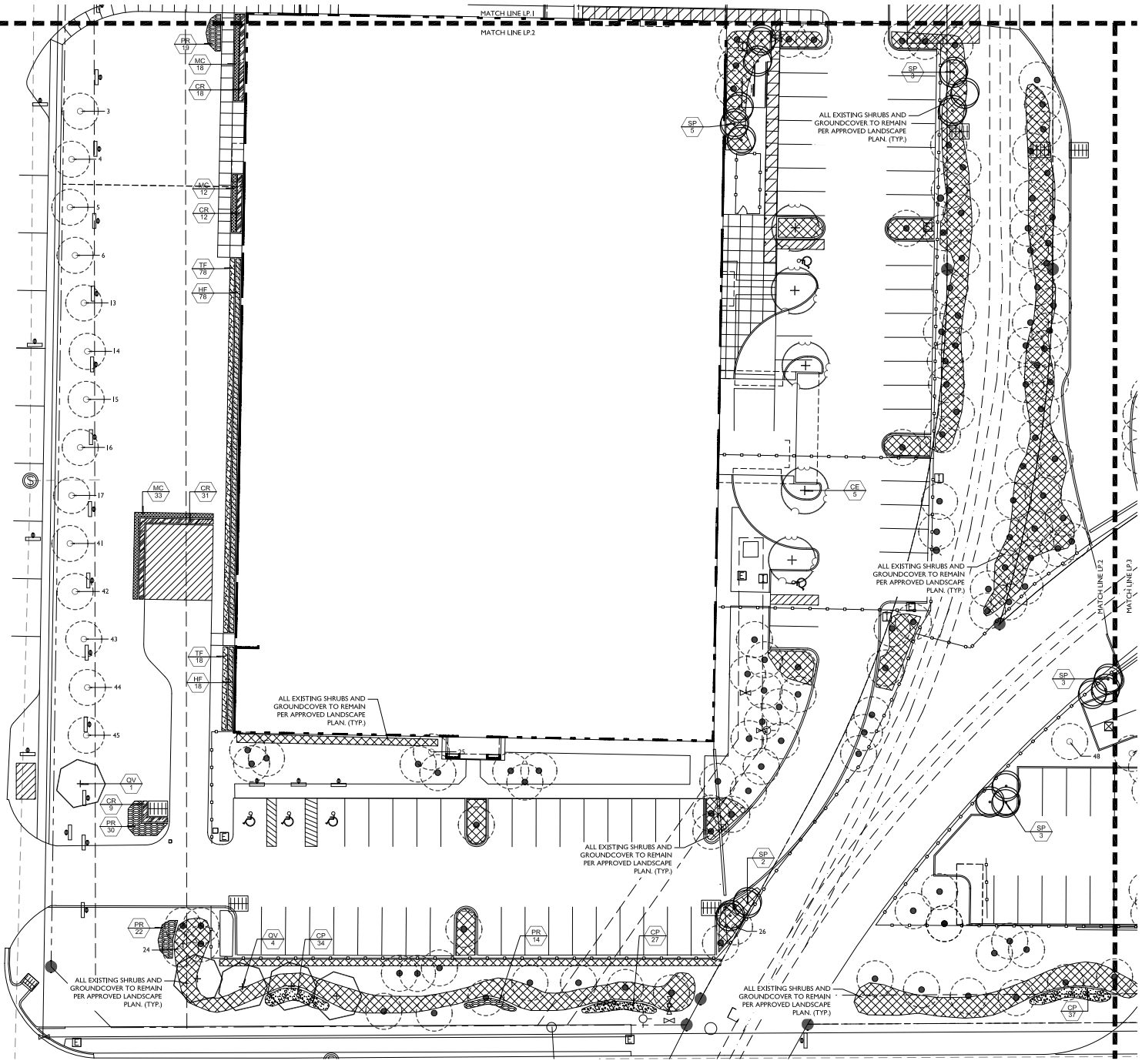
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 FILE #: 853.3

**SHEET #
 LP.101**





**PUBLIC SAFETY COMPLEX
 LANDSCAPE PLAN
 PREPARED FOR CITY OF RIVIERA BEACH
 PALM BEACH COUNTY, FLORIDA**

REVISION DATES		
DATE	APPROVAL	NOTES

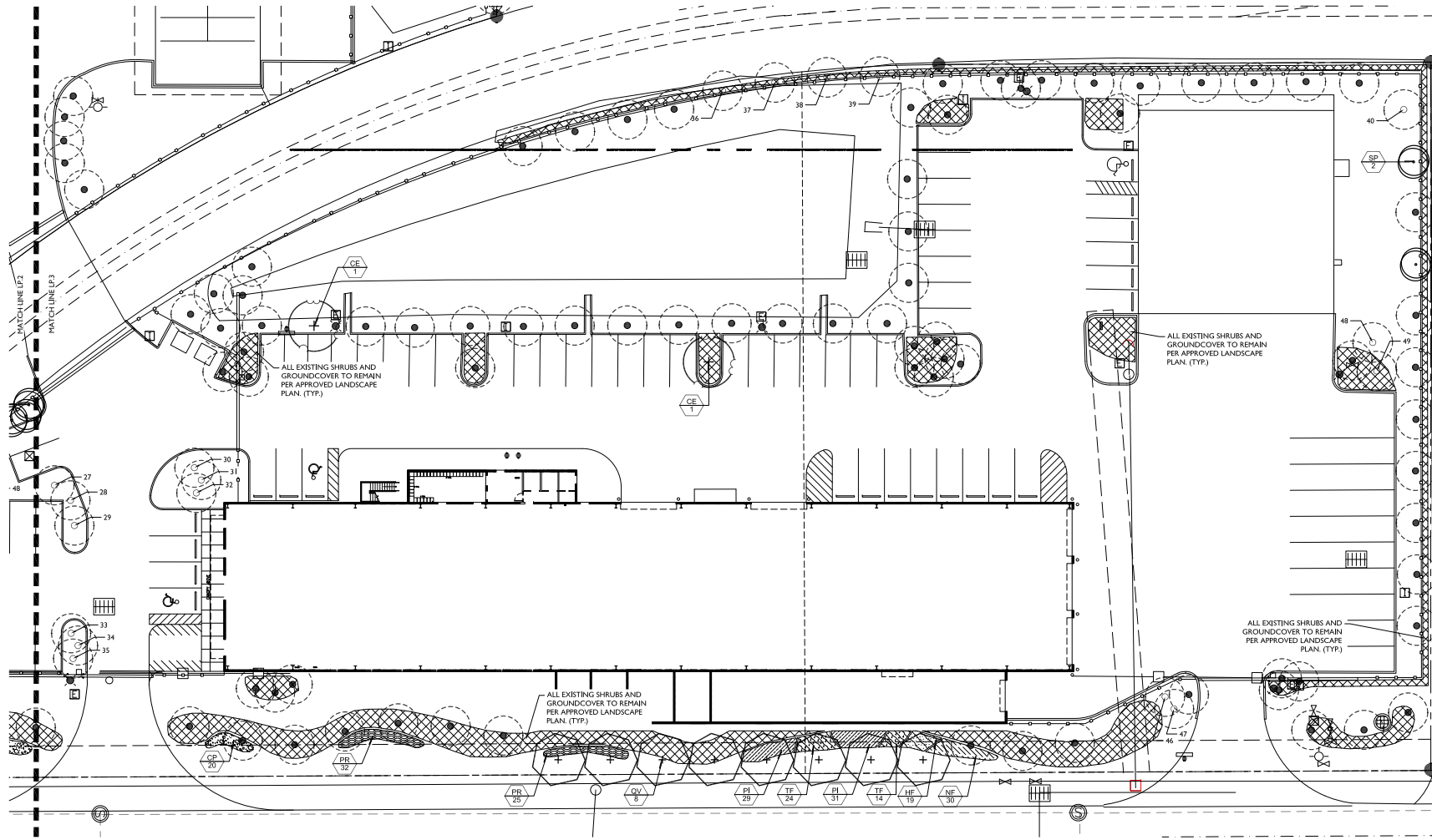
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NORTH

0 10' 20' 40' 60'
 SCALE: 1" = 20'-0"

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 DRAWING #: 853_3_LSC_20141.01.dwg
 FILE #: 853.3

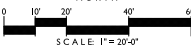
811 Know what's **BELOW**.
 CALL before you dig.
 Call 811 two business days before digging.



**PUBLIC SAFETY COMPLEX
 LANDSCAPE PLAN
 PREPARED FOR CITY OF RIVIERA BEACH
 PALM BEACH COUNTY, FLORIDA**

REVISION DATES		
DATE	APPROVAL	NOTES

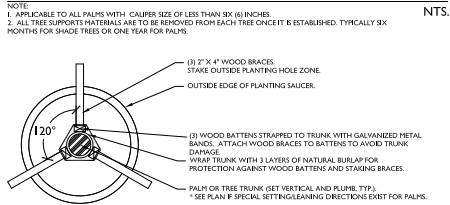
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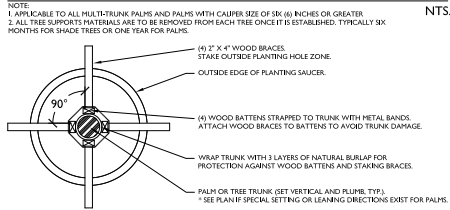
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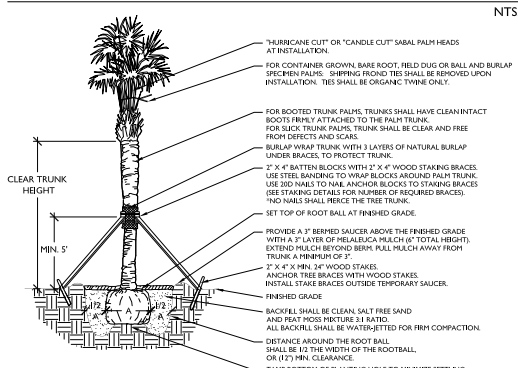
SMALL PALM STAKING PLAN



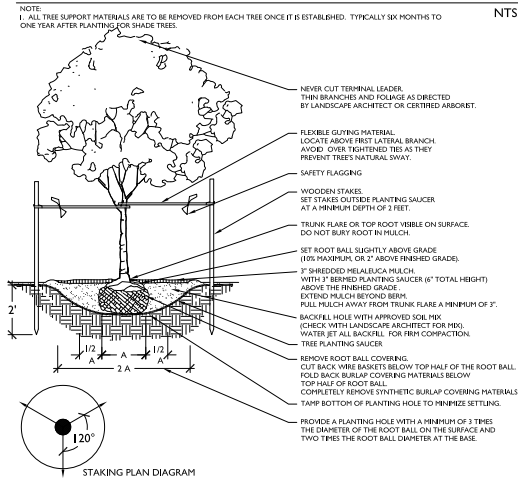
LARGE PALM OR TREE STAKING PLAN



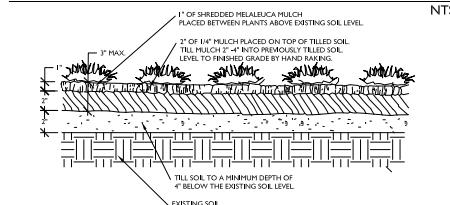
PALM PLANTING DETAIL



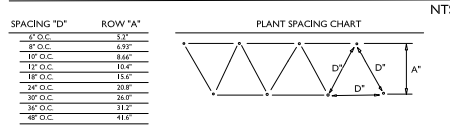
TREE PLANTING DETAIL



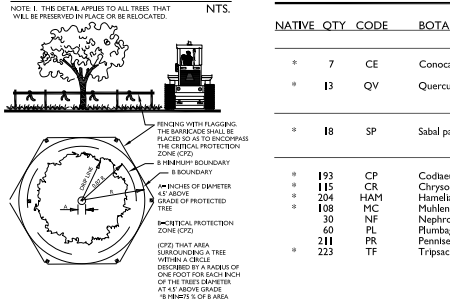
GROUND COVER DETAIL



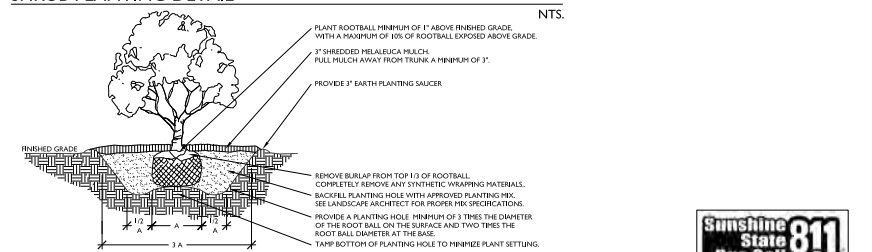
PLANT SPACING DETAIL



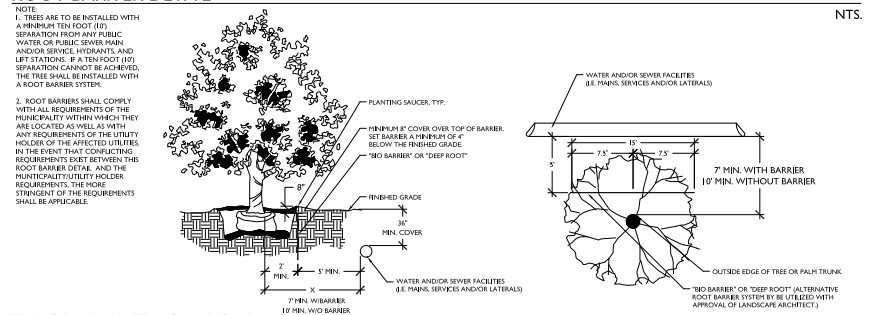
TREE PROTECTION DETAIL



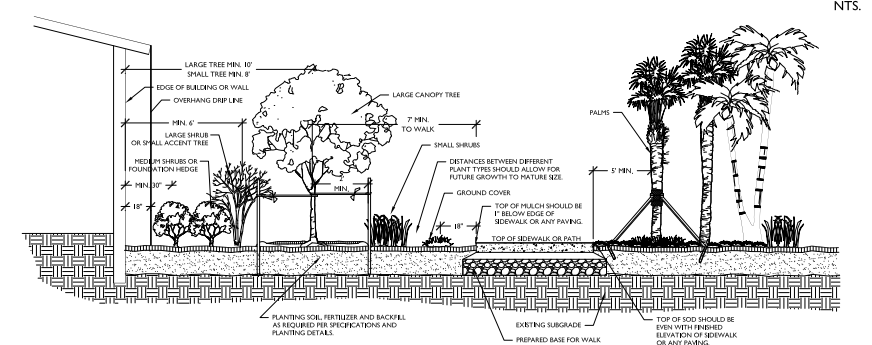
SHRUB PLANTING DETAIL



ROOT BARRIER DETAIL



TYPICAL PLANTING DIAGRAM



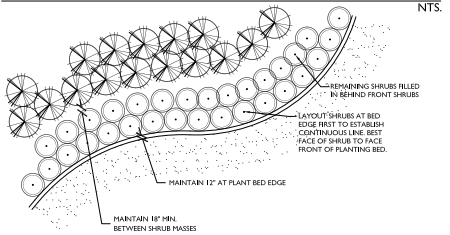
OVERALL LANDSCAPE SCHEDULE

NATIVE	QTY	CODE	BOTANICAL NAME	COMMON NAME	SIZE & REMARK
TREES					
*	7	CE	Conocarpus erectus	Green Buttonwood	F.G. 10' - 12' Hc. x 5' Spr., 1.5\"/>
*	6	QV	Quercus virginiana	Live Oak	F.G. 12' Hc. x 6' Spr., 2\"/>
PALMS					
*	18	SP	Sabal palmetto	Sabal Palm	F.G. 8' CT., Booted
SHRUBS					
*	193	CP	Codiaeum variegatum 'Petra'	Petra Croton	#3. 18\"/>
*	115	CR	Chrysobalanus cacao 'Red Tip'	Red Tip Cocoplum	#3. 18\"/>
*	204	HAM	Hamelia patens	Firebush	#3. 20\"/>
*	108	MC	Muhlenbergia capillaris	Pink Muhly	#3. 18\"/>
*	30	NF	Nephrolepis falcata	Macho Fern	#3. 15\"/>
*	60	PL	Plumbago auriculata 'Imperial Blue'	Plumbago	#3. 20\"/>
*	211	PR	Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	#3. 24\"/>
*	223	TF	Tripsacum dactyloides	Fakahatchee Grass	#3. 24\"/>

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- ANY PLANTING WITHIN THE RIGHT OF WAY SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 3'0\"/>

SHRUB AND GROUND COVER PLANTING DETAIL



REVISION DATES	
DATE	NOTES

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1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



4 WEST ELEVATION
SCALE: 1/16" = 1'-0"



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• revisions

• sheet title
EXTERIOR
ELEVATIONS -
PUBLIC SAFETY

• scale: AS SHOWN
• drawn: ADG
• checked: ADG
• approved: ADG
• date: October 28, 2013
• project no. 904-13
• sheet A-2.01-PS



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1 SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/16" = 1'-0"



4 WEST ELEVATION
 SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

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- revisions

- sheet title
**EXTERIOR
 ELEVATIONS -
 PUBLIC WORKS**

- scale: AS SHOWN
- drawn: ADC
- checked: ADC
- approved: ADC
- date: October 28, 2013
- project no. 904-13
- sheet A-2.01-PW



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• revisions

• sheet title
**1ST FLOOR
 PLAN - PSB**

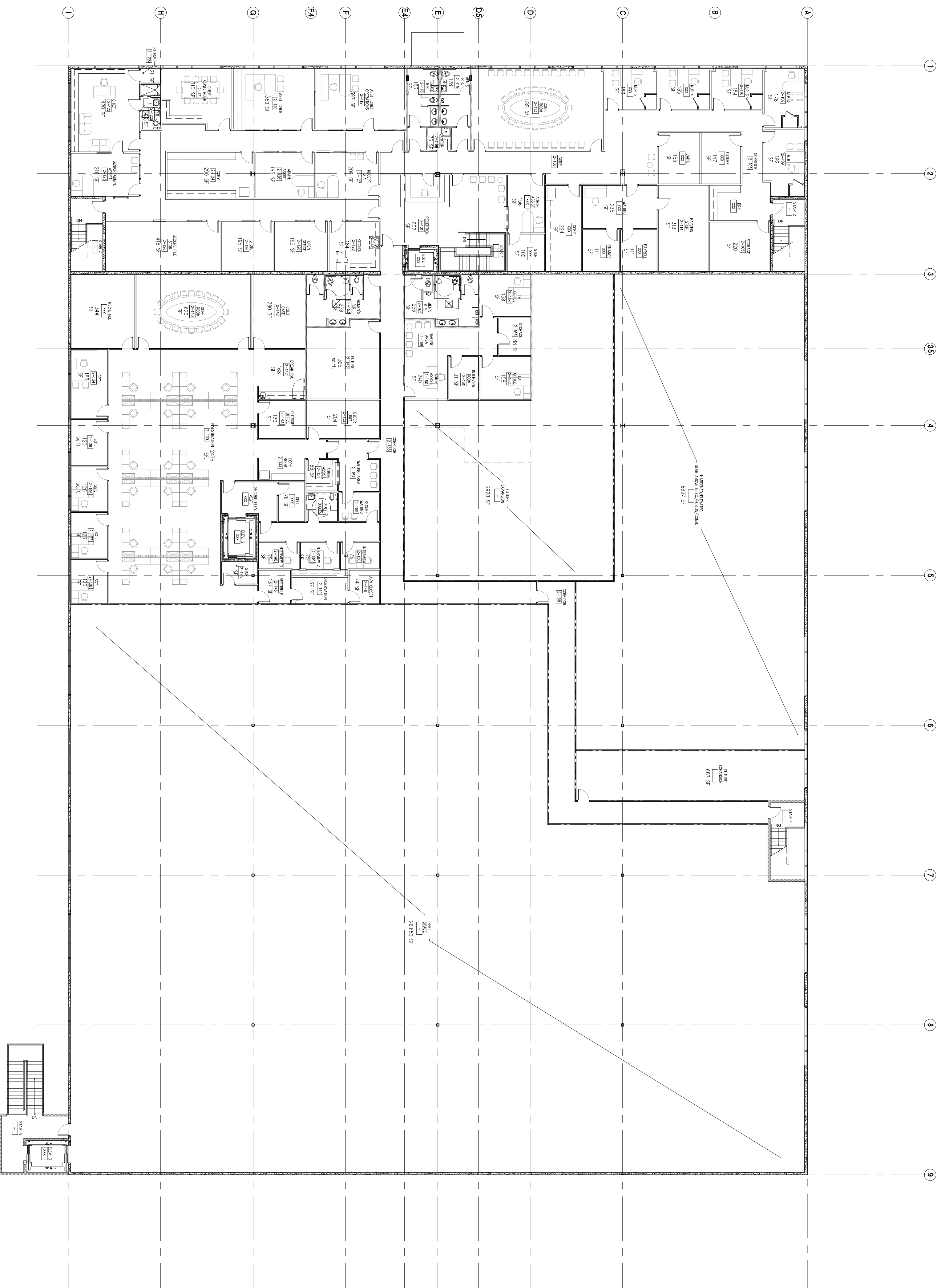
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- drawn: DEB
- checked: DEB
- approved:
- date: October 28, 2013
- project no. 904-13
- sheet A-101



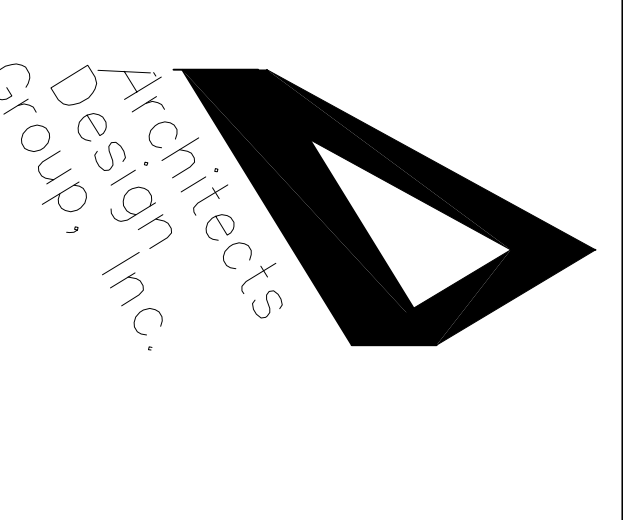
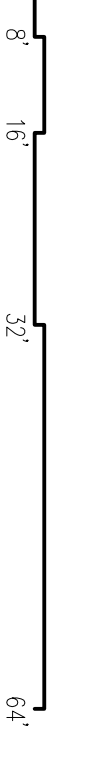
1ST FLOOR PLAN - PUBLIC SAFETY BLDG.



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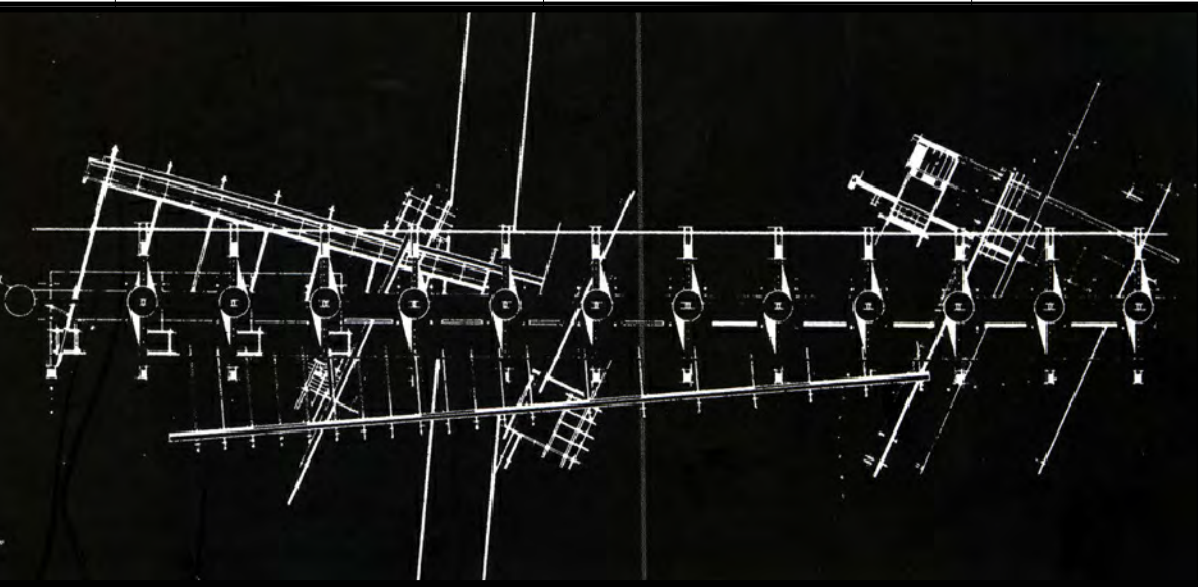


2ND FLOOR PLAN - PUBLIC SAFETY BLDG.
 SCALE: 1/8" = 1'-0"



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Corporate Registration
 No. 00000001017



**RIVERA BEACH
 PUBLIC SAFETY AND
 PUBLIC WORKS
 COMPLEX**
**RIVERA BEACH,
 FLORIDA**

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• revisions

• sheet title
**2ND FLOOR
 PLAN - PSB**

- scale: AS SHOWN
- drawn: DEB
- checked: DEB
- approved:
- date: October 28, 2013
- project no. 904-13
- sheet A-102

K

J

H

G

F

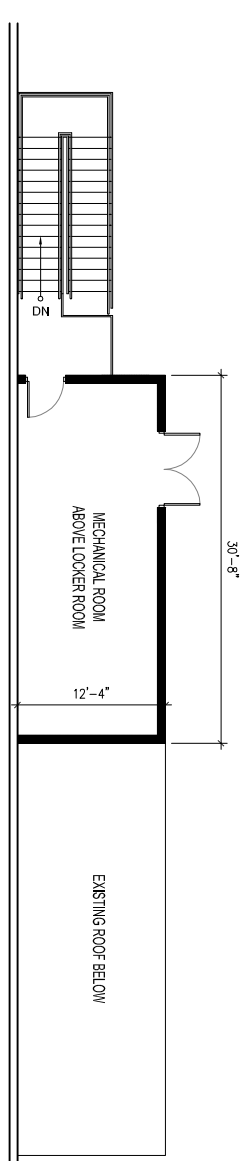
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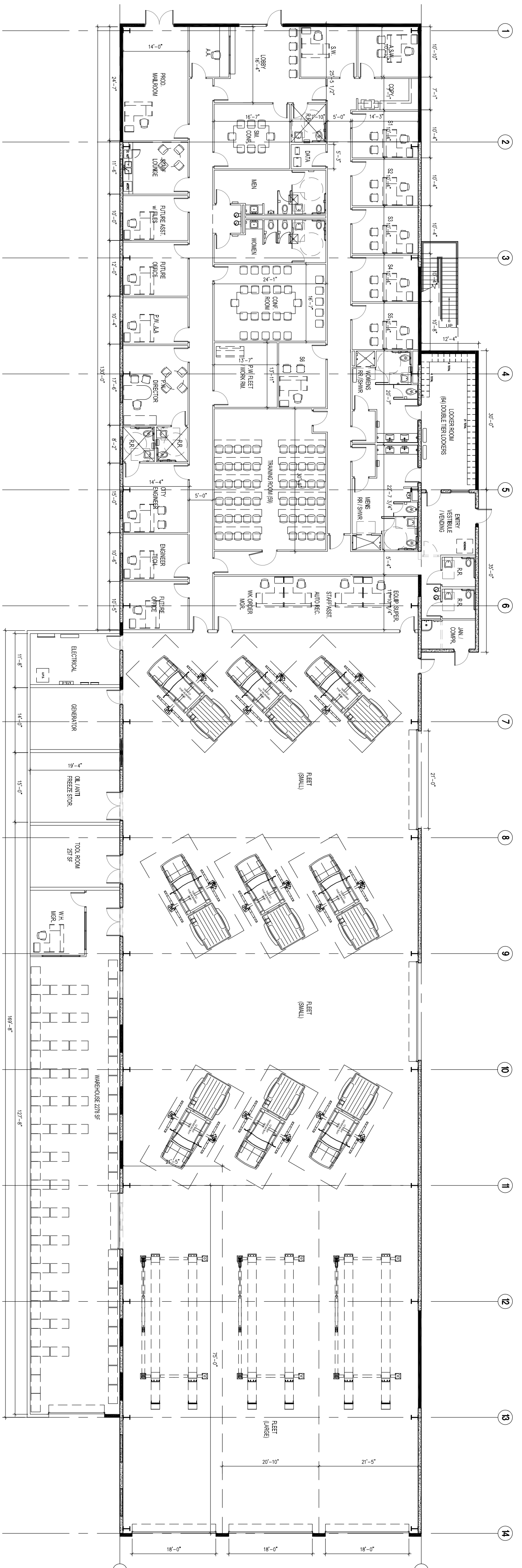
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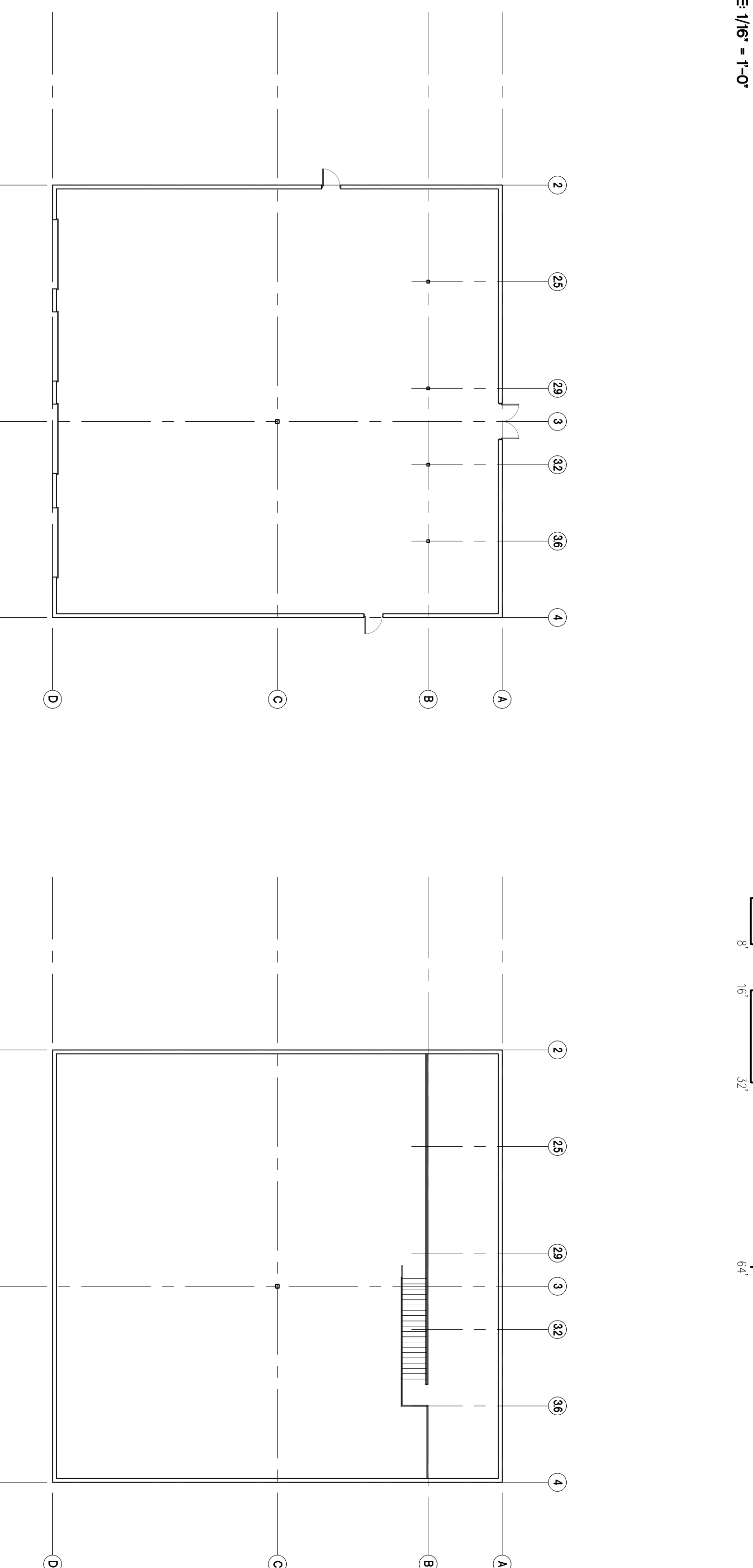
SECOND FLOOR PARTIAL PLAN - PUBLIC WORKS BLDG. - 12-03-13

SCALE: 1/16" = 1'-0"



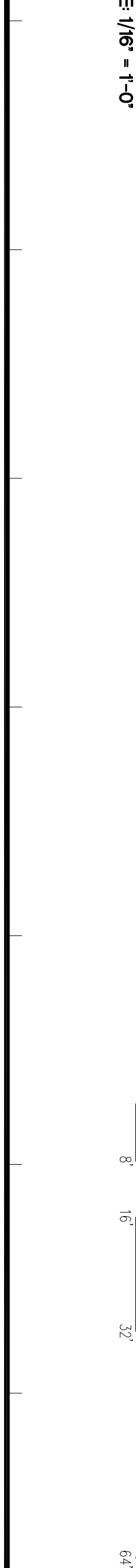
FIRST FLOOR PLAN - PUBLIC WORKS BLDG. - 12-03-13

SCALE: 1/16" = 1'-0"



FLOOR PLAN - MAINTENANCE BLDG.

SCALE: 1/16" = 1'-0"



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 Architects and Planners
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**RIVIERA BEACH
 PUBLIC SAFETY AND
 PUBLIC WORKS
 COMPLEX
 RIVIERA BEACH,
 FLORIDA**

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• revisions

• sheet title
**FLOOR PLAN -
 PUBLIC WORKS +
 MAINTENANCE**

• scale: AS SHOWN
 • drawn: DEB
 • checked: DEB
 • approved:
 • date: October 28, 2013
 • project no. 904-13
 • sheet A-101 - PW

Instrument Prepared as to form only by:
Heidi J. Eddins, Esquire
One Malaga Street
St. Augustine, FL 32085
(904) 396-6600
(Legal Description prepared by Grantor)



11/27/2002 11:11:29 20020624655
OR BK 14445 PG 0777
Palm Beach County, Florida
AMT 124,728.00
Doc Stamp 873.60

SPECIAL WARRANTY DEED

THIS INDENTURE is made this 14 day of November, 2002, by **FLORIDA EAST COAST RAILWAY, L.L.C.**, a Florida Limited Liability Company and successor by merger to Florida East Coast Railway Company, a Florida Corporation, ("Grantor"), having an address of P. O. Drawer 1048, St. Augustine, Florida 32085-1048, to the **DV ACQUISITIONS CORP.**, a Florida Corporation, having an address of 1415 S. Federal Highway, P. O. Box 160, Boynton Beach, Florida 33425-0160, hereinafter called "Grantee".

WITNESSTH

That Grantor, for and in consideration of the sum of ten dollars and no cents (\$10.00) and other good and valuable consideration, to it in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to Grantee, its successors and assigns forever, the following described land in Palm Beach County, Florida (the "Property"), to-wit:

See Exhibit "A"

TOGETHER with all easements, tenements, hereditments, and appurtenances thereto belonging to the "Property" and all buildings and other improvements located on the "Property".

Subject to all dedications, easements, or restrictions of record, if any, none of which shall be reimposed by this reference..

AND Grantor does hereby warrant the title to said land and will defend same against the lawful claims of all persons claiming by, through or under said Grantor, its successors and assigns, and not otherwise.

IN WITNESS WHEREOF, Grantor has caused these presents to be duly executed in its corporate name and its corporate seal to be hereto affixed by its undersigned officer thereunto lawfully authorized the day and year hereinabove written.

Signed, sealed and delivered
In the presence of:

**FLORIDA EAST COAST RAILWAY,
L.L.C., a Florida Limited Liability Company**

Paula B. Ake
Printed Name: Paula B. Ake

By: R. F. MacSwain
R. F. MacSwain
Executive Vice President/Manager
P. O. Drawer 1048
St. Augustine, FL 32085-1048

Bruce K. Baker
Printed Name: Bruce K. Baker

Attest: Theresa W. Rayno
Assistant Secretary

STATE OF FLORIDA
COUNTY OF ST. JOHNS

The foregoing Special Warranty Deed was acknowledged before me this 14TH day of November, 2002, by R. F. MacSwain and Theresa Rayno, personally known to me as Executive Vice President and Assistant Secretary, respectively, of Florida East Coast Railway, L.L.C., a Florida Limited Liability Company, on behalf of the Company, and who did not take an oath.

Kathy A. Petroglou
Notary Public, State of Florida at Large
Notary Seal

KATHY A. PETROGLOU
Notary Public, State of Florida
My Comm. expires August 1, 2005
Comm. No. DD 046852

EXHIBIT "A"

A PARCEL OF LAND BEING A PORTION OF A 44.00 FOOT RAILROAD RIGHT-OF-WAY AS SHOWN ON PLAT NO. 2-C LEWIS TERMINALS, RECORDED IN PLAT BOOK 44, PAGES 43 THROUGH 45, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 5, BLOCK C, AS SHOWN ON SAID PLAT NO. 2-C LEWIS TERMINALS; THENCE ALONG THE EAST LINE OF SAID 44.00 FOOT RAILROAD RIGHT-OF-WAY SOUTH $00^{\circ}03'11''$ EAST, A DISTANCE OF 511.80 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 500.34 FEET; THENCE CONTINUE ALONG SAID EAST RAILROAD RIGHT-OF-WAY LINE AND SOUTHERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF $17^{\circ}09'55''$, A DISTANCE OF 149.90 FEET TO A POINT ON THE SOUTH LINE OF SAID 44.00 FOOT RAILROAD RIGHT-OF-WAY AND TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 595.69 FEET AND FROM WHICH A RADIAL LINE BEARS SOUTH $41^{\circ}49'04''$ EAST; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE AND SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF $19^{\circ}18'07''$, A DISTANCE OF 200.69 FEET TO A POINT ON THE WEST LINE OF SAID 44.00 FOOT RAILROAD RIGHT-OF-WAY; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE NORTH $28^{\circ}52'47''$ EAST, A DISTANCE OF 94.87 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 456.34 FEET; THENCE CONTINUE ALONG SAID WEST RIGHT-OF-WAY LINE AND NORTHERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF $28^{\circ}55'57''$, A DISTANCE OF 230.44 FEET; THENCE NORTH $00^{\circ}03'11''$ WEST, A DISTANCE OF 511.60 FEET TO A POINT ON THE NORTH LINE OF SAID 44.00 FOOT RAILROAD RIGHT-OF-WAY; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE NORTH $89^{\circ}40'40''$ EAST, A DISTANCE OF 44.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.716 ACRES OR 31,182 SQUARE FEET MORE OR LESS.

STAFF REPORT
Case No. LU-14-01
CITY OF RIVIERA BEACH

AN APPLICATION FROM THE CITY OF RIVIERA BEACH REQUESTING APPROVAL OF A COMPREHENSIVE PLAN LAND USE AMENDMENT, FROM INDUSTRIAL TO COMMUNITY FACILITY, IN ORDER TO FACILITATE THE DEVELOPMENT OF THE CITY OF RIVIERA BEACH PUBLIC SERVICES COMPLEX, LOCATED AT 1481 WEST 15TH STREET, ON 13.3 ACRES, THE LAND USE AMENDMENT WAS NOTICED IN THE PALM BEACH POST FEBRUARY 10TH, NOTICES WERE SENT TO PROPERTY OWNERS WITHIN 500 FEET OF THE FACILITY AND SIGNS WERE POSTED AT THE PROPERTY'S NORTH, SOUTH AND WEST SIDES.

A. Applicant: City of Riviera Beach

B. Request: The applicant is requesting an amendment to the City's Comprehensive Plan Land Use Map from Industrial to Community Facility for the City's New Public Service Complex for Police, Fire and Public Works Departments.

C. Location: 1481 West 15th Street.

D. Property Description and Uses: The subject property description and uses are as follows:

Size: 13.3 acres

Existing Use: Industrial office and warehouse.

Future Land Use: Industrial

Zoning: General Industrial (IG)

E. Adjacent Property Description and Uses: The adjacent uses are as follows:

North: United Parcel Service (UPS), Industrial land use, and General Industrial zoning classification (IG)

South: Industrial Condo with Various Industrial businesses, Industrial land use, and General Industrial zoning classification (IG)

East: Trucking Distribution warehouse and Storage, Industrial land use, and General Industrial zoning classification (IG)

West: Directly west of the property is a 60 foot wide drainage canal. Located across the canal is single family residential, Single Family Residential land use, and Residential zoning classification (RS-6, RS-8).

F. Background: the property was originally built and developed for Gulf Stream Lumber in 2004, but due to the economy Gulf Stream pulled out of the facility and sold it to Global Energy United (GEU) who planned to use the location for a solar power manufacturing plant. The plant was not built and GEU leased the property to

Zachry Construction Corporation, which is constructing the new Florida Power and Light Energy Center located in the City east of US 1 Broadway south of the Port of Palm Beach. The City purchased the property November 7, 2012 by Resolution 128-12 for 6.6 million dollars. The City intends to renovate the existing Industrial office and warehouse facility to replace the aging City facilities for Police, Fire and Public Works, and to construct a new Emergency Operations Center (EOC). After the approval of the purchase the City then approved an amendment to the City's Capital Improvement Plan on January 2, 2013 by Ordinance 4022 to include the cost of the purchase and renovations.

G. Proposed Development/Use: The City is requesting an amendment to an existing Industrial office and warehouse site consisting of 16.3 acres to modify the property and existing buildings for new Police, Fire and Public Works departments, and to construct a new Emergency Operations Center. The main building is 122,725 square feet and will be converted to the new Police Facility, Fire Station with offices, and EOC. The buildings located to the southeast side of the property will be converted to the new Public Works offices, maintenance bays and storage. The entire site will be fenced and gated with limited access. Public parking areas are located on the south side of the property and parallel parking along Avenue R on the west side of the property.

H. Staff Analysis:

Comprehensive Plan: The proposed Comprehensive Plan Land Use amendment from Industrial to Community Facility for the City's New Public Service Complex for Police, Fire and Public Works Departments will be compatible with the surrounding parcels and uses.

I. Recommendation:

Staff recommends approval of the proposed Comprehensive Plan Land Use amendment from Industrial to Community Facility for the City's New Public Service Complex for Police, Fire and Public Works Departments.

The Land Use Amendment was noticed in the Palm Beach Post February 10th, notices were sent to property owners within 500 feet of the facility and signs were posted at the property's north, south and west sides.

STAFF REPORT
Case No. RZ-14-01
CITY OF RIVIERA BEACH

AN APPLICATION FROM THE CITY OF RIVIERA BEACH REQUESTING APPROVAL OF A ZONING CHANGE, FROM GENERAL INDUSTRIAL TO COMMUNITY FACILITY, IN ORDER TO FACILITATE THE DEVELOPMENT OF THE CITY OF RIVIERA BEACH PUBLIC SERVICES COMPLEX, LOCATED AT 1481 WEST 15TH STREET, ON 13.3 ACRES, THE REZONING WAS NOTICED IN THE PALM BEACH POST FEBRUARY 10TH, NOTICES WERE SENT TO PROPERTY OWNERS WITHIN 500 FEET OF THE FACILITY AND SIGNS WERE POSTED AT THE PROPERTY'S NORTH, SOUTH AND WEST SIDES.

A. Applicant: City of Riviera Beach

B. Request: The applicant is requesting a Rezoning of parcels on the City's Zoning Map from General Industrial (IG) to Community Facility (CF) for the City's New Public Service Complex for Police, Fire and Public Works Departments.

C. Location: 1481 West 15th Street.

D. Property Description and Uses: The subject property description and uses are as follows:

Size: 13.3 acres

Existing Use: Industrial office and warehouse.

Future Land Use: Industrial

Zoning: General Industrial (IG)

E. Adjacent Property Description and Uses: The adjacent uses are as follows:

North: United Parcel Service (UPS), Industrial land use, and General Industrial zoning classification (IG)

South: Industrial Condo with Various Industrial businesses, Industrial land use, and General Industrial zoning classification (IG)

East: Trucking Distribution warehouse and Storage, Industrial land use, and General Industrial zoning classification (IG)

West: Directly west of the property is a 60 foot wide drainage canal. Located across the canal is single family residential, Single Family Residential land use, and Residential zoning classification (RS-6, RS-8).

F. Background: the property was originally built and developed for Gulf Stream Lumber in 2004, but due to the economy Gulf Stream pulled out of the facility and sold it to Global Energy United (GEU) who planned to use the location for a solar power manufacturing plant. The plant was not built and GEU leased the property to Zachry Construction Corporation, which is constructing the new Florida Power and

Light Energy Center located in the City east of US 1 Broadway south of the Port of Palm Beach. The City purchased the property November 7, 2012 by Resolution 128-12 for 6.6 million dollars. The City intends to renovate the existing Industrial office and warehouse facility to replace the aging City facilities for Police, Fire and Public Works, and to construct a new Emergency Operations Center (EOC). After the approval of the purchase the City then approved an amendment to the City's Capital Improvement Plan on January 2, 2013 by Ordinance 4022 to include the cost of the purchase and renovations.

G. Proposed Development/Use: The City is requesting an amendment to an existing Industrial office and warehouse site consisting of 16.3 acres to modify the property and existing buildings for new Police, Fire and Public Works departments, and to construct a new Emergency Operations Center. The main building is 122,725 square feet and will be converted to the new Police Facility, Fire Station with offices, and EOC. The buildings located to the southeast side of the property will be converted to the new Public Works offices, maintenance bays and storage. The entire site will be fenced and gated with limited access. Public parking areas are located on the south side of the property and parallel parking along Avenue R on the west side of the property.

H. Recommendation:

Staff recommends approval of the Rezoning of parcels on the City's Zoning Map from General Industrial (IG) to Community Facility (CF) for the City's New Public Service Complex for Police, Fire and Public Works Departments.

The Rezoning was noticed in the Palm Beach Post February 10th, notices were sent to property owners within 500 feet of the facility and signs were posted at the property's north, south and west sides.